

Appendix G: Engineering Services Report

Prepared by Simforia Engineering Pty Ltd



SIMFORIA

ENGINEERING | PROJECT MANAGEMENT

Engineering Services Report

For: Proposed MCU Application
At: 52-58 Thornbill Drive, Greenbank
Client: Revival Pentecostal Church Inc

REPORT CONTROL SHEET

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Date Prepared:	31 May 2025
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Signed:	

Disclaimer:

This report is a professional opinion based on the information available at the time of writing. It is not intended as a quote, guarantee or warranty and does not cover any latent defects.

This report has been prepared specifically for Williams & Co Australia Pty Ltd (the Client), the site and the project. It has been written solely for the purpose of providing engineering advice to Client and Council for this development site.

This report has been compiled based on the information that is current at the time of report printing, and that the recommendations supplied within this report are based solely on the above.

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1 INTRODUCTION

1.1 BACKGROUND

Simforia has been engaged by Revival Pentecostal Church Inc. to prepare an Engineering Services Report in support of a Development Application for a Material Change of Use (MCU) relating to a carpark upgrade at the Revival Pentecostal Church of Brisbane, located at 52–58 Thornbill Drive, Greenbank QLD 4124. The site is formally described as Lot 97 on RP857852 and is situated within the suburb of Greenbank under the jurisdiction of Logan City Council (LCC). According to the Thornbill Drive Property Details, the site is zoned 'Rural Residential – Park Living'.

This report has been prepared to demonstrate that the proposed development can be adequately serviced by the required infrastructure. The report also intends to satisfy the requirements of the Logan City Council planning scheme and relevant development codes.

Refer to Figure 1 below which shows the location of the site.



Figure 1: Site Locality (Source: QLD Globe, 2025)

1.2 EXISTING SITE

The subject site is located at 52–58 Thornbill Drive, Greenbank QLD 4124, and is formally described as Lot 97 on RP857852. It has a total area of approximately 12,790 m² and a frontage of approximately 71.5 m to Thornbill Drive, which is classified as a local road.

The site is bounded by Thornbill Drive to the west, a rural residential property to the south (Lot 98 on RP857852), and a reserve to the north (Lot 979 on RP853910). The adjoining reserve includes Easement F on SP208419, which accommodates both a high-voltage electricity transmission line and a trunk water main managed by SEQ.

Existing features on the site include a single-storey building (formerly a dwelling, now part of the church facility), a dam located in the northern portion of the lot, a concrete water tank, and sheds. Vehicle access is currently provided via a gravel and bitumen driveway from Thornbill Drive. The remainder of the site comprises lawn areas, scattered trees, and other vegetation.

The eastern half of the site falls within a designated Koala Priority Area and is subject to the relevant Koala Habitat Overlay provisions under the applicable planning scheme.

1.3 EXISTING TOPOGRAPHY

The land generally falls in a south to north-easterly direction across the site, with the highest point located in the south-western corner at approximately RL 102.8 m and the lowest point in the north-eastern corner at approximately RL 86.6 m. The western half of the site, which contains the existing church building, exhibits an average slope of around 9%, falling towards the on-site dam. The eastern half of the site, which lies within the designated Koala Priority Area, has a similar gradient of approximately 10%, also sloping northward.

According to the Thornbill Drive Property Details, an area of approximately 459.5 m² within the site is affected by the “OM - 08.01 - Landslide \geq 15% slope” overlay, as shown in the figure below.

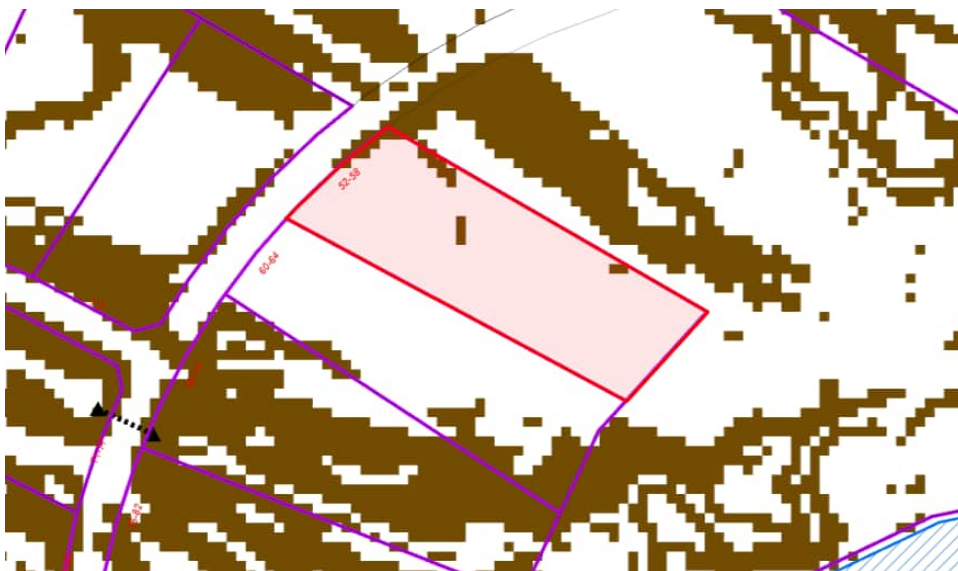


Figure 2: Landslide hazard overlay OM - 08.01 - Landslide \geq 15% slope (Source: LCC PD Hub, 2025)

1.4 PROPOSED DEVELOPMENT

A Development Application for a Material Change of Use (MCU) will be lodged to upgrade and expand the existing Revival Pentecostal Church of Brisbane. The proposal involves refurbishing the existing single-storey building (approximately 194 m²) and constructing a new extension of around 58 m², resulting in a total gross floor area of approximately 252 m².

The development also includes a new sealed car park with 47 spaces, including two designated disabled bays, along with new driveways and pedestrian pathways. The total development area is approximately 2,023 m².

Please see Figure 2 below and Appendix A for the proposed development plan.

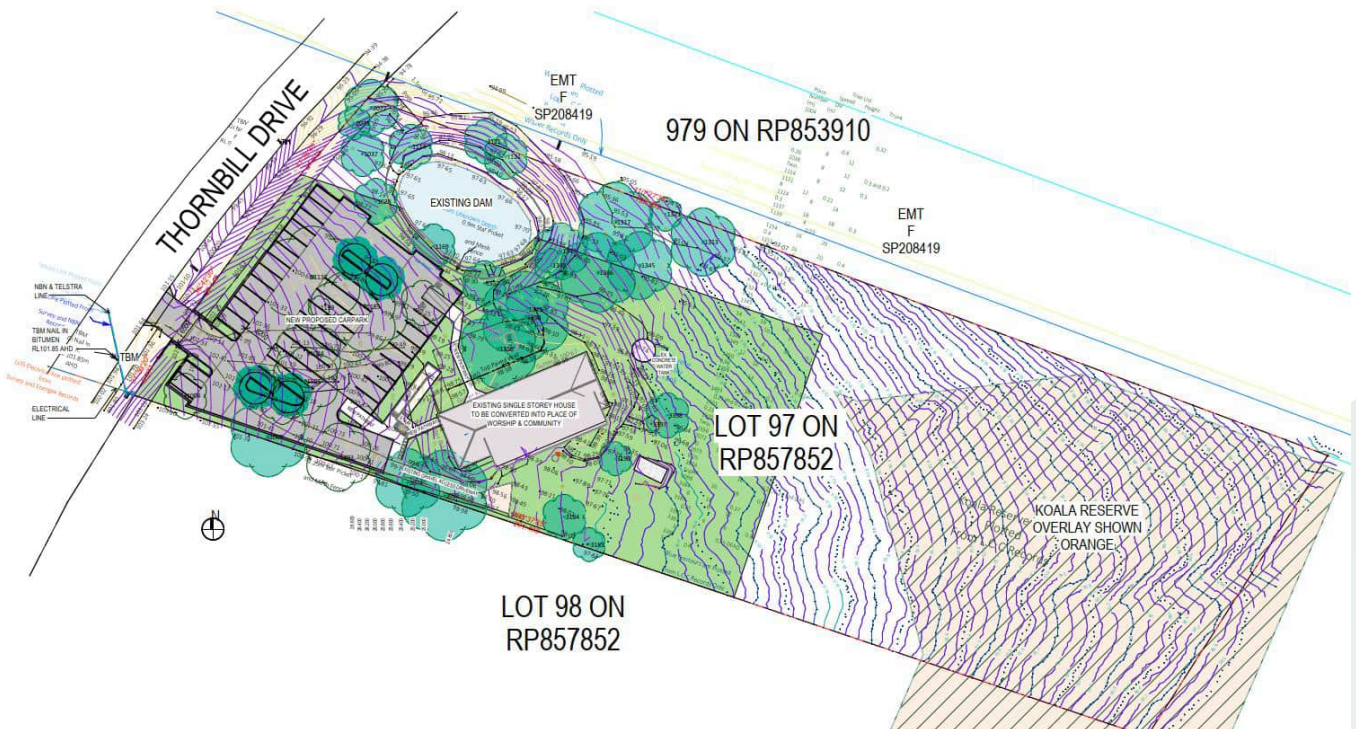


Figure 3: Proposed Architectural Layout Plan (Source: DZ Architects)

2 EARTHWORKS

2.1 EARTHWORKS DESIGN

Earthworks will be required across the site to achieve the finished levels necessary for the proposed church extension, carpark, and associated pathways. These works will generally involve the removal (export) of existing material to accommodate the required box depth for the proposed carpark pavement. Earthworks will be guided by the design levels shown in the carpark surface grading plans. Detailed cut and fill extents and volumes are provided in the Concept Civil Engineering Plans (refer to Appendix B).

2.2 RETAINING WALLS

Retaining walls up to 1.0 m in height are proposed along the southern boundary of the proposed car park and are expected to be constructed using concrete sleepers.

Along the northern edge of the car park, where the finished surface level will be up to 1000 mm above the natural ground, a sandstone block retaining wall is proposed. Up to two sandstone blocks will be stacked to extend at least 300 mm above the back of the kerb, creating an effective vehicle barrier to prevent accidental overruns into the adjacent dam.

All retaining walls will be designed for structural integrity and long-term durability, using high-quality materials and finishes appropriate to the site conditions.

2.3 GEOTECHNICAL BACKGROUND

At the time of preparing this report, a geotechnical investigation had not yet been undertaken.

A suitable geotechnical report will be prepared for the detailed design phase to inform earthworks operations, suitability of cut materials to be used as structural filling and to inform pavement design compositions.

The development site is not expected to contain acid sulphate soils.

2.4 FIRE ANTS

According to the Queensland Government Department of Agriculture and Fisheries, the subject site is located within Fire Ant Biosecurity Zone 2.

Any export of soil from or off the site is required to abide by the requirements of the Biosecurity Act 2014.

2.5 EROSION & SEDIMENT CONTROL

During the earthworks and construction phase of the development, suitable erosion and sediment control (ESC) measures will be required to protect the downstream receiving environment.

A detailed ESC program will be prepared, established, and maintained in accordance with International Erosion Control Association (IECA) and Logan City Council standards. The ESC design and program is to be undertaken prior to the construction phase of the project. It will be the responsibility of the principal contractor to implement, maintain and update, as necessary.

3 STORMWATER MANAGEMENT

All stormwater drainage design will be undertaken in accordance with the requirements of the Queensland Urban Drainage Manual (QUDM) and Logan City Council Planning Scheme Policies.

3.1 FLOODING

Refer to Site Based Stormwater Management Report for further information.

3.2 STORMWATER QUANTITY

Refer to Site Based Stormwater Management Report for further information.

3.3 STORMWATER QUALITY

Refer to Site Based Stormwater Management Report for further information.

3.4 LAWFUL POINT OF DISCHARGE

Refer to Site Based Stormwater Management Report for further information.

4 SEWERAGE

There are no existing sewerage mains within the vicinity of the subject site. Additionally, the site is not located within any sewerage infrastructure catchment area identified in the Logan City Council's infrastructure plans, nor does it fall within any existing or proposed sewer catchment.

It is understood that an on-site wastewater treatment system currently services the existing dwelling on the property.

For the proposed development, a new on-site sewerage system may be required. An effluent disposal report will be prepared by others to assess the suitability of the existing on-site sewerage facilities and to determine the effluent disposal requirements for the upgraded development.

5 WATER SUPPLY

5.1 EXISTING WATER SUPPLY

As there are no existing reticulated water mains within the immediate vicinity of the subject site. Although a trunk water main, managed by SEQ, is located within the adjoining easement to the north, this asset is not suitable for servicing the site. Logan City Council has been contacted to confirm the availability of reticulated water infrastructure, and it was confirmed that no existing water mains are located nearby. The closest reticulated water main is situated at the commencement of Thornbill Drive, approximately 1 kilometre from the site.

The existing dwelling on the site is likely serviced by on-site water tanks that capture and reuse roofwater for potable and non-potable purposes.

The proposed development will require a hydraulic engineer to undertake a detailed assessment of water demand, including both domestic consumption and fire-fighting requirements. Depending on the findings, additional on-site water storage for fire-fighting purposes may be required to comply with relevant standards.

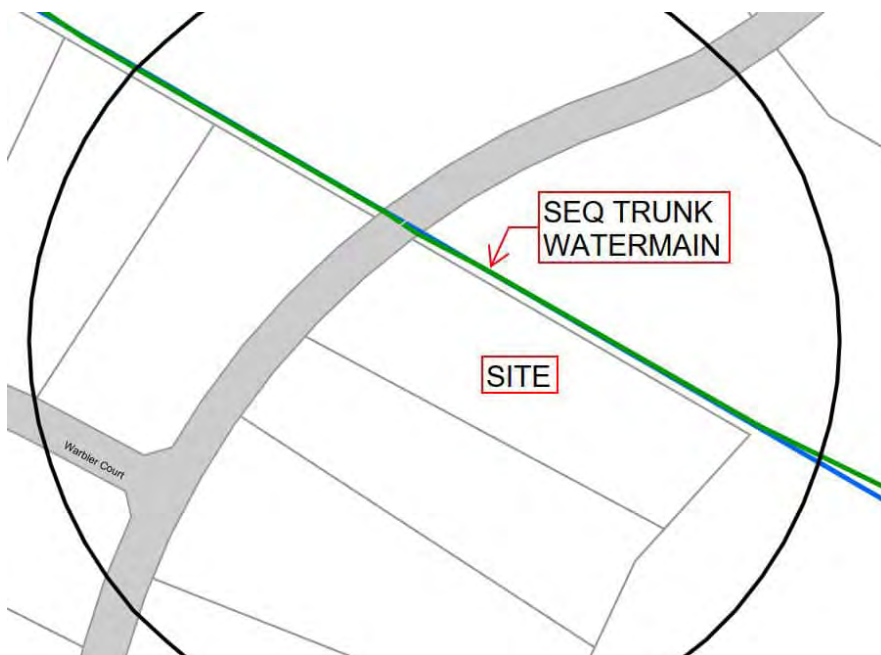


Figure 4: Existing Water Reticulation Main Network (Source: UU GIS Maps)

6 ACCESS & ROADWORKS

6.1 EXISTING ACCESS

The subject site currently has a single primary vehicular access point directly from Thornbill Drive. This existing access consists of a compacted gravel crossover at the road frontage, which extends into the property. A stormwater culvert passes beneath the existing driveway within the Thornbill Drive road reserve.



Figure 5: Existing Site Crossover (Source: Google Maps 2024)

6.2 PROPOSED ACCESS

The proposed development includes the construction of a new formalised driveway access from Thornbill Drive to service the church facility and associated carparking areas, as shown on the development plans. The new crossover will be constructed in accordance with Logan City Council requirements, specifically following IPWEAQ Standard Drawing RS-052 for a heavy-duty concrete driveway. The driveway surface will consist of reinforced concrete pavement with a 375 mm diameter stormwater culvert installed beneath the access. Refer to the Concept Civil Engineering Plans in Appendix B for further details.

7 ELECTRICITY

An underground electricity network managed by Energex, consisting of both high-voltage (HV) and low-voltage (LV) cables, exists within the northern verge of Thornbill Drive. This network currently supplies electricity to the existing property, as confirmed by the information received from BYDA.

The proposed development intends to connect to this existing underground network. To ensure the network can accommodate the increased demand, an electrical engineer will assess the anticipated load requirements. Final confirmation and approval for connection will then be sought from Energex.

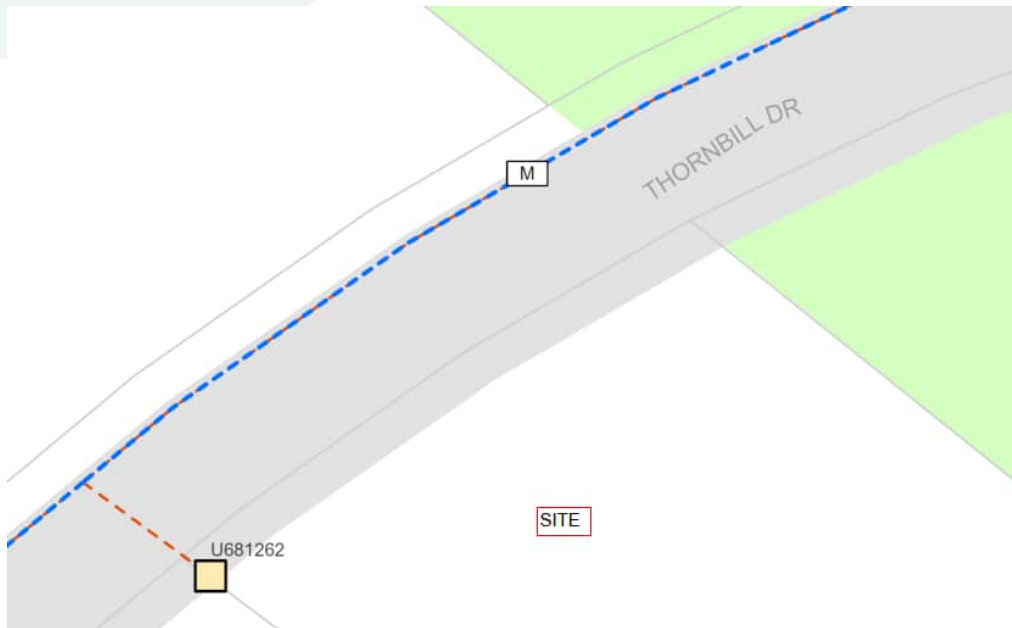


Figure 6: Existing Electrical Network (Source: BYDA, 2025)

8 COMMUNICATIONS

An existing telecommunications infrastructure, including NBN and Telstra services, is located within the northern verge of Thornbill Drive. This network currently provides telecommunications connectivity to the existing property.

The proposed development will connect to this existing telecommunications network. A qualified telecommunications engineer or service provider will need to assess the site's requirements and coordinate connection arrangements. Final confirmation and approval for service provision will be obtained from the relevant authorities, including NBN Co and Telstra.

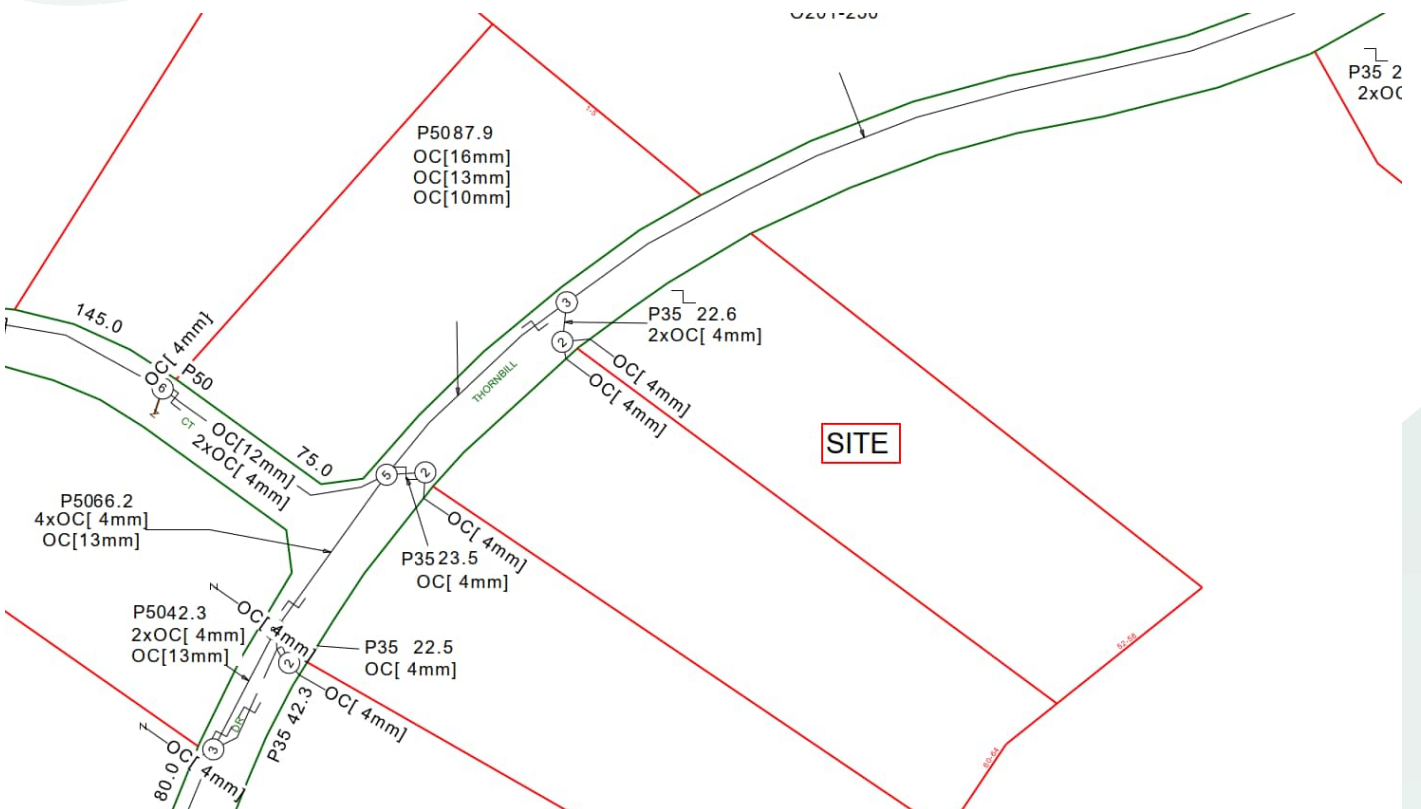


Figure 7: Existing Telstra Network (Source: BYDA, 2025)

9 CONCLUSION

This Civil Engineering Servicing Report has been completed for the proposed Material Change of Use (MCU) relating to a carpark upgrade and church facility expansion at the Revival Pentecostal Church of Brisbane, located at 52–58 Thornbill Drive, Greenbank. From the investigations and reporting, it has been shown that the proposed development can be adequately serviced, subject to detailed design and relevant authority approvals. Key findings from the assessment are summarized below:

- Earthworks, primarily involving the export of material, will be required to facilitate the construction of the proposed carpark and building extension.
- Retaining walls up to 1.0m high (concrete sleepers) and sandstone block retaining walls are proposed for the carpark area.
- A geotechnical investigation will be undertaken during the detailed design phase to inform earthworks and structural design. The site is not expected to contain acid sulphate soils.
- The site is located within Fire Ant Biosecurity Zone 2, and all soil movements must adhere to the Biosecurity Act 2014.
- Appropriate erosion and sediment control measures will be implemented and maintained throughout the construction period.
- Stormwater management, including considerations for flooding, quantity, quality, and lawful point of discharge, will be addressed in detail in a separate Site-Based Stormwater Management Report.
- The site is not serviced by reticulated sewerage infrastructure. An assessment of the existing on-site wastewater system and determination of requirements for the upgraded development will be undertaken by others.
- Reticulated water supply is not currently available to the site. The development will continue to rely on on-site water sources (such as rainwater harvesting), and an assessment of water demand, including fire-fighting requirements, will be necessary, potentially requiring additional on-site storage.
- The existing access from Thornbill Drive will be upgraded, with a new formalised driveway constructed to Logan City Council and IPWEAQ standards, including a new culvert.
- The proposed development can be serviced by the existing Energex underground electricity network in Thornbill Drive, subject to a load assessment and Energex approval.
- Connection to the existing NBN and Telstra telecommunications infrastructure located in Thornbill Drive is anticipated for the proposed development, subject to service provider assessment and approvals.

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APPENDIX A – DEVELOPMENT SITE PLANS

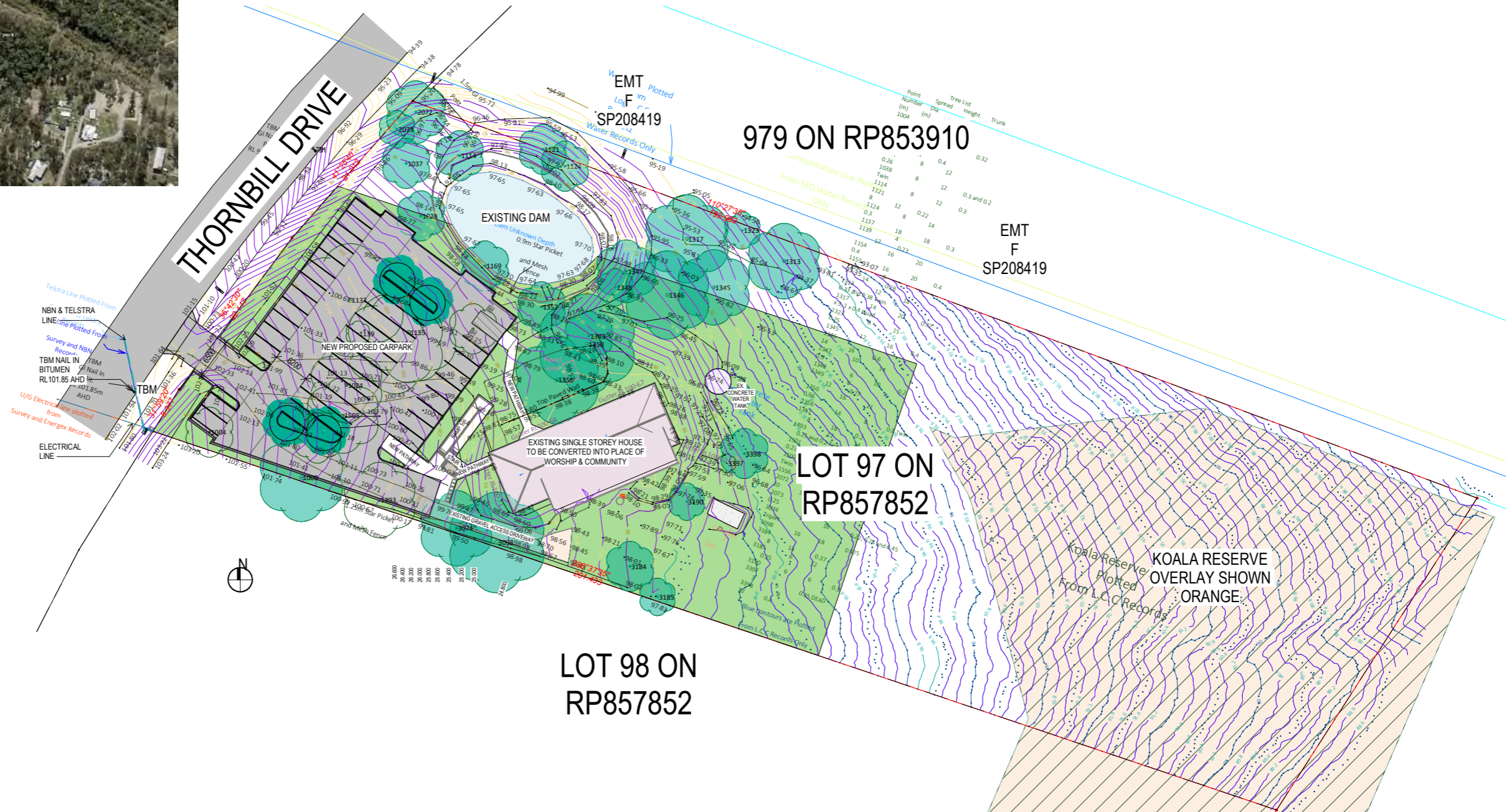
52-58 THORNBILL DRIVE, GREENBANK

PROPOSED REVIVAL PENTECOSTAL CHURCH OF BRISBANE



LOCALITY VIEW - NOT TO SCALE

PROPOSED DEVELOPMENT SUMMARY	
TOTAL FLOOR INTERNAL FLOOR AREA TO BE CONVERTED:	194m ²
PROPOSED EXTENSION	58m ²
TOTAL	252m ²
SITE DATA	
• SITE AREA	2023m ²
• SITE COVERAGE - HOUSE FOOT PRINT - 401M ²	19.8%
• LOT 1 ON RP44005, LOT 2 ON RP44005, LOT 203 ON I122423	
• IPSWICH CITY COUNCIL	
CARPARKING	
PROPOSED CARPARKS : 2600W X 5400L	45
PROPOSED DISABLED CARPARKS	2
TOTAL CARPARKS :	47

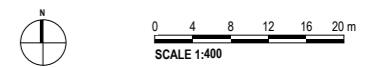


2 SITE PLAN
SCALE 1:400

FOR REVIEW
15.04.24

REVIVAL PENTECOSTAL CHURCH OF BRISBANE, 52-58 THORNBILL DRIVE, GREENBANK

SITE PLAN



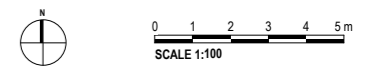
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REVIVAL PENTECOSTAL CHURCH OF BRISBANE, 52-58 THORNBILL DRIVE, GREENBANK

EXISTING SITE PHOTOS



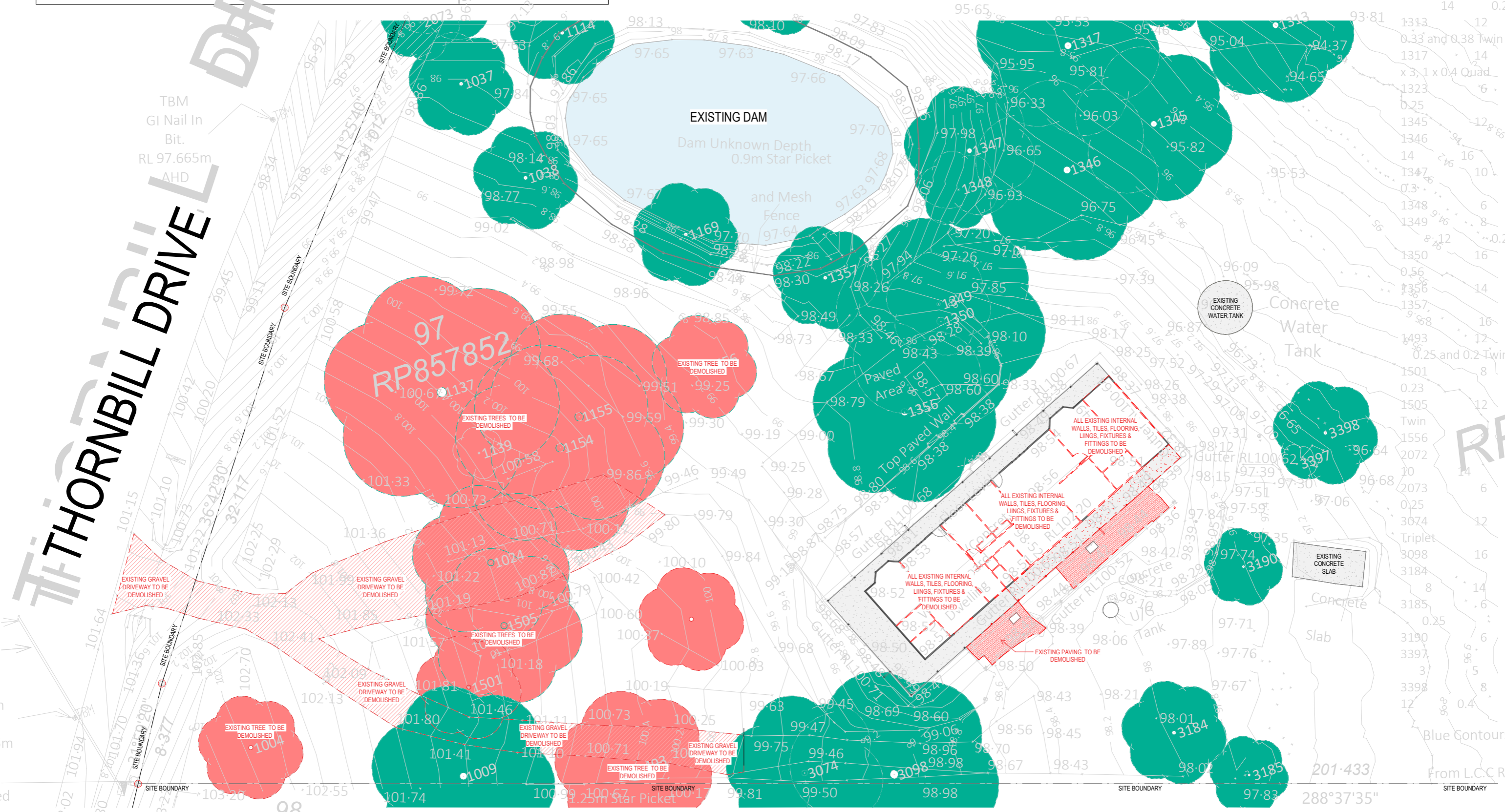
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original sheet size A1 (594 x 841mm)

DEMOLITION NOTES

- ALL DEMOLITION WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE DRAWINGS AND BUILDING OWNER REQUIREMENTS
- CONTRACTOR TO MAKE GOOD ANY DAMAGE ARISING OUT OF DEMOLITION WORK INCLUDING, BUT NOT LIMITED TO, CEILING, PERIMETER, CORE WALLS AND COLUMNS, SKIRTING AND FLOOR FINISH
- PROVIDE DUST-PROOF SCREENS AND COVERS TO PROTECT EXISTING FINISHES AND THE IMMEDIATE ENVIRONMENT FROM DUST AND DEBRIS
- UNLESS OTHERWISE NOTED, ALL ITEMS INDICATED AS DEMOLISHED ARE TO BE REMOVED FROM SITE AND DISPOSED OF BY BUILDER/CONTRACTOR
- CARE IS TO BE TAKEN WHEN EXISTING FINISHES ARE BEING REMOVED TO ENSURE NO EXISTING SERVICES ARE DAMAGED OR DISTURBED UNLESS INTENDED
- REFER TO AND COORDINATE ALL WORKS WITH SERVICES ENGINEERS DRAWINGS AND SPECIFICATIONS
- CONTRACTOR TO COORDINATE & REFER TO STRUCTURAL ENGINEERS DETAILS AND SPECIFICATIONS FOR REQUIREMENTS OF DEMOLITION OF STRUCTURAL ELEMENTS
- CONFIRM AND CHECK ON SITE FOR PRESENCE OF ANY ASBESTOS. EMPLOY CERTIFIED CONTRACTOR TO REMOVE EXTENT PRIOR TO CONSTRUCTION. WHEN REINSTATEMENT IS REQUIRED, MAKE GOOD ANY DAMAGED ITEMS TO EXACTLY MATCH EXISTING. WHERE SERVICES ARE TO BE DEMOLISHED CUT AND SEAL OR DISCONNECT AND MAKE SAFE.
- ALL DEMOLITION MATERIALS ARE TO BE REMOVED FROM SITE AS THEY ACCUMULATE TO MAKE SITE CLEAR
- TAKE ALL PRECAUTIONS NECESSARY TO PROTECT THE HEALTH OF ALL PERSONS ON OR WITHIN THE VICINITY OF THE SITE OR ADJACENT AREAS FROM CONDITIONS WHICH ARE OR MAY BE DANGEROUS TO HEALTH, INCLUDING THE NOXIOUS EFFECTS OF DUST, FUMES, LIQUIDS, INFECTION, FIRE, EXPLOSION, RADIATION OR OTHER HAZARDS
- WHEN TEMPORARY PROTECTIONS NECESSARY FOR DEMOLITION WORK TO BE CARRIED OUT ADJACENT TO ITEMS TO REMAIN, TAKE ALL NECESSARY PRECAUTIONS AND PROTECT FROM DAMAGE ALL ADJACENT MATERIALS AND SURFACES TO BE RAINED ON THE SITE AS WELL AS ALL OTHER PROPRIETORS ITEMS
- AT ALL TIMES PREVENT THE ENCRoACHMENT OF DEMOLISHED MATERIALS ONTO ADJACENT AREAS AND NEIGHBOURS
- ALL TO TERMINATE AND REMOVE ALL REDUNDANT WIRING AND SERVICES OUTLETS TO WALLS, ELECTRICAL AND DATA POINTS IN DEMOLISHED WALLS TO BE MADE SAFE BY QUALIFIED CONTRACTOR

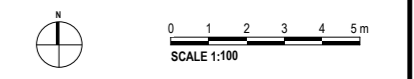
NOTE
ALL BUILDING ELEMENTS SHOWN RED ARE TO BE DEMOLISHED
SEEK STRUCTURAL ENGINEERS ADVICE AND
RECOMMENDATIONS BEFORE COMMENCING DEMOLITION



1 EXISTING / DEMO PLAN
SCALE 1:150

REVIVAL PENTECOSTAL CHURCH OF BRISBANE, 52-58 THORNBILL DRIVE, GREENBANK

EXISTING & DEMOLITION GROUND PLAN



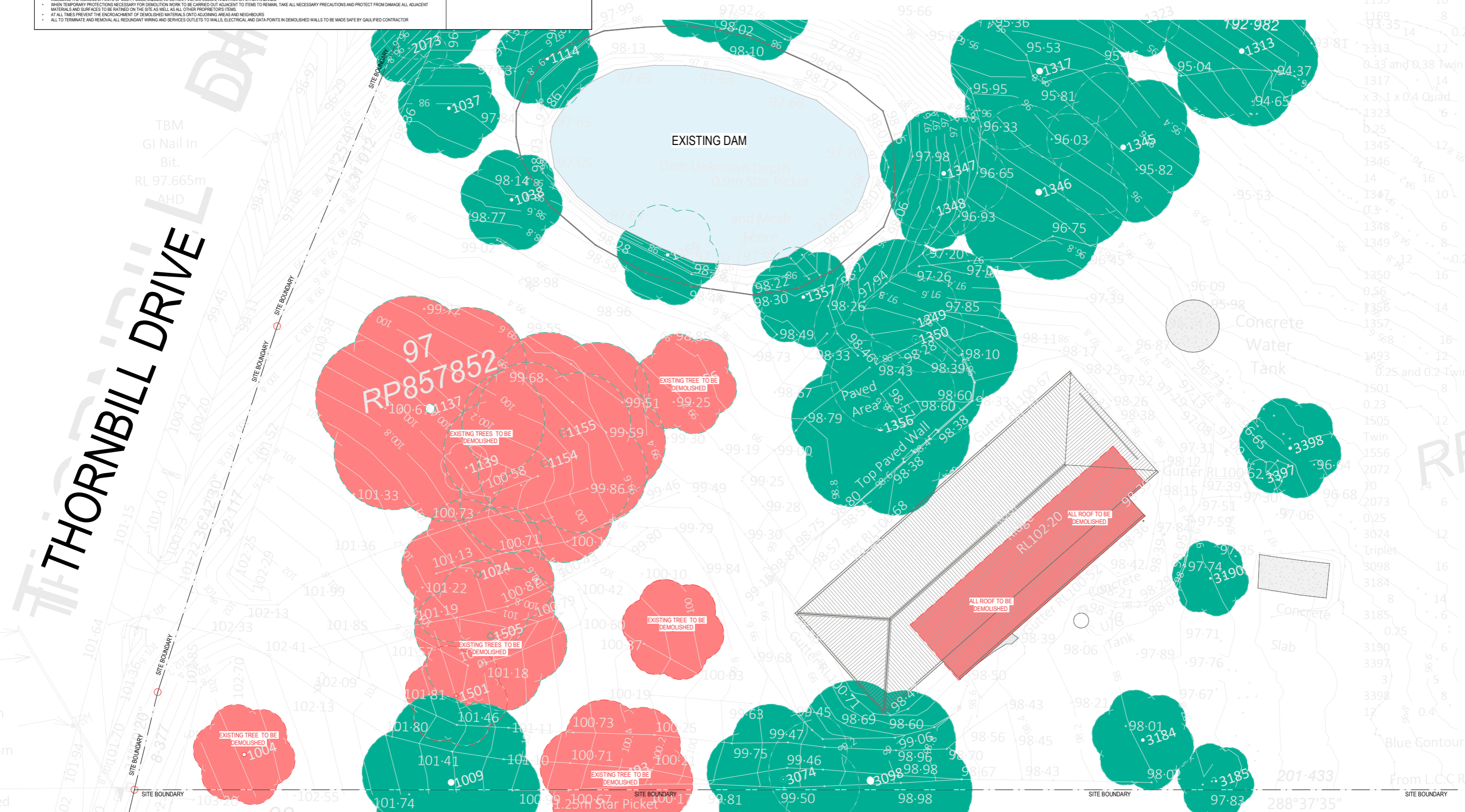
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- WHEN TEMPORARY PROTECTIONS NECESSARY FOR DEMOLITION WORK TO BE CARRIED OUT ADJACENT TO ITEMS TO REMAIN, TAKE ALL NECESSARY PRECAUTIONS AND PROTECT FROM DAMAGE ALL ADJACENT MATERIALS AND SURFACES TO BE RATED ON THE SITE AS WELL AS ALL OTHER PROPERLY ITEMS.
- AT ALL TIMES PREVENT THE ENCRoACHMENT OF DEMOLISHED MATERIALS ONTO ADJOINING AREAS AND NEIGHBOURS.
- ALL TO TERMINATE AND REMOVE ALL REDUNDANT WIRING AND SERVICES OUTLETS TO WALLS, ELECTRICAL AND DATA POINTS IN DEMOLISHED WALLS TO BE MADE SAFE BY QUALIFIED CONTRACTOR

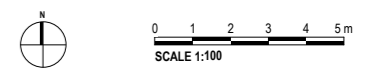
NOTE:
ALL BUILDING ELEMENTS SHOWN RED ARE TO BE DEMOLISHED.
SEEK STRUCTURAL ENGINEERS ADVICE AND RECOMMENDATIONS BEFORE COMMENCING DEMOLITION



ED LEVEL 2 EXISTING / DEMO
SCALE 1:150

REVIVAL PENTECOSTAL CHURCH OF BRISBANE, 52-58 THORNBILL DRIVE, GREENBANK

EXISTING & DEMOLITION PLAN ROOF PLAN



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GENERAL NOTES

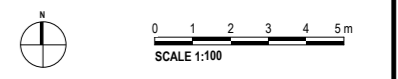
- USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM DRAWINGS. CHECK ALL DIMENSIONS ON SITE BEFORE SETOUT OR FABRICATION. THE CONTRACTOR MUST VERIFY AND CHECK ALL SITE CONDITIONS INCLUDING CEILING HEIGHTS AND DIMENSIONS BEFORE COMMENCING WORK ON SITE.
- HOUSE TO BE IN ACCORDANCE WITH BRISBANE COUNCIL PLAN REQUIREMENTS, QUEENSLAND DEVELOPMENT CODE & NATIONAL CONSTRUCTION CODE.
- FOR ALL STRUCTURAL BEAMS, COLUMNS, LINTELS, SLABS, ROOF MEMBERS, FLOOR FRAMING, LOADS, FOUNDATION, EARTHWORKS, CONCRETE & STRUCTURAL COLUMNS REFER TO STRUCTURE ENGINEERS DRAWINGS AND DETAILS.



GA GROUND FLOOR PLAN PART A
SCALE 1:100

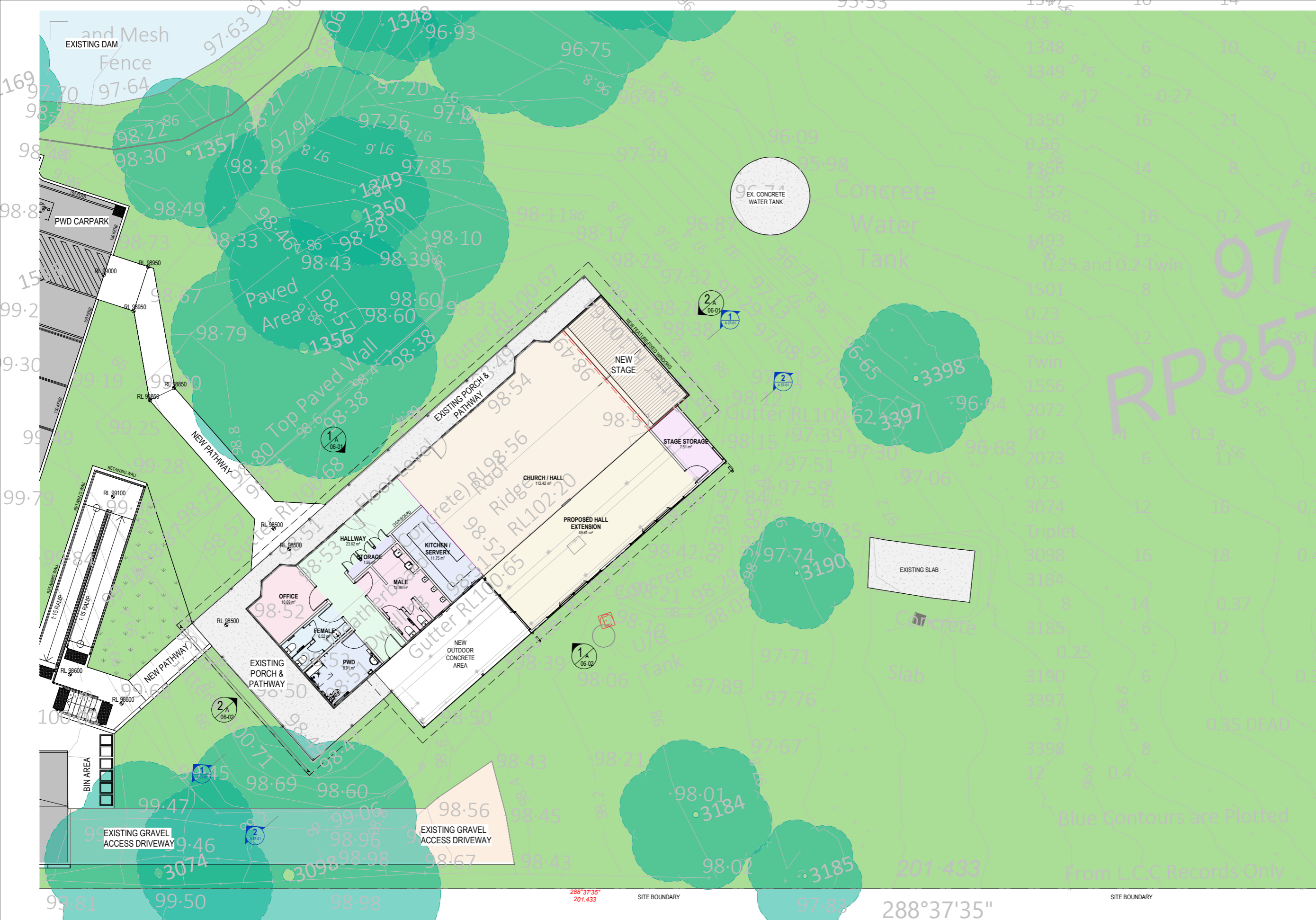
REVIVAL PENTECOSTAL CHURCH OF BRISBANE, 52-58 THORNBILL DRIVE, GREENBANK

GENERAL ARRANGEMENT PLAN GROUND PART A



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GENERAL NOTES

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GA GROUND FLOOR PLAN PART B
SCALE 1:100

REVIVAL PENTECOSTAL CHURCH OF BRISBANE, 52-58 THORNBILL DRIVE, GREENBANK

GENERAL ARRANGEMENT GROUND PART B

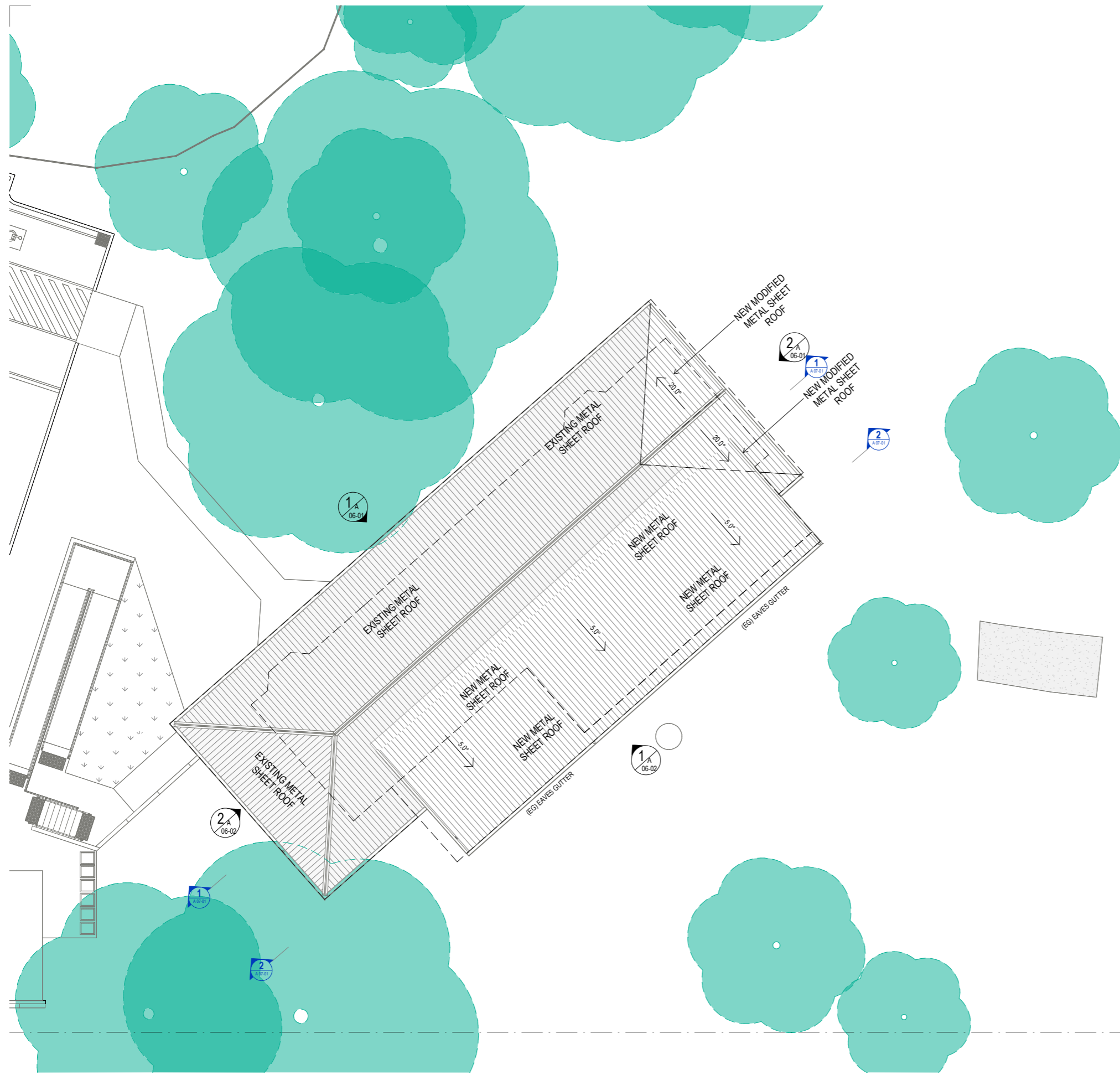


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GENERAL NOTES

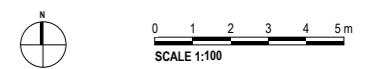
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1 ROOF PLAN
SCALE 1:100

REVIVAL PENTECOSTAL CHURCH OF BRISBANE, 52-58 THORNBILL DRIVE, GREENBANK

ROOF PLAN



dwg no.	issue date	revision
A 02-23	15.04.24	1

original sheet size A1 (594 x 841mm)

GENERAL NOTES

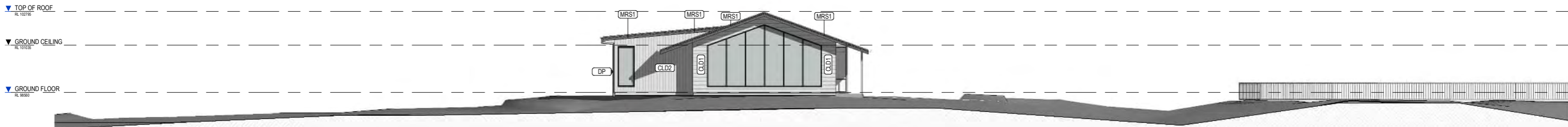
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ELEVATION FINISHES LEGEND

APF	APRON FLASHING - PREFINISHED COLORBOND
BC	BARGE CAPPING - PREFINISHED COLORBOND
BAL1	1100 HIGH PAINTED TIMBER BALUSTRADE
BATT1	70 x 20 TIMBER BATTENS - PAINTED
BW1	190 CORE FILLED BLOCKWALL TO STRUCTURE ENG. DETAILS - RENDERED & PAINTED
CLD1	WEATHERBOARD CLADDING TO MATCH EXISTING
CLD2	AXON VERTICAL CLADDING PAINTED
COL	COLUMN TO STRUCTURE ENGINEERS DETAILS - PAINTED
DP	100 DIAM. DOWNPIPE - PRE-FINISHED COLORBOND TO MATCH CLADDING COLOUR
EG	PRE-FINISHED EAVES COLORBOND GUTTER TO MATCH ROOF
MRS1	CORROGATED METAL ROOF SHEETING - COLORBOND
RC	RIDGE CAPPING - COLORBOND TO MATCH ROOF SHEETING COLOUR



ELEVATION 1
SCALE 1:100



ELEVATION 2
SCALE 1:100

REVIVAL PENTECOSTAL CHURCH OF BRISBANE, 52-58 THORNBILL DRIVE, GREENBANK

ELEVATION 1 & 2



dwg no. **A 06-01** issue date **15.04.24** revision **1**

original sheet size A1 (594 x 841mm)

GENERAL NOTES

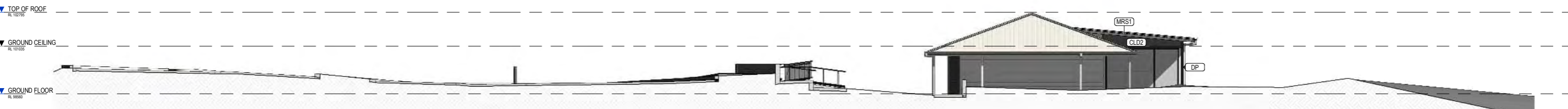
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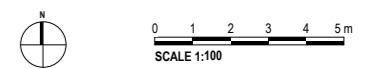
1 ELEVATION 3
SCALE 1:100



2 ELEVATION 4
SCALE 1:100

REVIVAL PENTECOSTAL CHURCH OF BRISBANE, 52-58 THORNBILL DRIVE, GREENBANK

ELEVATION 3 & 4

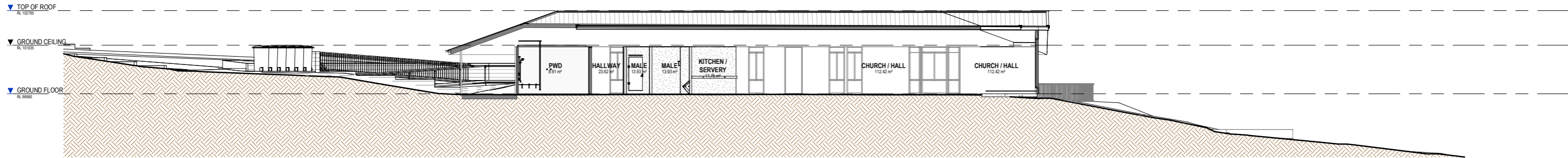


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A 06-02	15.04.24	1

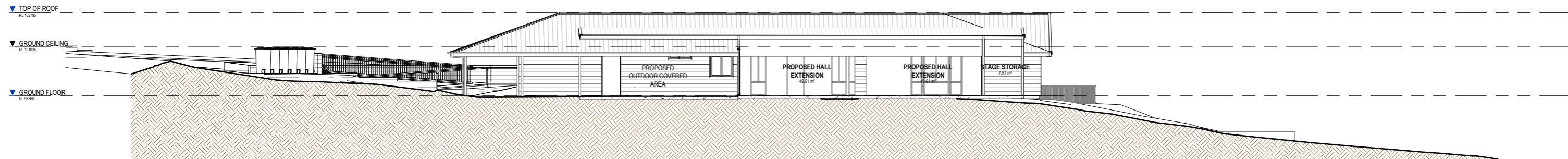
original sheet size A1 (594 x 841mm)

GENERAL NOTES

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SECTION 1
SCALE 1:100



SECTION 2
SCALE 1:100

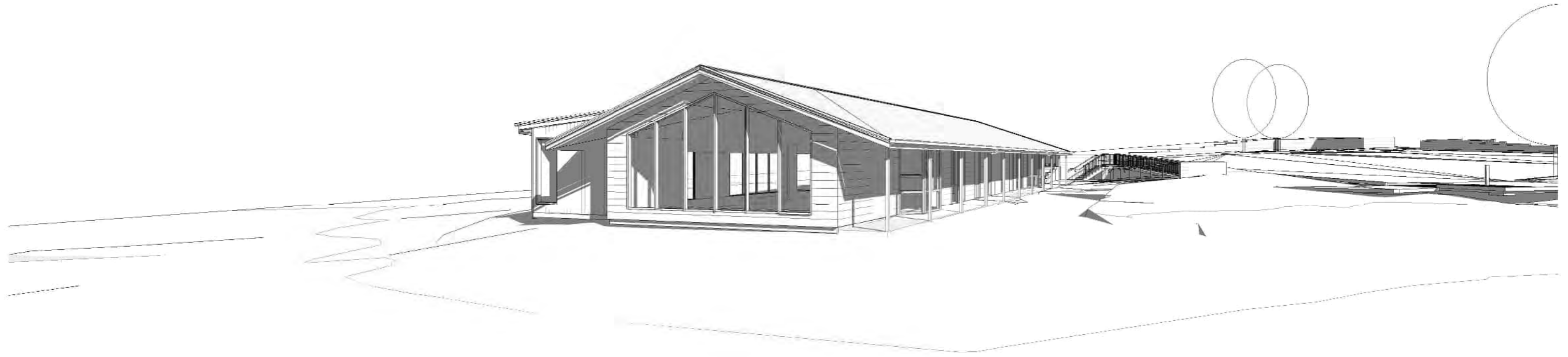
REVIVAL PENTECOSTAL CHURCH OF BRISBANE, 52-58 THORNBILL DRIVE, GREENBANK

SECTION 1 & 2

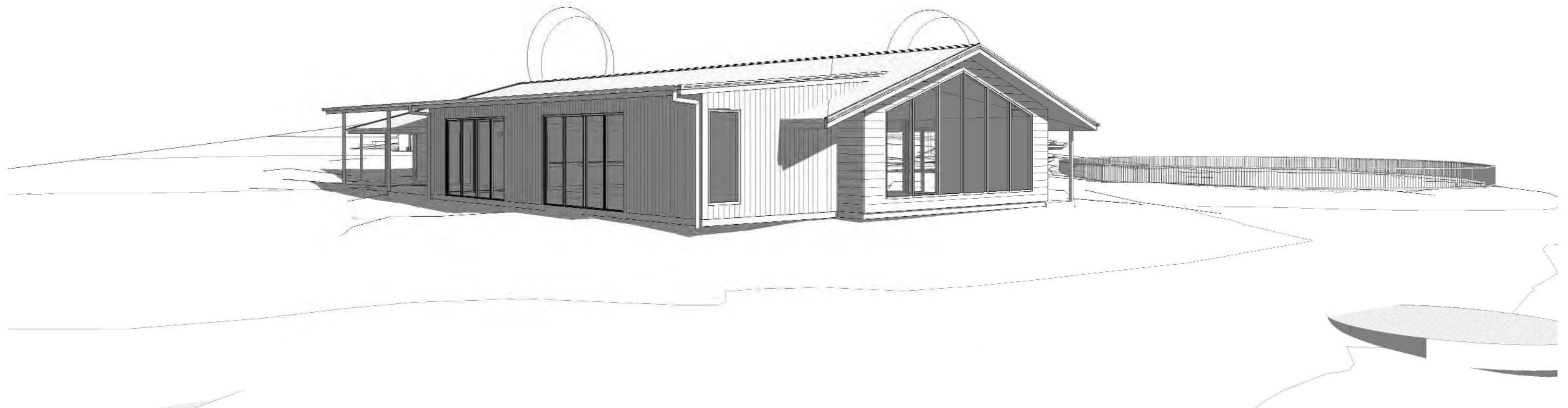


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A 07-01	15.04.24	1

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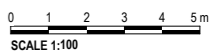
1 EXTERIOR VIEW 1
SCALE



2 EXTERIOR VIEW 2
SCALE

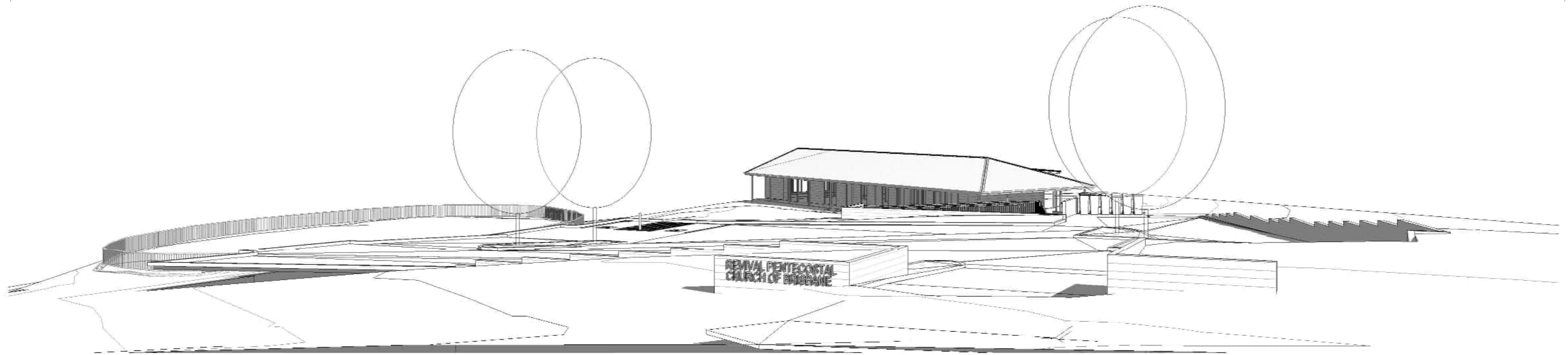
REVIVAL PENTECOSTAL CHURCH OF BRISBANE, 52-58 THORNBILL DRIVE, GREENBANK

EXTERIOR VIEWS SHEET 1

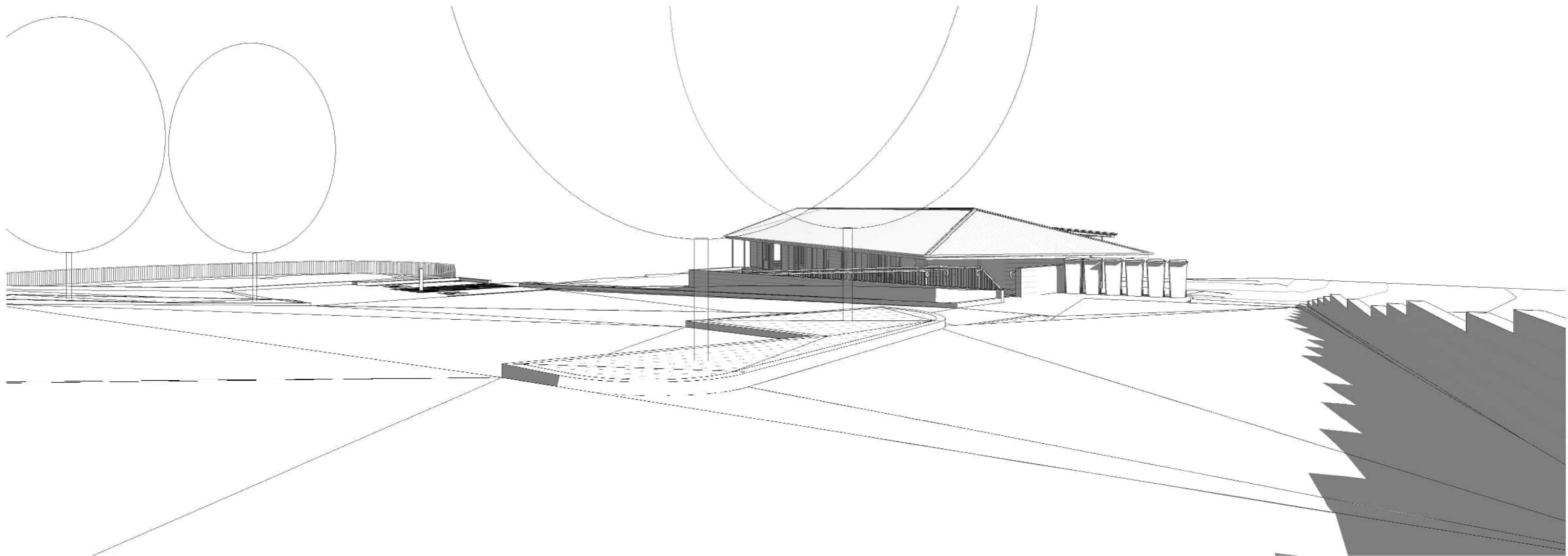


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A 09-21	15.04.24	1

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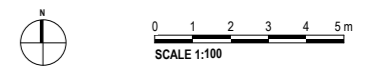
1 EXTERIOR VIEW 3
SCALE



2 EXTERIOR VIEW 4
SCALE

REVIVAL PENTECOSTAL CHURCH OF BRISBANE, 52-58 THORNBILL DRIVE, GREENBANK

EXTERIOR VIEWS SHEET 2



dwg no.	issue date	revision
A 09-22	15.04.24	1

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