

Proposed Residence

AHCN Assets Pty Ltd

Site Address

#17 (Lot 104) Elm Avenue  
Woodridge



**Front Perspective A**

Artist Impression Only



**Front Perspective B**

Artist Impression Only

3D views are indicative only.  
Details, features, colours & trims may not  
form part of the specification & contract.

**Drawing List.**

01	Cover Page
02	Notes
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04	Site Plan
05	Ground Floor
06	First Floor
07	Elevations 1 of 2
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09	Sections
<b>LICENCE</b>	
1153526	
<b>DATE</b>	
08/09/25	
<b>SITE No.</b>	
2505263	
<b>SHEET No.</b>	
01 of 09	

**DA DRAWINGS - NOT FOR CONSTRUCTION**

**GENERAL**

REFER SITE PLANS FOR BUILDING DESIGN WIND CLASSIFICATION.  
ALL BUILDING WORKS ARE TO COMPLY WITH THE NCC VOLUME 2.  
WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.  
FLOOR PLAN DIMENSIONS ARE TO FRAME.  
INTERNAL ELEVATION DIMENSIONS ARE TO FRAME.  
THERE ARE NO ATYPICAL DESIGN FEATURES THAT PRESENT UNUSUAL WORKPLACE HEALTH & SAFETY ISSUES IN THE CONSTRUCTION, MAINTENANCE, USE, OR DEMOLITION OF THIS STRUCTURE.

**SITE & EARTHWORKS**

SITE PREPARATION & BATTERS TO COMPLY WITH ENGINEER'S SPECIFICATIONS.  
ALL LEVELS TO BE VERIFIED ON SITE BY CONTRACTOR.  
STORMWATER FROM ROOF TO BE CONNECTED TO LEGAL POINT OF DISCHARGE AS PER SITE PLAN. WHERE DISCHARGE IS TO KERB, AN APPROVED ADAPTOR MUST BE USED.

**TERMITE**

TERMITE PROTECTION INSTALLED IN ACCORDANCE WITH AS3660.1.

**SLAB & FOOTINGS**

CONCRETE SLAB, PIERS AND REINFORCING TO COMPLY WITH ENGINEERS DESIGN AND SPECIFICATIONS.  
VAPOUR BARRIER AND DAMP-PROOFING ON A MINIMUM 50mm SAND FILL UNDER HOUSE SLAB (QLD - MEDIUM IMPACT RESISTANCE IN ACCORDANCE WITH 5.3.3.3, ITEM 'A' OF AS2870) (NSW - HIGH IMPACT RESISTANCE IN ACCORDANCE WITH 5.3.3.3 ITEM 'B' & 'C' OF AS2870).

**FRAMING**

ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH NCC H1D6 & TO COMPLY WITH AS1684.2-2021 (N2/N3/N4 WIND RATING AREAS) & AS1684.3-2021 (C1/C2 WIND RATING AREAS).  
PREFAB. TIMBER ROOF TRUSSES @ 600mm MAX. CENTRES TO MANUFACTURER'S SPECIFICATIONS.  
ALL BRACING, FIXING & TIEDOWN REQUIREMENTS TO COMPLY WITH ENGINEER'S DESIGN AND SPECIFICATIONS.

**ROOF & WALL CLADDING**

BRICK VENEER WALLS TO COMPLY WITH NCC H1D1 & MUST COMPLY WITH AS4773.1, AS4773.2 & AS3700.  
ALL EAVE SHEETS AND FIBRE CEMENT LININGS MUST COMPLY WITH AS2908.2.  
PLASTERBOARD TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS.  
ROOF AND WALL CLADDING TO BE IN ACCORDANCE WITH NCC H2D6 & MUST COMPLY WITH THE FOLLOWING STANDARD WHEN APPLICABLE (SHEET ROOF:AS1562.1 / ROOF TILING:AS2050 / AAC:AS5146.1 / HARDBOARD:AS1859.4).  
ALL FLASHINGS MUST COMPLY WITH AS2904.  
ALL SARKING MUST COMPLY WITH AS4200.1.

**GLAZING**

WINDOWS TO COMPLY WITH NCC N5P2 & PART 11.3.7 & 11.3.8 OF THE ABCB HOUSING PROVISIONS.  
GLAZING TO BE IN ACCORDANCE WITH NCC H1D8 & MUST COMPLY WITH AS1288 & AS2047.

**WATER PROOFING**

EXTERNAL WATERPROOFING TO BE IN ACCORDANCE WITH NCC PART H2D8 & MUST COMPLY WITH AS4654.1 & AS4654.2. TILED WET AREA FLOORS AND SHOWER FLOORS WHERE A 'FLOOR WASTE' IS REQUIRED, WILL GENERALLY REQUIRE TILES TO BE DIAGONALLY CUT TO ACHIEVE COMPLIANT FALLS.

**VENTILATION**

EXHAUST FAN TO WC (WHEN APPLICABLE) TO COMPLY WITH NCC H4D9 & AS1668.2.  
EXHAUST FANS, RANGEHOODS, COMBINATION EXHAUST FANS ARE DUCTED EXTERNALLY AT A MINIMUM RATE IN ACCORDANCE WITH NCC H4P7 & PART 10.8 OF THE ABCB HOUSING PROVISIONS.

**STAIRS & BALUSTRADE (WHEN APPLICABLE)**


ALL STAIRS, BARRIERS, BALUSTRADES & HANDRAILS TO BE IN ACCORDANCE WITH NCC H5 & PART 11.2 & 11.3 OF THE ABCB HOUSING PROVISIONS & MUST COMPLY WITH AS1170.1 & AS4586.

**OTHER**

PASSAGE DOORS TO SANITARY COMPARTMENTS TO BE IN ACCORDANCE WITH NCC H4F3 PART 10.4.2 OF THE ABCB HOUSING PROVISIONS.  
BUILT TO BOUNDARY WALLS TO BE BUILT IN ACCORDANCE WITH NCC H3D1 AND PARTS 9.1 TO 9.3 OF THE ABCB HOUSING PROVISIONS & AS1530.  
SEPARATING & EXTERNAL WALLS TO BE BUILT TO FRL 60/60/60 (WHERE APPLICABLE).  
PROVIDE MINIMUM 115mm SLOTTED GUTTER TO SUIT MAX 40m2 OF ROOF AREA PER DOWNPIPE.  
SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC H3D6 & PART 9.5 OF THE ABCB HOUSING PROVISIONS & MUST COMPLY WITH AS3786 & AS1670.1.  
FLUES FOR ALL FIREPLACES & HEATERS (WHERE APPLICABLE) ARE TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS AND PART 12.4 OF THE ABCB HOUSING PROVISIONS.

Client ..... Date .....  
Client ..... Date .....  
Builder ..... Date .....

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ReziCAD BUILDING DESIGN  
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**DRAWING NAME**  
  
**Notes**

**CLIENT**  
AHCN Assets Pty Ltd

**SITE ADDRESS**  
#17 (Lot 104) Elm Avenue  
Woodridge

**REAL PROPERTY DESCRIPTION**  
Lot Lot 104  
Registered Plan RP109937  
Site Area 620m²

Rev	Revision Description	Date	By
C	DA Plans	17/02/26	EK
B	New Concept	25/11/25	EK
A	Concept Plans	08/09/25	EK

**WIND LOADING (BY OTHERS)** TBC **SCALE** 1:100 @ A3

**LICENCE** 1153526 **DATE** 08/09/25

**SITE No.** 2505263 **SHEET No.** 02 of 09

# THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT

## THIS INCLUDES (but not limited to): OWNER, BUILDER, SUB CONTRACTOR, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS.

### 1. FALLS, SLIPS, TRIPS

#### a) WORKING AT HEIGHTS

##### **DURING CONSTRUCTION**

- Wherever possible, components for this building should be prefabricated off-site or at ground level to minimize the risk of workers falling more than two meters. However, construction of this building will require workers to be working at heights where a fall in excess of two meters is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two meters is a possibility.

##### **DURING OPERATION OR MAINTENANCE**

##### **For houses or other low-rise buildings where scaffolding is appropriate:**

- Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two meters is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation

##### **For buildings where scaffold, ladders, trestles are not appropriate:**

- Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two meters is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

#### b) SLIPPERY OR UNEVEN SURFACES

##### **FLOOR FINISHES Specified**

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

##### **FLOOR FINISHES By Owner**

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

### STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

### 2. FALLING OBJECTS

#### LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

- Prevent or restrict access to areas below where the work is being carried out.
- Provide toeboards to scaffolding or work platforms.
- Provide protective structure below the work area.
- Ensure that all persons below the work area have Personal Protective Equipment (PPE).

#### BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steel work, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility. Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

Client .....	Date .....
Client .....	Date .....
Builder .....	Date .....

### 3. TRAFFIC MANAGEMENT

#### **For building on a major road, narrow road or steeply sloping road:**

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas. Note: Not included in contract unless specially noted.

#### **For building where on-site loading/unloading is restricted:**

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas. Note: Not included in contract unless specially noted.

#### **For all buildings:**

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site. Note: Not included in contract unless specially noted.

### 4. SERVICES - GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

#### **Locations with underground power:**

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

#### **Locations with overhead power lines:**

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

### 5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

### 6. CONFINED SPACES

#### EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided alternatively a safe work method to suit the application must be supplied.

#### SMALL PLACES

##### **For buildings with small spaces where maintenance or other access may be required:**

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

#### ENCLOSED SPACES

##### **For buildings with enclosed spaces where maintenance or other access may be required:**

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

### 7. HAZARDOUS SUBSTANCES

#### ASBESTOS

##### **For alterations to a building constructed**

##### **prior to 1990:**

If this existing building was constructed prior to:

1990 - it therefore may contain **asbestos**

1986 - it therefore is likely to contain **asbestos**

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

#### POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

#### TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

#### VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

#### SYNTHETIC MINERAL FIBRE

Fiberglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

#### TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

### 8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and suitable barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

### 9. OPERATIONAL USE OF BUILDING


#### RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

### 10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

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<p><b>DRAWING NAME</b></p> <h1 style="font-size: 2em;">Safety</h1>									
<p><b>CLIENT</b> AHCN Assets Pty Ltd</p>									
<p><b>SITE ADDRESS</b> #17 (Lot 104) Elm Avenue Woodridge</p>									
<p><b>REAL PROPERTY DESCRIPTION</b></p> <table style="width: 100%;"> <tr> <td>Lot</td> <td style="text-align: right;">Lot 104</td> </tr> <tr> <td>Registered Plan</td> <td style="text-align: right;">RP109937</td> </tr> <tr> <td>Site Area</td> <td style="text-align: right;">620m<sup>2</sup></td> </tr> </table>				Lot	Lot 104	Registered Plan	RP109937	Site Area	620m <sup>2</sup>
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<b>WIND LOADING (BY OTHERS)</b>		<b>SCALE</b>							
TBC		1:100 @ A3							
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1153526		08/09/25							
<b>SITE No.</b>		<b>SHEET No.</b>							
2505263		03 of 09							

**GENERAL SITE NOTES:**

1. Sewerage and/or septic to be in accordance with local by-laws and water & sewerage act Amendment Act.
2. Position of stormwater lines, downpipes, retaining walls, cut/fill embankments are approximate only and may vary to suit site conditions and the builder is to verify and adjust as required.
3. All cut/fill embankments, retaining walls shown and constructed are to comply with council policy & BCA housing provisions.
4. Stormwater pipes to be 90mm class G UPVC & laid in accordance with BCA housing provisions unless specified elsewhere. One 90mm UPVC pipe per 100 sqm of roof area laid to 1:100 min grade.
5. Pad cut to allow ground water to drain away from dwelling all round at 1:20 fall.
6. All boundary clearances and set out dimensions to be verified prior to commencement of work.
7. The builder is to verify all dimensions and levels on plan prior to commencement of the job as no responsibility is taken after work has commenced.

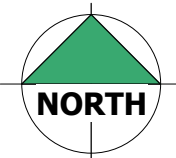
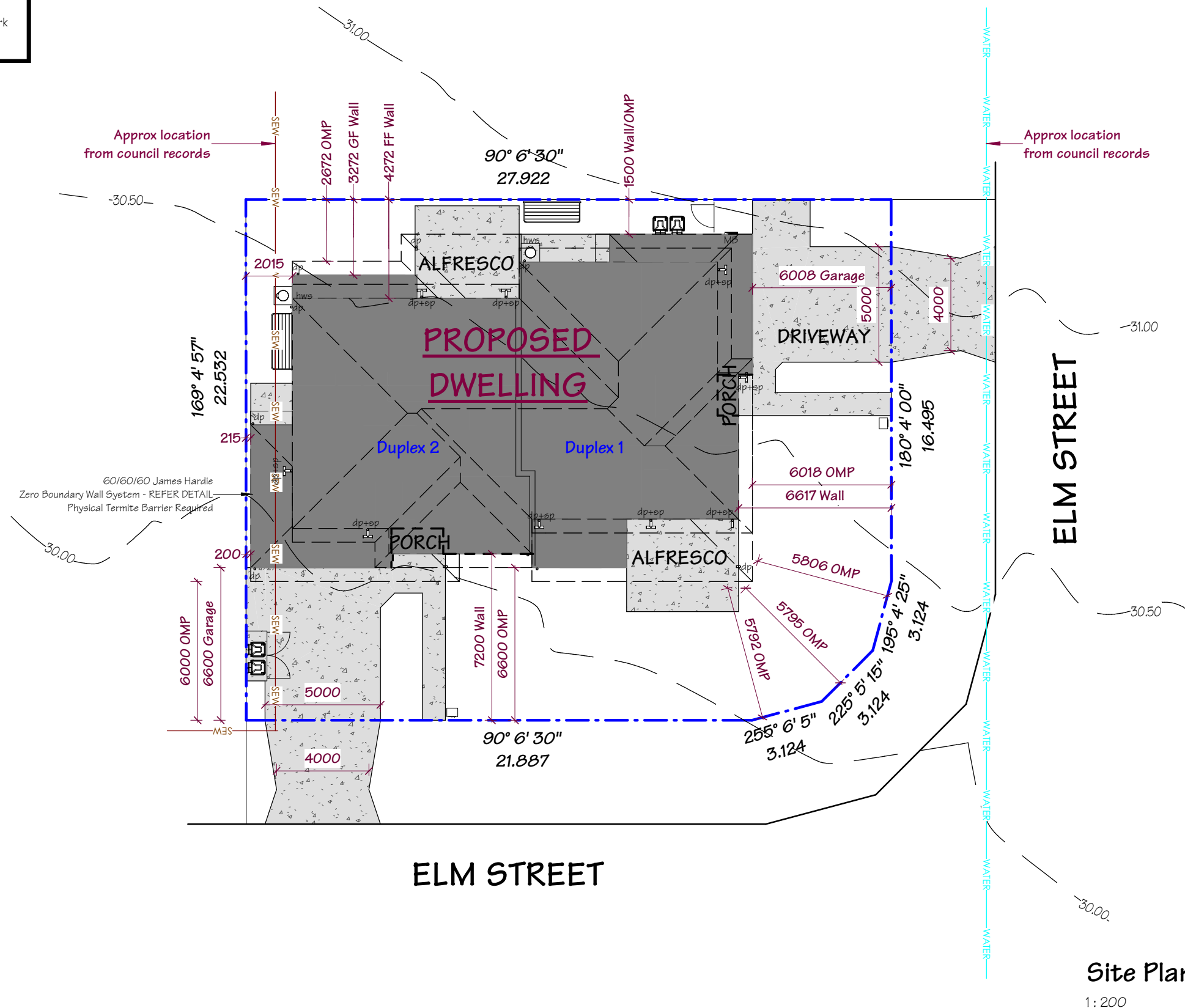
**To be positioned by builder on site  
If Applicable (If included in spec.)**

- |                 |                 |
|-----------------|-----------------|
| Meter Box       | Water Tank      |
| Hotwater system | Retaining Walls |
| Clothes Line    | Fences - Gates  |
| Letterbox       | Driveway - Path |

**NO SITE LEVELS OR LOCATIONS OF  
SERVICE'S PROVIDED BY BUILDER**

AREAS	
Site Area	620 m <sup>2</sup>
Building Area	277 m <sup>2</sup>
Site Cover	45%

Roofwater disposal to the legal point of discharge



Client ..... Date .....  
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 Builder ..... Date .....

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Site Plan			
<b>CLIENT</b>			
AHCN Assets Pty Ltd			
<b>SITE ADDRESS</b>			
#17 (Lot 104) Elm Avenue Woodridge			
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1153526		08/09/25	
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Site Plan  
1:200

**NOTES**

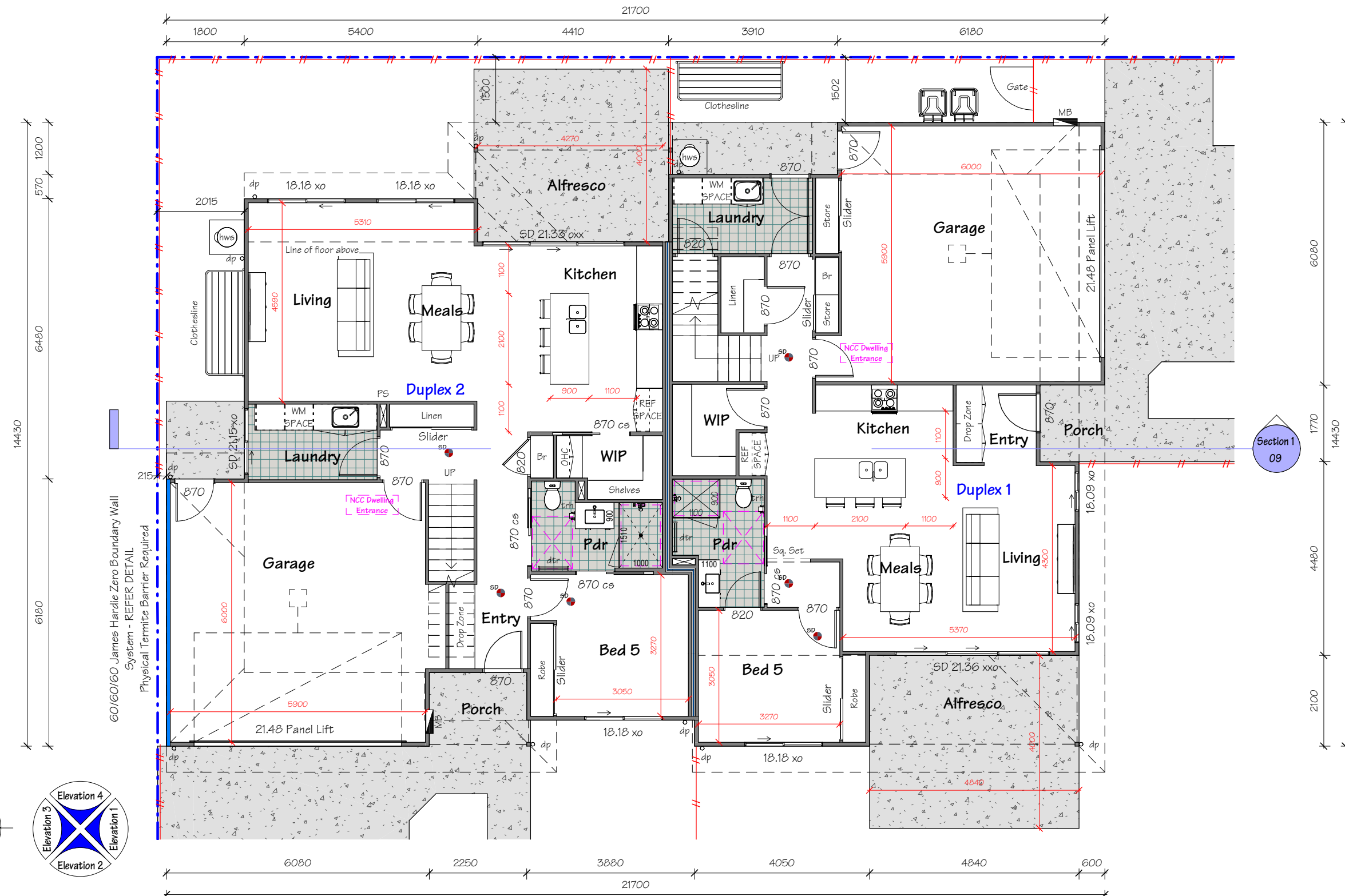
- All dimensions shown on plan are to the timber frame and brickwork
- Control joint positions are at 6m intervals starting at full height window or door. Full height windows and doors are classed as control joint
- Termite treatment is in accordance with AS 3660.0 parts A & B
- Windows to bath, ens & WC are clear glass unless otherwise stated.
- <sup>sp</sup> Denotes smoke detectors hard wired to electrical system by a qualified electrician and to comply with NCC class 1 and class 10 parts 3.7.2 to AS 3786
- Floor Covering Size, Layout and Pattern if Shown are indicative ONLY and do not form part of the building contract
- Exhaust systems (Range-Bath etc) to be vented externally, make-up air to be provided to areas without natural ventilation

**NOTE: HOUSE TO BE BUILT IN ACCORDANCE WITH "NCC PART H8 LIVABLE HOUSING DESIGN"**

Builder to inform Frame supplier & Carpenters of preferred wall Reinforcing - Nogging or Ply Sheeting method to walls to nominated as per: Part 6 of NCC Livable Housing Design -- "Reinforcement of bathroom and sanitary compartment walls"  
Refer to "NCC H8 Requirements" page for wall compliance details

**Proposed Floor Areas**

Name	Area
Duplex 1	
FF Living	100.4 m <sup>2</sup>
GF Living	84.2 m <sup>2</sup>
Garage	37.8 m <sup>2</sup>
Alfresco	19.4 m <sup>2</sup>
Porch	2.7 m <sup>2</sup>
	244.4 m <sup>2</sup>
Duplex 2	
FF Living	105.7 m <sup>2</sup>
GF Living	89.8 m <sup>2</sup>
Garage	37.1 m <sup>2</sup>
Alfresco	17.8 m <sup>2</sup>
Porch	3.9 m <sup>2</sup>
	254.3 m <sup>2</sup>
Grand total	498.7 m <sup>2</sup>



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BUILDING DESIGN

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<b>Ground Floor</b>	
<b>CLIENT</b> AHCN Assets Pty Ltd	
<b>SITE ADDRESS</b> #17 (Lot 104) Elm Avenue Woodridge	
<b>REAL PROPERTY DESCRIPTION</b>	
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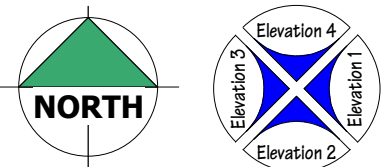
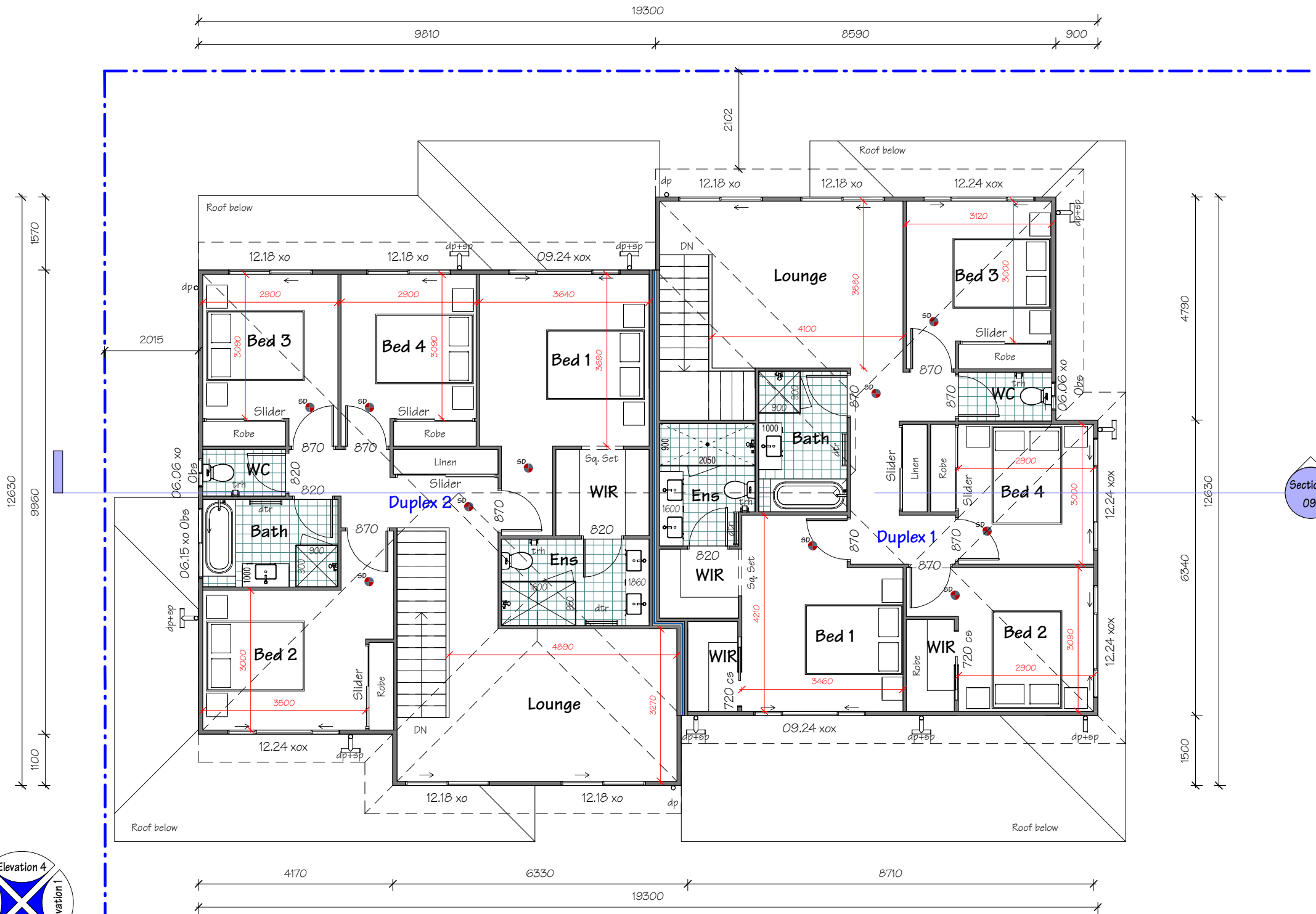
**WATERPROOFING TO BE IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS**  
FALLS TO FLOOR WASTES IF SHOWN/INSTALLED MUST BE IN ACCORDANCE WITH:  
ENCLOSED SHOWER (NCC 2022) - MIN 1:80 AND MAX 1:50  
UNENCLOSED SHOWER AREA, ENTIRE BATH/ENS. (NCC 2022) - MIN 1:80 AND MAX 1:50  
OUTSIDE SHOWER AREAS - QDC 4.5 A5 2) (a) MIN. 1:100 AND MAX. OF 1:80

**NOTES**  
 All windows in rooms with a finished floor level over 2000mm above external ground; that have openings below 1700mm must be protected with fall prevention device or restricted to a max. opening of 125mm as per NCC requirements.

**NOTE: HOUSE TO BE BUILT IN ACCORDANCE WITH "NCC PART H8 LIVABLE HOUSING DESIGN"**

Builder to inform Frame supplier & Carpenters of preferred wall Reinforcing - Nogging or Ply Sheeting method to walls to nominated as per: Part 6 of NCC Livable Housing Design -- "Reinforcement of bathroom and sanitary compartment walls"  
 Refer to "NCC H8 Requirements" page for wall compliance details

Proposed Floor Areas	
Name	Area
Duplex 1	
FF Living	100.4 m <sup>2</sup>
GF Living	84.2 m <sup>2</sup>
Garage	37.8 m <sup>2</sup>
Alfresco	19.4 m <sup>2</sup>
Porch	2.7 m <sup>2</sup>
244.4 m <sup>2</sup>	
Duplex 2	
FF Living	105.7 m <sup>2</sup>
GF Living	89.8 m <sup>2</sup>
Garage	37.1 m <sup>2</sup>
Alfresco	17.8 m <sup>2</sup>
Porch	3.9 m <sup>2</sup>
254.3 m <sup>2</sup>	
Grand total	498.7 m <sup>2</sup>



Client ..... Date .....  
 Client ..... Date .....  
 Builder ..... Date .....

**WATERPROOFING TO BE IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS**  
 FALLS TO FLOOR WASTES IF SHOWN/INSTALLED MUST BE IN ACCORDANCE WITH:  
 ENCLOSED SHOWER (NCC 2022) - MIN 1:80 AND MAX 1:50  
 UNENCLOSED SHOWER AREA, ENTIRE BATH/ENS. (NCC 2022) - MIN 1:80 AND MAX 1:50  
 OUTSIDE SHOWER AREAS - QDC 4.5 A5 2) (a) MIN. 1:100 AND MAX. OF 1:80

**DA DRAWINGS - NOT FOR CONSTRUCTION**

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 drafting@rezicad.com Ph: (07) 3363 8188  
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<b>DRAWING NAME</b>			
<b>First Floor</b>			
<b>CLIENT</b> AHCN Assets Pty Ltd			
<b>SITE ADDRESS</b> #17 (Lot 104) Elm Avenue Woodridge			
<b>REAL PROPERTY DESCRIPTION</b>			
Lot	Lot 104		
Registered Plan	RP109937		
Site Area	620m <sup>2</sup>		
<b>Rev</b>	<b>Revision Description</b>	<b>Date</b>	<b>By</b>
C	DA Plans	17/02/26	EK
B	New Concept	25/11/25	EK
A	Concept Plans	08/09/25	EK
<b>WIND LOADING (BY OTHERS)</b>		<b>SCALE</b>	
TBC		1:100 @ A3	
<b>LICENCE</b>		<b>DATE</b>	
1153526		08/09/25	
<b>SITE No.</b>		<b>SHEET No.</b>	
2505263		06 of 09	

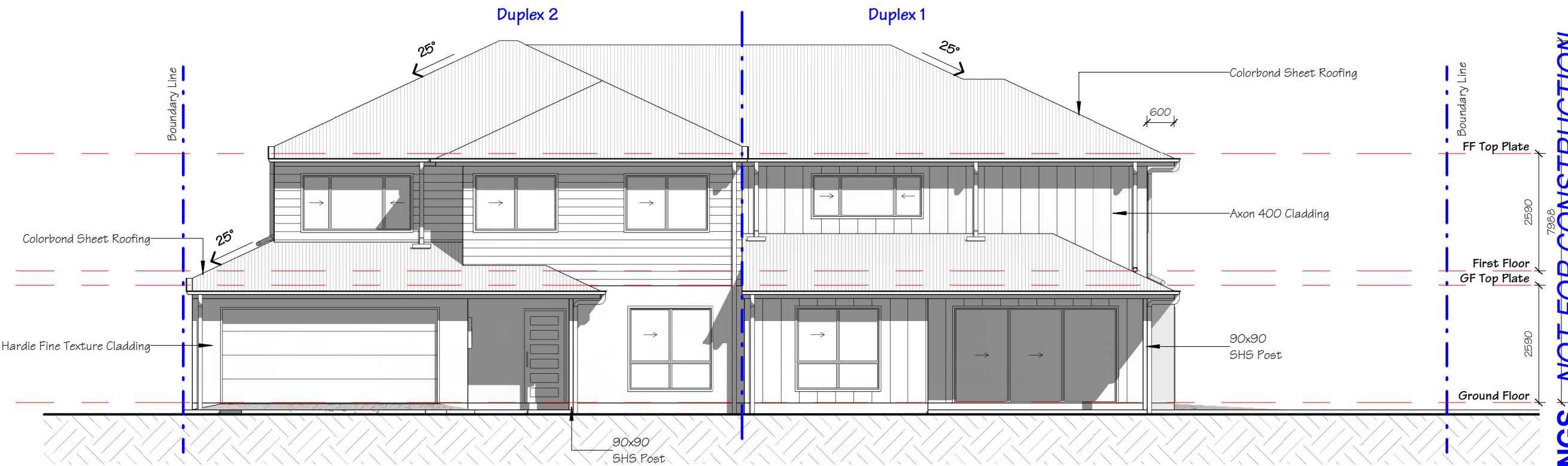
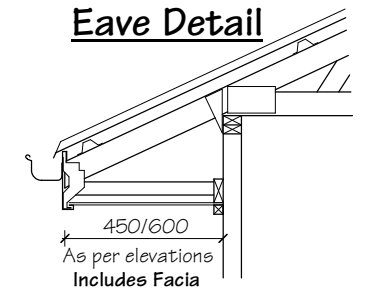
**NOTES**

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**Eastern Elevation**

1:100



**Southern Elevation**

1:100

**ReziCAD**  
BUILDING DESIGN  
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drafting@rezicad.com Ph: (07) 3363 8188

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**DRAWING NAME**  
**Elevations 1 of 2**

**CLIENT**  
AHCN Assets Pty Ltd  
**SITE ADDRESS**  
#17 (Lot 104) Elm Avenue  
Woodridge

**REAL PROPERTY DESCRIPTION**  
Lot 104  
Registered Plan RP109937  
Site Area 620m<sup>2</sup>

Rev	Revision Description	Date	By
C	DA Plans	17/02/26	EK
B	New Concept	25/11/25	EK
A	Concept Plans	08/09/25	EK

**WIND LOADING (BY OTHERS)** TBC **SCALE** 1:100 @ A3

**LICENCE** 1153526 **DATE** 08/09/25

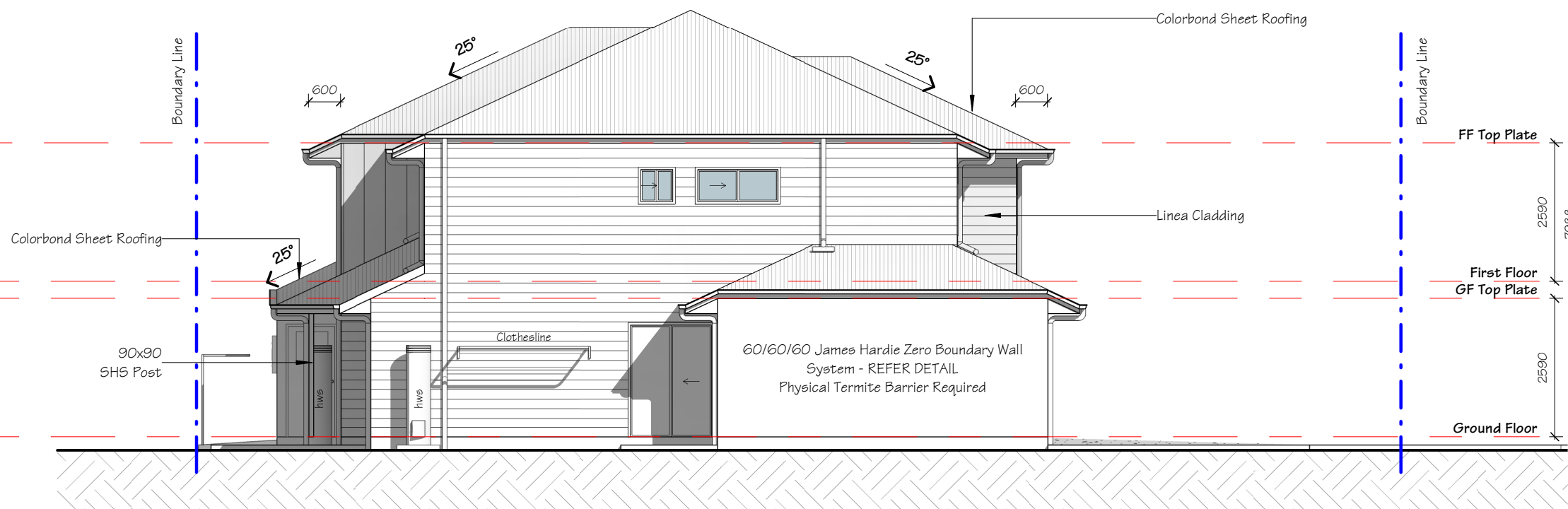
**SITE No.** 2505263 **SHEET No.** 07 of 09

**DA DRAWINGS - NOT FOR CONSTRUCTION**

Client ..... Date .....  
Client ..... Date .....  
Builder ..... Date .....

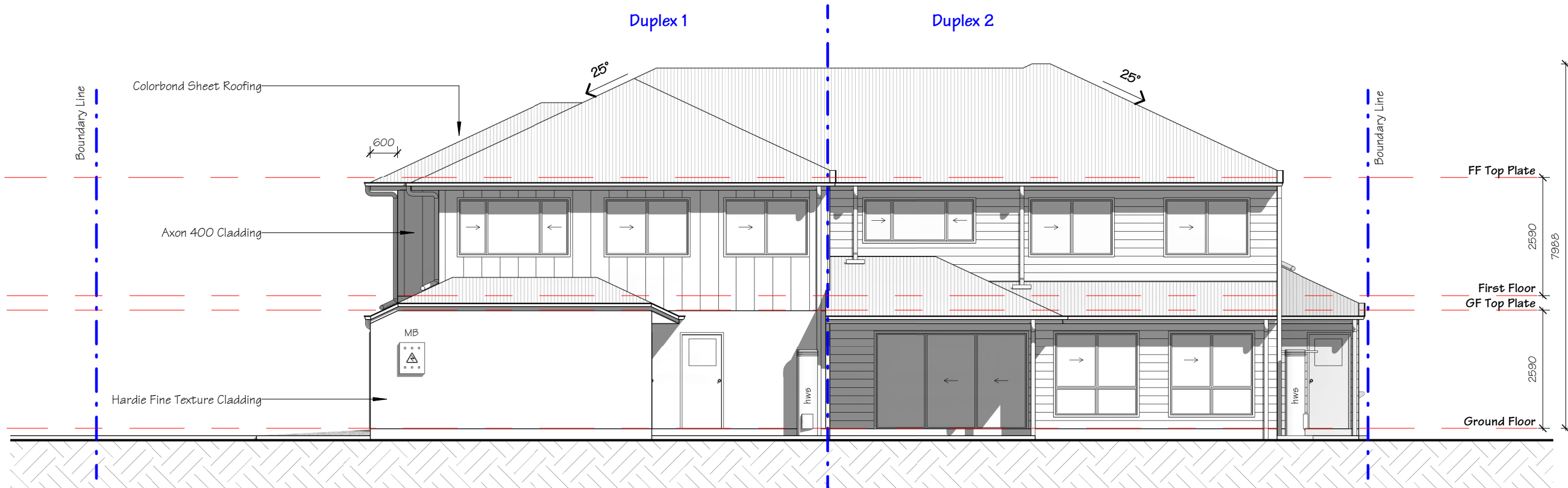
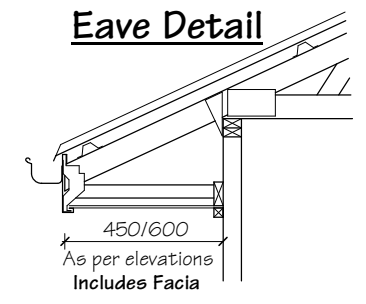
**NOTES**

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**Western Elevation**

1:100



**Northern Elevation**

1:100

**DA DRAWINGS - NOT FOR CONSTRUCTION**



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**DRAWING NAME**  
**Elevations 2 of 2**

**CLIENT**  
AHCN Assets Pty Ltd

**SITE ADDRESS**  
#17 (Lot 104) Elm Avenue  
Woodridge

**REAL PROPERTY DESCRIPTION**  
Lot 104  
Registered Plan RP109937  
Site Area 620m<sup>2</sup>

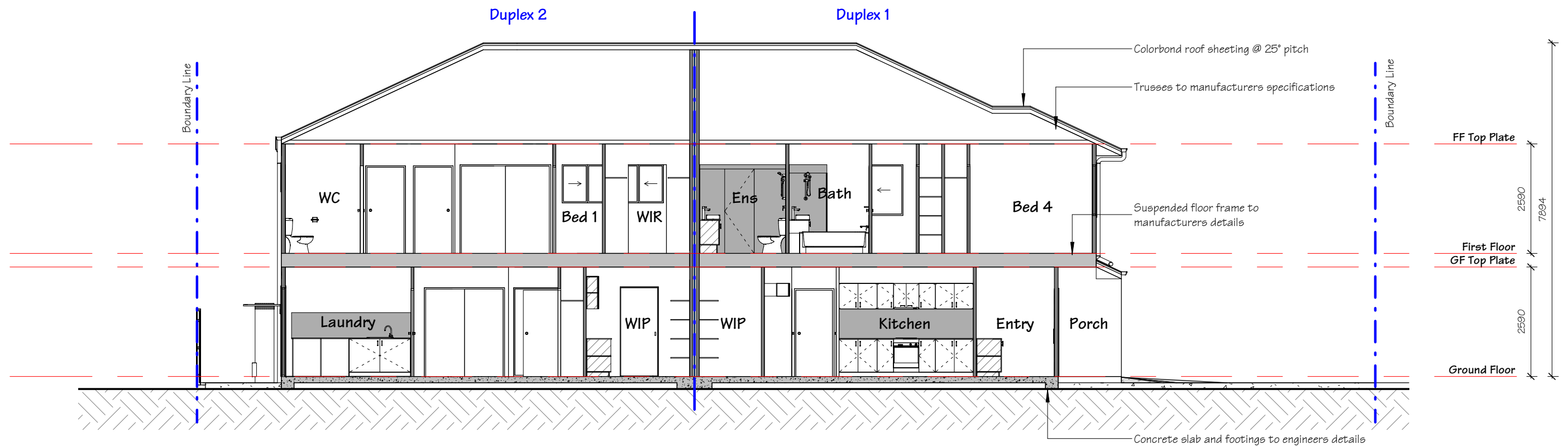
Rev	Revision Description	Date	By
C	DA Plans	17/02/26	EK
B	New Concept	25/11/25	EK
A	Concept Plans	08/09/25	EK

**WIND LOADING (BY OTHERS)** TBC      **SCALE** 1:100 @ A3

**LICENCE** 1153526      **DATE** 08/09/25

**SITE No.** 2505263      **SHEET No.** 08 of 09

Client ..... Date .....  
Client ..... Date .....  
Builder ..... Date .....



**Section 1**

1:100

**DA DRAWINGS - NOT FOR CONSTRUCTION**

Client ..... Date .....  
 Client ..... Date .....  
 Builder ..... Date .....

<b>CLIENT</b> AHCN Assets Pty Ltd	<b>SITE ADDRESS</b> #17 (Lot 104) Elm Avenue Woodridge	<p>Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.</p>	<table border="1"> <tr> <td>C</td> <td>DA Plans</td> <td>17/02/26</td> <td>EK</td> </tr> <tr> <td>B</td> <td>New Concept</td> <td>25/11/25</td> <td>EK</td> </tr> <tr> <td>A</td> <td>Concept Plans</td> <td>08/09/25</td> <td>EK</td> </tr> <tr> <th>Rev</th> <th>Revision Description</th> <th>Date</th> <th>By</th> </tr> </table>	C	DA Plans	17/02/26	EK	B	New Concept	25/11/25	EK	A	Concept Plans	08/09/25	EK	Rev	Revision Description	Date	By								
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<b>DRAWING NAME</b> Sections	<b>REAL PROPERTY DESCRIPTION</b> Lot RP Site Area Lot 104 RP109937 620m <sup>2</sup>	<p><b>ReziCAD</b> BUILDING DESIGN www.rezicad.com drafting@rezicad.com Ph: (07) 3363 8188 ©Copyright 2025 All Dimensions and Designs remain the property of REZICAD and are subject to the laws and protection of COPYRIGHT</p>	<table border="1"> <tr> <td colspan="2"><b>WIND LOADING (BY OTHERS)</b></td> <td colspan="2"><b>SCALE</b></td> </tr> <tr> <td colspan="2">TBC</td> <td colspan="2">1:100 @ A3</td> </tr> <tr> <td><b>LICENCE</b></td> <td><b>DATE</b></td> <td colspan="2"></td> </tr> <tr> <td>1153526</td> <td>08/09/25</td> <td colspan="2"></td> </tr> <tr> <td><b>SITE No.</b></td> <td><b>SHEET No.</b></td> <td colspan="2"></td> </tr> <tr> <td>2505263</td> <td>09 of 09</td> <td colspan="2"></td> </tr> </table>	<b>WIND LOADING (BY OTHERS)</b>		<b>SCALE</b>		TBC		1:100 @ A3		<b>LICENCE</b>	<b>DATE</b>			1153526	08/09/25			<b>SITE No.</b>	<b>SHEET No.</b>			2505263	09 of 09		
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