

Our Ref: BE260028-RP-TM-Civil-01
Enquiries to: Ethan Peters

TECHNICAL MEMORANDUM

Date	August 2026
To:	Gary & Lesley Barnsley
From	Burchills Engineering Solutions
Project	25 Adele Crescent
Subject:	Civil Technical Memorandum

1. Introduction

Burchills Engineering Solutions has been engaged by G & L Barnsley to prepare this Technical Memorandum in support of a Development Application to Logan City Council for the reconfiguration of 1 lot into 2 lots at 25 Adele Crescent, Bahrs Scrub.

This memorandum addresses the civil engineering matters relevant to the proposed reconfiguration, including site earthworks, access, stormwater drainage, and servicing. The development can be undertaken in accordance with current Logan City Council guidelines and industry best practice.

1.1 Scope of Report

This technical memorandum describes the existing physical conditions of the site, and suitability for the proposed development with particular respect to:

- Project Identification
- Proposed Development
- Site Earthworks
- Access
- Stormwater Drainage
- Water Supply
- Effluent Disposal
- Electrical and Telecommunications Supply



2. PROJECT IDENTIFICATION

2.1 Real Property Description

The site is legally described as Lot 26 on RP169807. The corresponding street address is 25 Adele Crescent, Bahrs Scrub, within the Logan City Council local government area. The existing lot has a total area of approximately 31,736m².

The proposed reconfiguration will create 2 new lots as follows:

- Lot 1: 7,186m²
- Lot 2: 24,543m²

A detailed site survey has been undertaken by Leading Surveys (Plan No. 26103-TP-001, surveyed 03/05/2026, AHD via PSM150950) and is included in Attachment 2 of this memorandum.

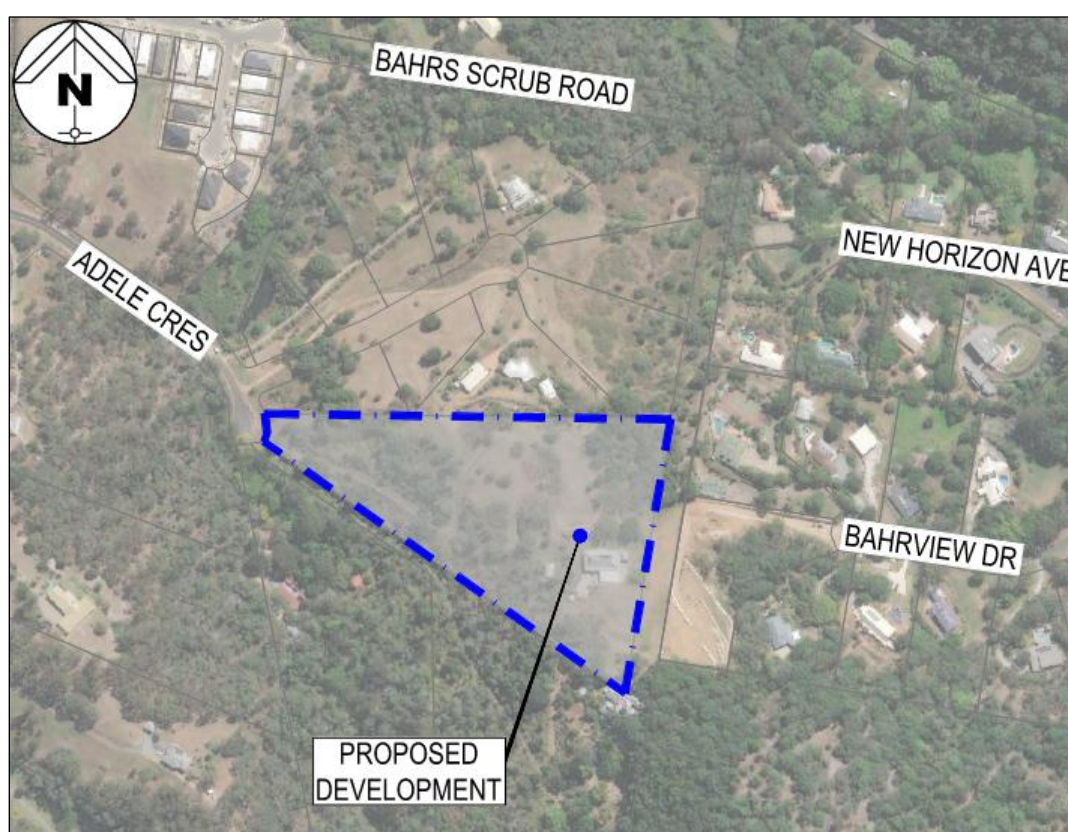


Figure 2.1 Site Locality Plan

2.2 Physical Description

The site has road frontage at the cul-de-sac of Adele Crescent to the west of the property. The existing lot grades substantially from east to west, falling from approximately RL 124m AHD near the existing dwelling at the eastern end of the driveway to approximately RL 51m AHD at the southwestern (frontage) corner of the site, a fall of approximately 73m across the site. While there is significant fall across the site, the works proposed within Lot 1 where the site falls approximately 10m over a length of approximately 45m. This is where the dwelling, garage pad, apron, and driveway earthworks are proposed for the site.





The existing lot currently consists of an existing dwelling, garage, and sheds, all to be retained on the proposed Lot 2. The remaining ground coverage is predominantly trees and grassed areas, with a long driveway serving the main dwelling.

The site is bounded by the following existing land uses:

North: Neighbouring Property;
South: Neighbouring Property;
East: Neighbouring Property;
West: Adele Crescent

3. PROPOSED DEVELOPMENT

The subject site is proposed to be reconfigured into 2 Lots, comprising Lot 1 (7,186 m²) and Lot 2 (24,543 m²). The proposed development layout is shown below in Figure 3.1, and on the Concept Design drawings prepared by Burchills Engineering Solutions, included in Attachment 1 of this memorandum.

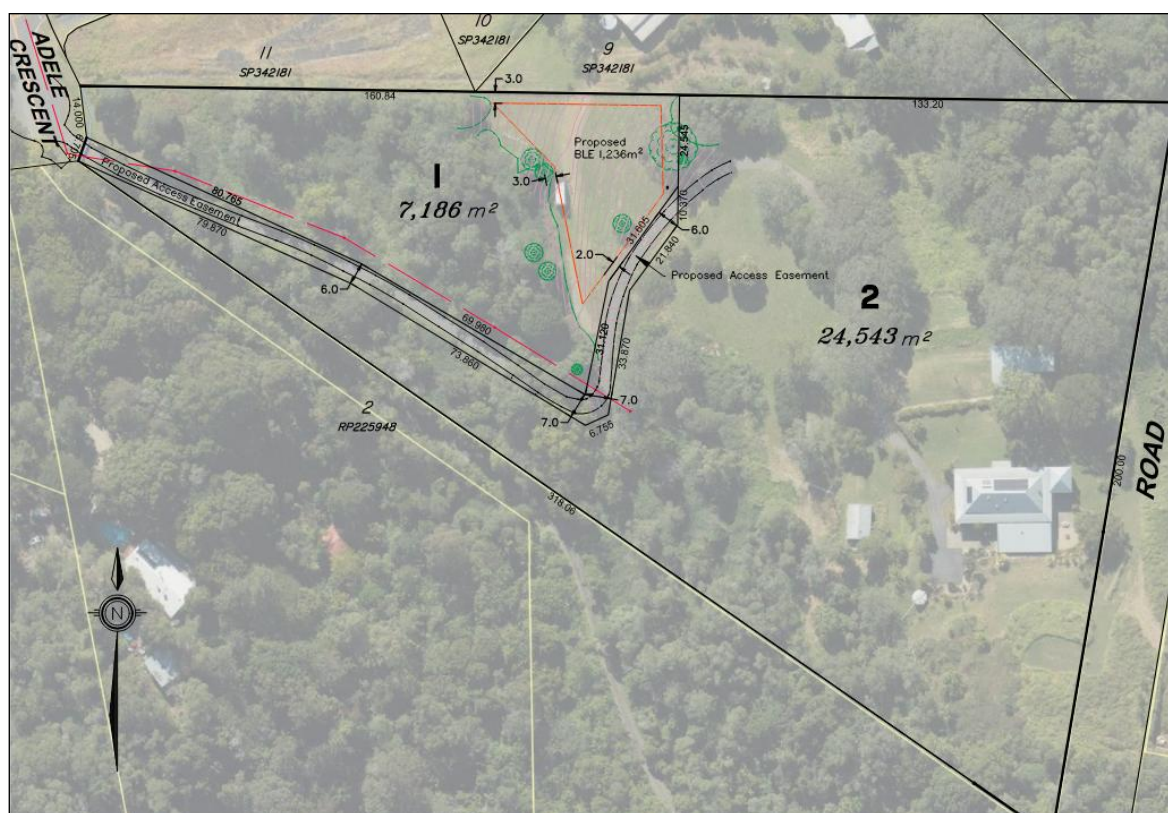


Figure 3.1 Proposed Lot Layout

Lot 2 retains the existing dwelling, garage, and sheds. Lot 1 is currently vacant and is to accommodate a future dwelling, subject to a separate application. Table 3.1 and Table 3.2 summarise the indicative Equivalent Population (EP) for the site pre and post reconfiguration, based on Logan City Council's demand criteria. As reticulated water and sewer are not available to the site, these figures are provided for reference only and do not inform network sizing.



Table 3.1 Pre Development Summary

Use	Unit	GFA/No. of Apartments	EP's/Unit	Total EP
Detached Dwelling	Dwelling	1	2.79 EP/Dwelling	2.79

Table 3.2 Proposed Development Summary

Use	Unit	GFA/No. of Apartments	EP's/Unit	Total EP
Detached Dwelling	Dwelling	2	2.79 EP/Dwelling	5.58

4. SITE EARTHWORKS

Earthworks associated with the proposed development are limited to proposed Lot 1, comprising construction of a garage pad, apron, and driveway in anticipation of future dwelling construction. The proposed earthworks comprise:

- A garage pad measuring 7m x 7m
- An apron measuring 7m x 6m, immediately in front of the garage pad
- A driveway 3.5m in width

Given the steep grade across Lot 1, a retaining wall of approximately 1.0m in height is proposed at the garage pad and apron, subject to confirmation at detailed design and may not be required. Batters are proposed at 1 in 2 to match the existing site slopes, with catch drains provided to manage erosion risk from surface flows.

The future dwelling is anticipated to be designed and constructed on an elevated, stilted footing system, minimising earthworks associated with the building footprint. The garage pad, apron, and driveway will be cut and retained into the existing grade to provide suitable access and a level pad.

The indicative bulk earthworks volumes for the proposed works are summarised in Table 4.1.

Table 4.1 Bulk Earthworks Summary

Item	Volume
Nett Fill Required	45 m3
Nett Cut (Total Excavation)	40 m3
Cut Material Required for Fill (incl. 0.85 compaction factor)	34 m3
Material Import to Site	12 m3

Reference should be made to the Concept Design drawings in Attachment 1 for the earthwork's layout, retaining wall location, and batter treatment.

4.1 SEDIMENT AND EROSION CONTROL

Sediment and erosion control measures will be implemented in accordance with the IECA Best Practice Erosion and Sediment Control (2008) guidelines, proportionate to the limited scale of earthworks proposed.





Prior to earthworks commencing, sediment fences will be installed along downstream property boundaries, with an entry/exit pad and wash down area provided at the site entrance to minimise sediment tracking. Stockpiles will be covered where left exposed for extended periods, and disturbed areas kept to the minimum practical footprint and duration.

Catch drains associated with the proposed batters will be protected from sediment mobilisation during construction. All sediment and erosion control devices will be maintained throughout construction and until disturbed areas achieve adequate ground cover, at which point controls will be removed.

5. ACCESS AND VEHICULAR CROSSOVER

Access to proposed Lot 1 will be via the existing driveway serving the site, shared with proposed Lot 2. The shared driveway is to be secured by an access easement benefiting both lots. The driveway will be 3.5m in width, with design and grading to be undertaken in accordance with Logan City Council's Development Guidelines.

6. STORMWATER DRAINAGE

Stormwater runoff from proposed Lot 1 will be managed via overland flow paths, directed away from the proposed garage pad, apron, and driveway toward the natural low point of the site. No reticulated stormwater network is available to the site, and no formal detention or water quality treatment infrastructure is proposed given the limited scale of the earthworks.

Catch drains associated with the proposed batters, as described in Section 4, will direct surface flows away from the cut areas to reduce erosion risk. Overland flow will otherwise follow the existing natural grade of the site toward the southwestern (frontage) low point.

7. WATER SUPPLY

Reticulated water supply is not available to the site. Potable water supply to the future dwelling on proposed Lot 1 will be provided via an on-site rainwater tank system, sized to suit the roof catchment area and occupancy of the future dwelling.

Detailed sizing of the water supply system, including tank capacity and pump selection, will be undertaken at building approval stage once the dwelling design is confirmed, in accordance with AS/NZS 3500.1 and the requirements of the Queensland Development Code.

On a conservative basis, an on-site water supply system for a typical detached dwelling (2.79 EP per Logan City Council's demand table) is considered achievable on a lot of this size, noting the final system will be confirmed against the actual dwelling design and roof catchment area.

8. EFFLUENT DISPOSAL

Reticulated sewer is not available to the site. Wastewater generated from the future dwelling on proposed Lot 1 will be managed via an on-site sewage facility, servicing effluent disposal on the lot.

Detailed design of the on-site sewage facility, including treatment system selection and effluent disposal area sizing, will be undertaken at building approval stage once the dwelling design is confirmed, in accordance with AS/NZS 1547 and the requirements of Logan City Council.





Proposed Lot 1 has an area of 7,186 m², providing adequate area to accommodate an on-site effluent disposal field sized for a typical detached dwelling, subject to confirmation via a site and soil evaluation at detailed design stage.

9. ELECTRICAL AND TELECOMMUNICATIONS

Electrical supply to the future dwelling on proposed Lot 1 will be provided via connection to the existing overhead electrical infrastructure serving the site. The existing overhead supply may require upgrading to service the future dwelling, subject to confirmation at detailed electrical design stage.

Telecommunications supply will be provided in accordance with the relevant carrier's requirements at building approval stage.

10. CONCLUSION

This Technical Memorandum has assessed the civil engineering matters relevant to the proposed reconfiguration of Lot 26 on RP169807 into 2 lots at 25 Adele Crescent, Bahrs Scrub.

Earthworks associated with the proposed garage pad, apron, and driveway on Lot 1 are limited in scale, with retaining walls and battering proposed to suit the existing site grade. Access to Lot 1 will be via the existing shared driveway with Lot 2, secured by an access easement.

Stormwater from Lot 1 will be managed via overland flow paths, with catch drains provided to protect the proposed batters. No reticulated stormwater network is available or required given the scale of works proposed.

Reticulated water and sewer are not available to the site. Potable water supply and effluent disposal for the future dwelling on Lot 1 will be provided via on-site systems, with detailed sizing to be confirmed at building approval stage once dwelling design is finalised. Lot 1 is considered to have adequate area to accommodate these systems.

Electrical supply will be provided via the existing overhead infrastructure serving the site, subject to confirmation of upgrade requirements at detailed design stage.

On this basis, the proposed reconfiguration can be adequately serviced from a civil engineering perspective, subject to the matters identified above being confirmed at detailed design and building approval stage.

Yours sincerely,

ETHAN PETERS
Civil Engineer

ROD BARRY
Principal Engineer
RPEQ No. 7067



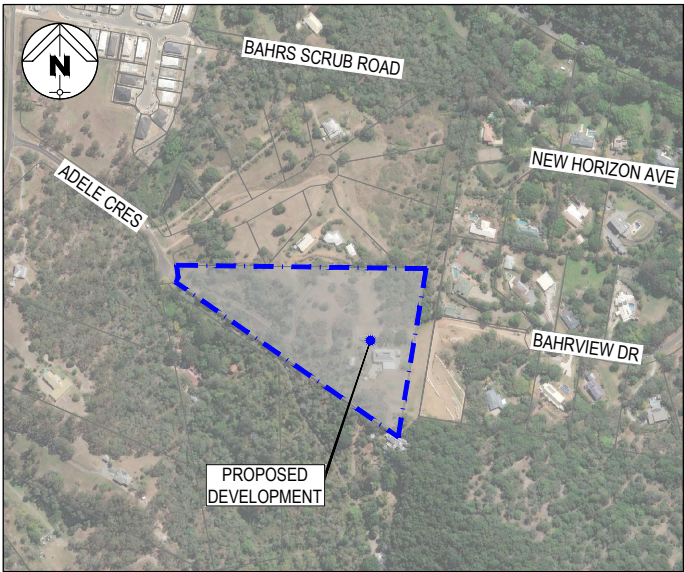


Attachment 1 – Concept Engineering Drawings



PROPOSED SUBDIVISION DEVELOPMENT
AT 25 ADELE CRESCENT
BAHRS SCRUB, QUEENSLAND

ROADWORKS & CIVIL SERVICES
CONCEPT DESIGN
CONTRACT BE260028



LOCALITY PLAN
N.T.S.

DRAWING INDEX	
DRG. No.	DESCRIPTION
C000	COVER SHEET, LOCALITY PLAN & DRAWING INDEX
C100	CONCEPT SITE LAYOUT PLAN
C200	BULK EARTHWORKS LAYOUT PLAN
C300	ROADWORKS LAYOUT PLAN
C301	DRIVEWAY CROSS SECTIONS

PREPARED FOR
G & L BARNESLEY

PREPARED BY



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BE260028	C000	A	24-07-26

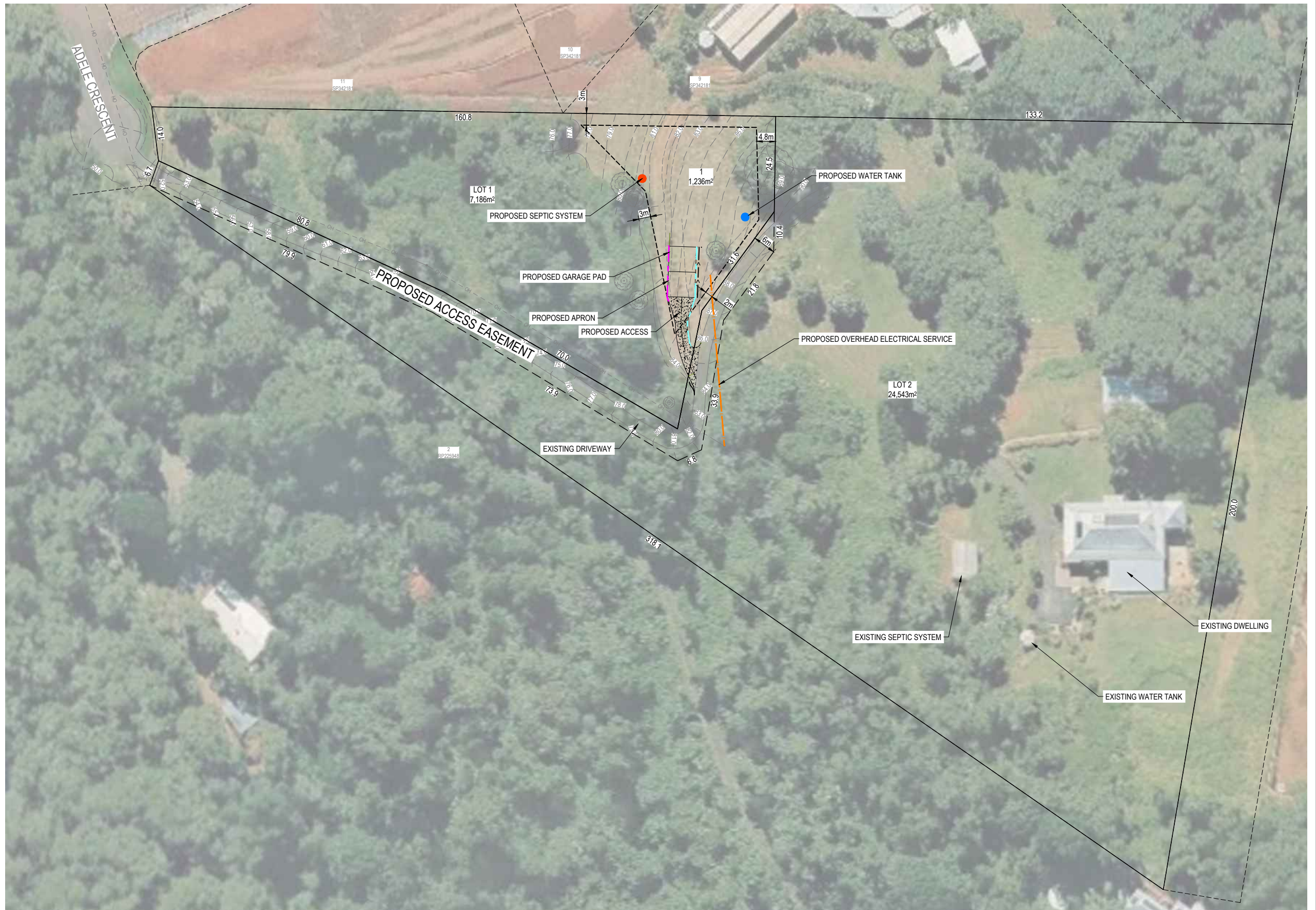


LEGEND

- 53.0 --- EXISTING SURFACE CONTOURS
- EXISTING LOT BOUNDARY
- EXISTING EASEMENT
- OH - - OH - EXISTING OVERHEAD ELECTRIC
- EXISTING TELSTRA PIT
- EXISTING EDGE OF BITUMEN
- ⊕ SURVEYED EXISTING TREE TO REMAIN
- - - - - PROPOSED EASEMENT
- > > > - PROPOSED CATCH DRAIN
- - - - - PROPOSED 1.5m MAX RETAINING WALL
- - - - - PROPOSED 1.21m MAX RETAINING WALL
- - - - - PROPOSED LOT BOUNDARY
- [Pattern] PROPOSED DRIVEWAY

NOTE:
ALL DESIGN/SETOUT INFORMATION SHOWN ON THIS DRAWING IS AVAILABLE IN DIGITAL FORMAT FROM THE OFFICE OF THE SUPERINTENDENT UPON REQUEST BY THE CONTRACTOR.

WARNING: UNDERGROUND SERVICES:
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CONCEPT SITE LAYOUT PLAN

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VER.	DESCRIPTION	DATE
A	ORIGINAL ISSUE	24-07-26



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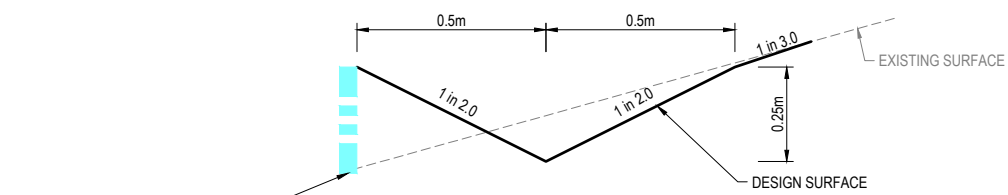
CLIENT :	G & L BARNESLEY
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DRAWING TITLE :	CONCEPT SITE LAYOUT PLAN
PROJECT :	PROPOSED SUBDIVISION DEVELOPMENT CONCEPT DESIGN 25 ADELE CRESCENT, BAHR'S SCRUB

PRELIMINARY
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SCALE AT FULL SIZE (A1) :
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DEVEL. APPLIC. No. :		DATE : 24-07-26
PROJECT LEADER : ETHAN PETERS	DESIGNER : THUY VU	
DRAFTSPERSON : THUY VU	CHECKED : ETHAN PETERS	
APPROVED FOR AND ON BEHALF OF BURCHILLS ENGINEERING SOLUTIONS ABN 76 166 942 365		
PROJECT No.:	DRAWING No. :	VERSION:
BE260028	C100	A



CATCH DRAIN DETAIL

SCALE 1:1000

A SECTION
SCALE 1:100



LEGEND

- | | |
|--|-----------------------------------|
| | EXISTING SURFACE CONTOURS |
| | EXISTING LOT BOUNDARY |
| | EXISTING EASEMENT |
| | EXISTING OVERHEAD ELECTRIC |
| | EXISTING TELSTRA PIT |
| | EXISTING EDGE OF BITUMEN |
| | SURVEYED EXISTING TREE TO REMAIN |
| | DESIGN SURFACE CONTOURS |
| | PROPOSED EASEMENT |
| | PROPOSED CATCH DRAIN |
| | PROPOSED 1.5m MAX RETAINING WALL |
| | PROPOSED 1.21m MAX RETAINING WALL |
| | PROPOSED LOT BOUNDARY |
| | PROPOSED BATTER |
| | EARTHWORKS AREA OF CUT |
| | EARTHWORKS AREA OF FILL |
| | FINISHED SURFACE LEVEL |

<u>BULK EARTHWORKS SUMMARY</u>		
<u>STRUCTURAL FILLING</u>		
AREA	NETT SOLID FILL	incl. COMPACTION FACTOR (0.85)
OVERALL FILLING		
(ALLOTMENTS, ROADS, BATTERS)	45 cu.m.	
<u>TOTAL FILL</u>	<u>45</u> cu.m.	
<u>EXCAVATION</u>		
AREA	NETT CUT	
OVERALL EXCAVATION		
INCLUDING ROAD BOX	40 cu.m.	
<u>TOTAL CUT</u>	<u>40</u> cu.m.	<u>34</u> cu.m.
SUMMARY:		
TOTAL MATERIAL ON LEADS (NETT FILL) = 45 cu.m.		
i.e. 45 cu.m. - 34 cu.m. = 12 cu.m. IMPORTED MATERIAL		

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BULK EARTHWORKS LAYOUT PLAN

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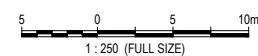
BULK EARTHWORKS LAYOUT PLAN

PROJECT :

PROPOSED SUBDIVISION DEVELOPMENT
CONCEPT DESIGN
25 ADELE CRESCENT, BAHRS SCRUB

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SCALE AT FULL SIZE (A1) :



DEVEL. APPLIC. No. :

DATE :	24-07-26
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PROJECT LEADER : ETHAN PETERS

DESIGNER: THUY VU

DRAFTSPERSON: THUY VU

CHECKED: ETHAN PETERS

APPROVED FOR AND ON BEHALF OF
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PROJECT No.:
BE260028

DRAWING No. :
C200

VERSION:
A



	EXISTING SURFACE CONTOURS
	EXISTING LOT BOUNDARY
	EXISTING EASEMENT
	EXISTING OVERHEAD ELECTRIC
	EXISTING TELSTRA PIT
	EXISTING EDGE OF BITUMEN
	SURVEYED EXISTING TREE TO REMAIN
	DESIGN SURFACE CONTOURS
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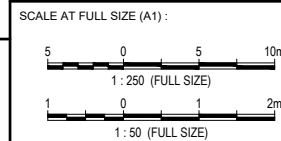
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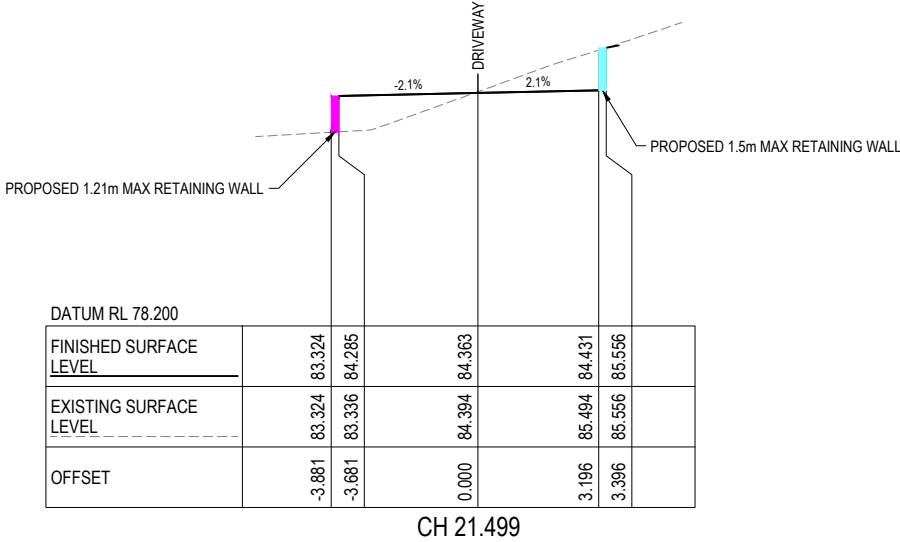
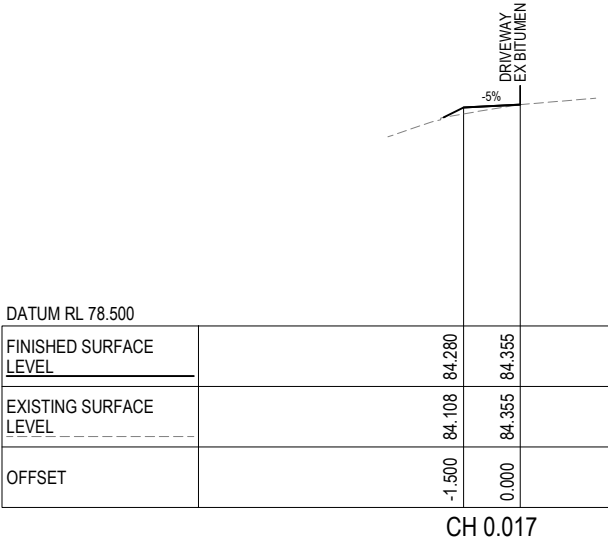
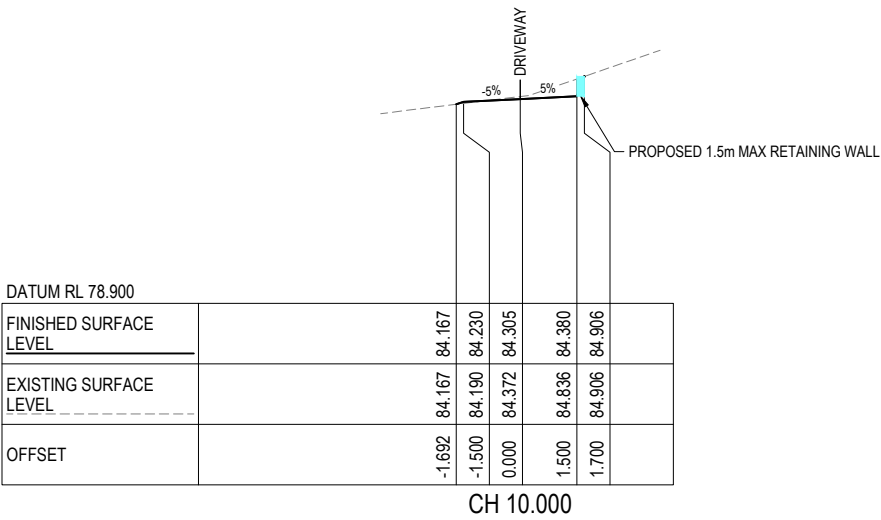
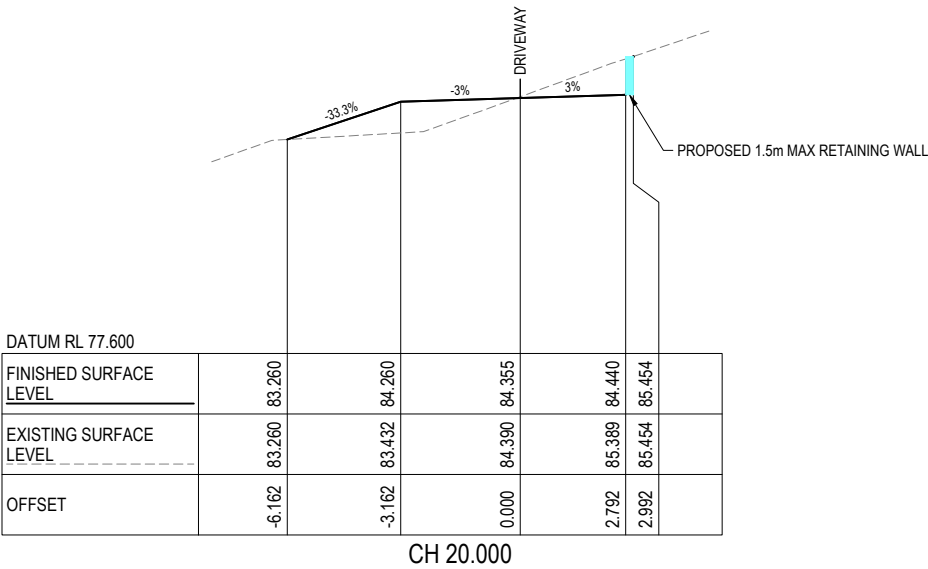


G & L BARNSELEY

PROPOSED SUBDIVISION DEVELOPMENT
CONCEPT DESIGN
25 ADELE CRESCENT, BAHRS SCRUB



DEVEL. APPLIC. No. :		DATE : 24-07-26	
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PROJECT No. : BE260028		DRAWING No. : C300	
		VERSION: A	



DRIVEWAY CROSS SECTIONS
SCALE 1:100

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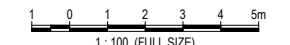
DRIVEWAY CROSS SECTIONS

PROJECT :

**PROPOSED SUBDIVISION DEVELOPMENT
CONCEPT DESIGN
25 ADELE CRESCENT, BAHR'S SCRUB**

PRELIMINARY
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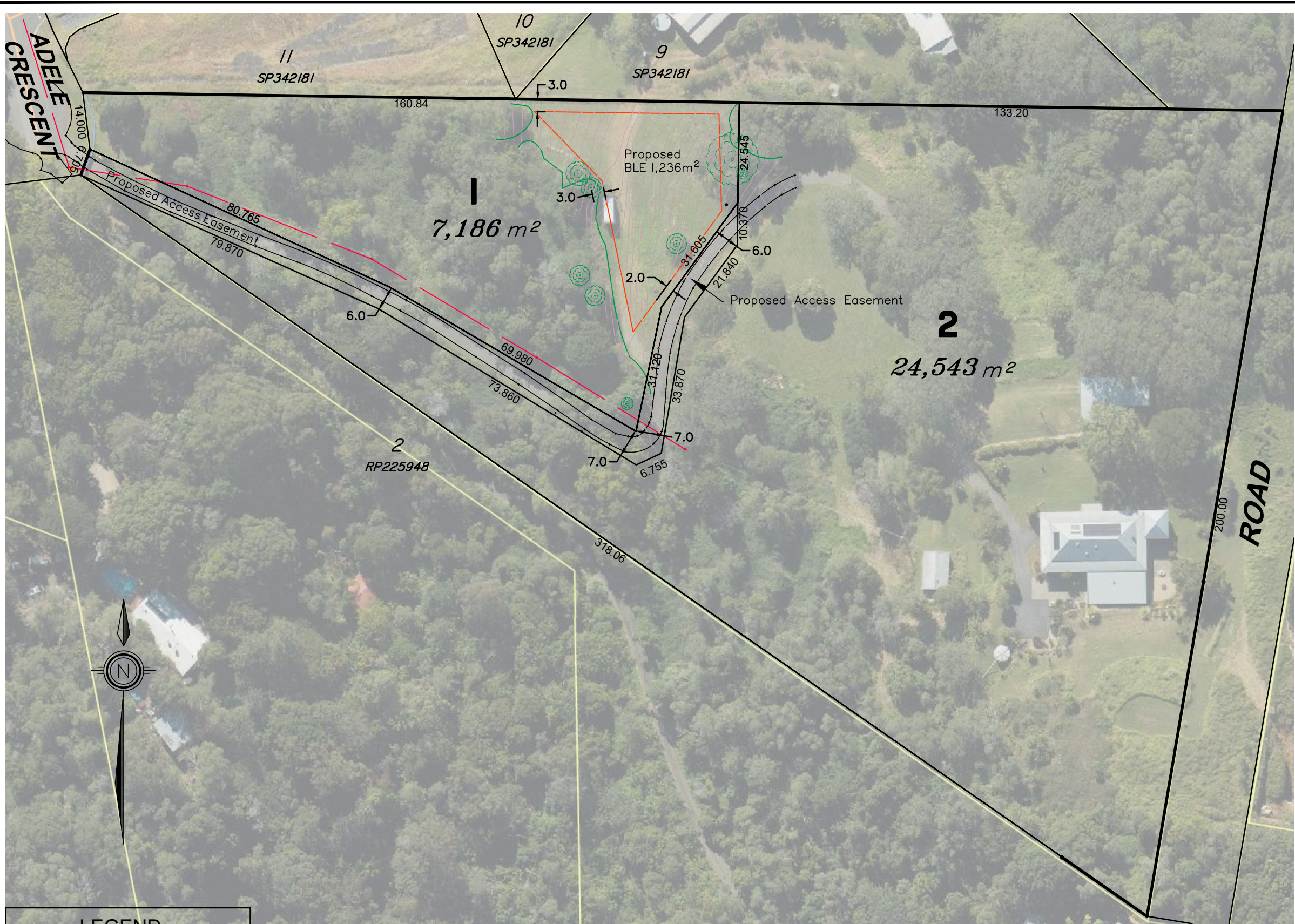


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PROJECT LEADER : ETHAN PETERS	DESIGNER : THUY VU	
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PROJECT No. : BE260028	DRAWING No. : C301	VERSION: A



Attachment 2 – Survey





PLAN OF PROPOSED LOT RECONFIGURATION

CLIENT: G & L BARNESLEY

PROJECT:
25 Adele Cres Bahrs Scrub

SITE ADDRESS:
25 Adele Cres Bahrs Scrub

Plan of Proposed Lots 1 & 2,
Cancelling Lot 26 on RP169807

Area: 850 m²
Local Authority: Logan City
Contour Interval: 0.5m

Horiz Datum: RP169807
Vert Datum: AHD PSM150950

This plan is prepared from a combination of field survey & existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.

The title boundaries shown hereon were not marked at the time of survey and have been determined by plan dimensions only and not by field measurement, with an anticipated positional accuracy of +/-50mm.

Dimensions & Areas are Subject to survey.

Services have not been investigated.

This note is an integral part of this plan.



Ph: 07 3368 1666
ABN:49 630 167 841
www.LeaningSurveys.com.au

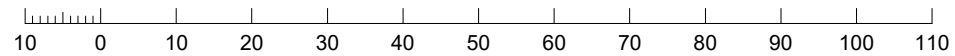
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DATE SURVEYED: 3/5/2026
SURVEYOR: WG
DATE DRAFTED: 25/06/2026

PLAN NO.	REV.
26103-PP-001	-

- LEGEND**
- 23.0 CONTOUR LINE
 - SW-D STORMWATER LINE
 - SE-D SEWER LINE
 - UE U/GROUND ELECT. LINE
 - O/HEAD ELECT. LINE
 - W-W WATER LINE
 - T TELSTRA LINE
 - G GAS LINE

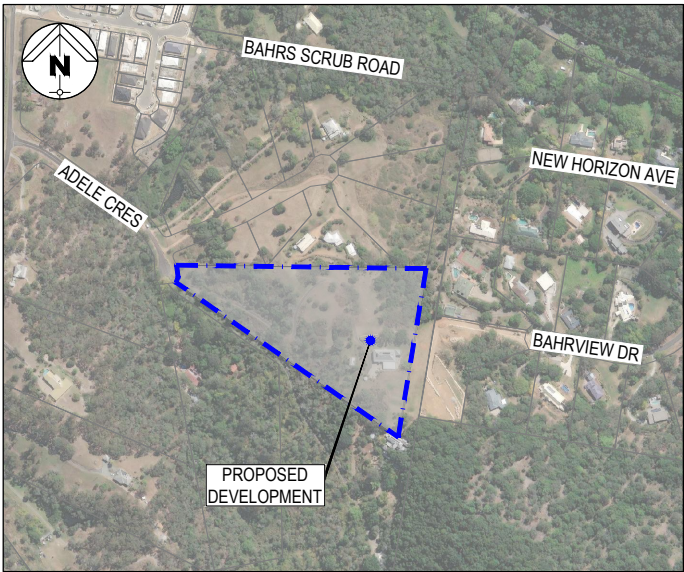
**DIMENSIONS & AREAS ARE
SUBJECT TO SURVEY.**

Scale 1:1000 - Lengths are in Metres.



PROPOSED SUBDIVISION DEVELOPMENT
AT 25 ADELE CRESCENT
BAHRS SCRUB, QUEENSLAND

ROADWORKS & CIVIL SERVICES
CONCEPT DESIGN
CONTRACT BE260028



LOCALITY PLAN
N.T.S.

DRAWING INDEX	
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C000	COVER SHEET, LOCALITY PLAN & DRAWING INDEX
C100	CONCEPT SITE LAYOUT PLAN
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LEGEND

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- EXISTING EASEMENT
- OH - - OH - EXISTING OVERHEAD ELECTRIC
- EXISTING TELSTRA PIT
- EXISTING EDGE OF BITUMEN
- ⊕ SURVEYED EXISTING TREE TO REMAIN
- - - - - PROPOSED EASEMENT
- > > > - PROPOSED CATCH DRAIN
- - - - - PROPOSED 1.5m MAX RETAINING WALL
- - - - - PROPOSED 1.21m MAX RETAINING WALL
- - - - - PROPOSED LOT BOUNDARY
- [Pattern] PROPOSED DRIVEWAY

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CONCEPT SITE LAYOUT PLAN

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A	ORIGINAL ISSUE	24-07-26
VER.	DESCRIPTION	DATE



BURCHILLS
ENGINEERING SOLUTIONS

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COOTE BURCHILLS ENGINEERING PTY LTD
ABN 76 166 942 365

CLIENT :

G & L BARNESLEY

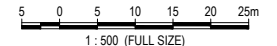
DRAWING TITLE :

CONCEPT SITE LAYOUT PLAN

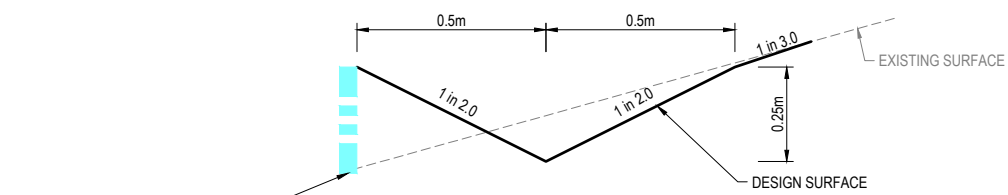
PROJECT :

**PROPOSED SUBDIVISION DEVELOPMENT
CONCEPT DESIGN
25 ADELE CRESCENT, BAHR'S SCRUB**

PRELIMINARY
NOT FOR CONSTRUCTION OR TENDER

SCALE AT FULL SIZE (A1) :

1 : 500 (FULL SIZE)

DEVEL. APPLIC. No. :		DATE : 24-07-26
PROJECT LEADER : ETHAN PETERS		DESIGNER : THUY VU
DRAFTSPERSON : THUY VU		CHECKED : ETHAN PETERS
APPROVED FOR AND ON BEHALF OF BURCHILLS ENGINEERING SOLUTIONS ABN 76 166 942 365		
PROJECT No. : BE260028	DRAWING No. : C100	VERSION: A



CATCH DRAIN DETAIL

SCALE 1:1000

A SECTION
SCALE 1:100



LEGEND

- | | |
|--|-----------------------------------|
| | EXISTING SURFACE CONTOURS |
| | EXISTING LOT BOUNDARY |
| | EXISTING EASEMENT |
| | EXISTING OVERHEAD ELECTRIC |
| | EXISTING TELSTRA PIT |
| | EXISTING EDGE OF BITUMEN |
| | SURVEYED EXISTING TREE TO REMAIN |
| | DESIGN SURFACE CONTOURS |
| | PROPOSED EASEMENT |
| | PROPOSED CATCH DRAIN |
| | PROPOSED 1.5m MAX RETAINING WALL |
| | PROPOSED 1.21m MAX RETAINING WALL |
| | PROPOSED LOT BOUNDARY |
| | PROPOSED BATTER |
| | EARTHWORKS AREA OF CUT |
| | EARTHWORKS AREA OF FILL |
| | FINISHED SURFACE LEVEL |

<u>BULK EARTHWORKS SUMMARY</u>		
<u>STRUCTURAL FILLING</u>		
AREA	NETT SOLID FILL	incl. COMPACTION FACTOR (0.85)
OVERALL FILLING		
(ALLOTMENTS, ROADS, BATTERS)	45 cu.m.	
<u>TOTAL FILL</u>	<u>45</u> cu.m.	
<u>EXCAVATION</u>		
AREA	NETT CUT	
OVERALL EXCAVATION		
INCLUDING ROAD BOX	40 cu.m.	
<u>TOTAL CUT</u>	<u>40</u> cu.m.	<u>34</u> cu.m.
SUMMARY:		
TOTAL MATERIAL ON LEADS (NETT FILL) = 45 cu.m.		
i.e. 45 cu.m. - 34 cu.m. = 12 cu.m. IMPORTED MATERIAL		

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BULK EARTHWORKS LAYOUT PLAN

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ABN 76 166 942 365

CLIENT :

G & L BARNESLEY

DRAWING TITLE :

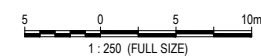
BULK EARTHWORKS LAYOUT PLAN

PROJECT :

PROPOSED SUBDIVISION DEVELOPMENT
CONCEPT DESIGN
25 ADELE CRESCENT, BAHRS SCRUB

PRELIMINARY
NOT FOR CONSTRUCTION OR TENDER

SCALE AT FULL SIZE (A1) :



DEVEL. APPLIC. No. :

DATE :	24-07-26
--------	----------

PROJECT LEADER : ETHAN PETERS

DESIGNER: THUY VU

DRAFTSPERSON: THUY VU

CHECKED: ETHAN PETERS

APPROVED FOR AND ON BEHALF OF
BURCHILLS ENGINEERING SOLUTIONS ABN 76 166 942 365

PROJECT No.:
BE260028

DRAWING No. :
C200

VERSION:
A



	EXISTING SURFACE CONTOURS
	EXISTING LOT BOUNDARY
	EXISTING EASEMENT
	EXISTING OVERHEAD ELECTRIC
	EXISTING TELSTRA PIT
	EXISTING EDGE OF BITUMEN
	DESIGN SURFACE CONTOURS
	PROPOSED EASEMENT
	PROPOSED CATCH DRAIN
	PROPOSED 1.5m MAX RETAINING WALL
	PROPOSED 1.21m MAX RETAINING WALL
	PROPOSED LOT BOUNDARY
	PROPOSED BATTER
	PROPOSED DRIVEWAY



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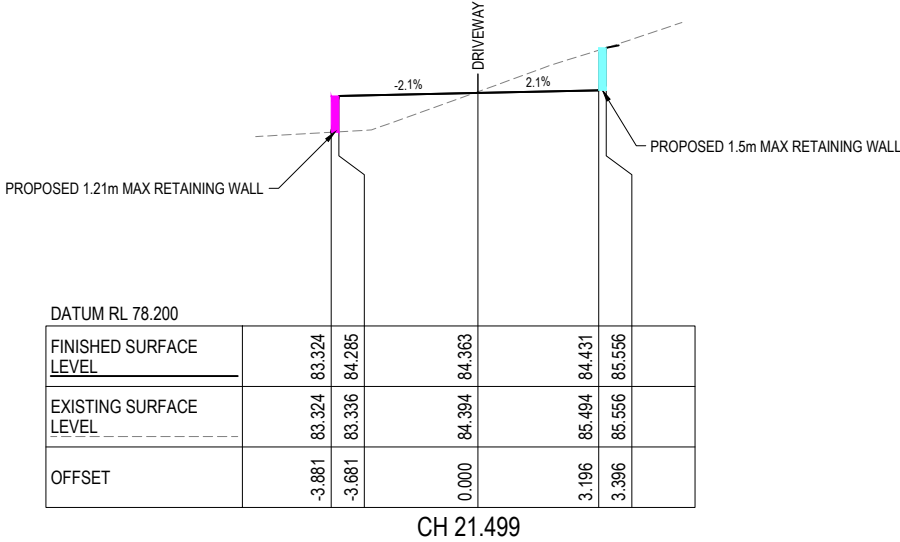
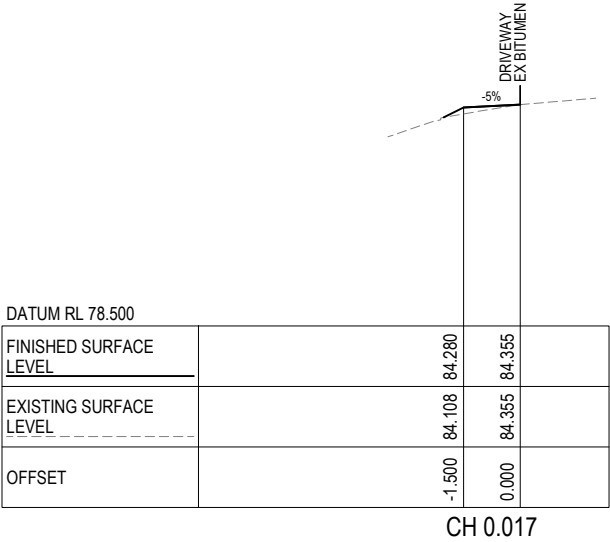
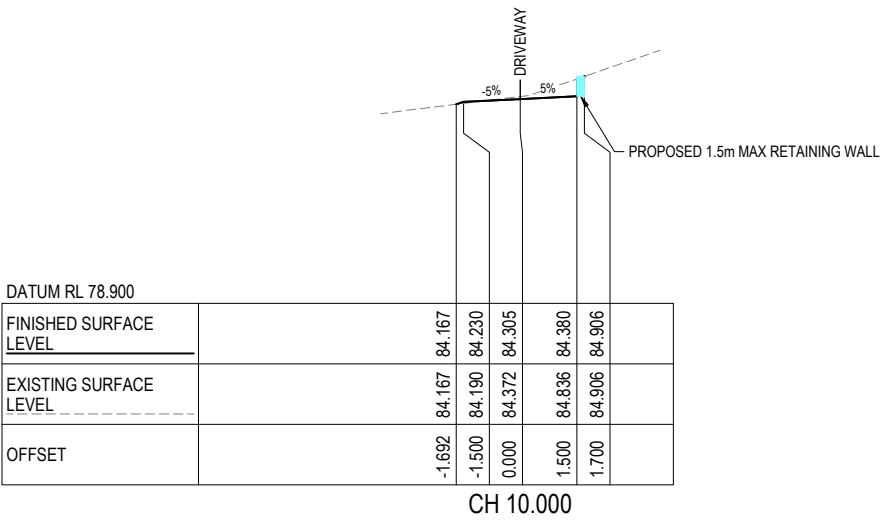
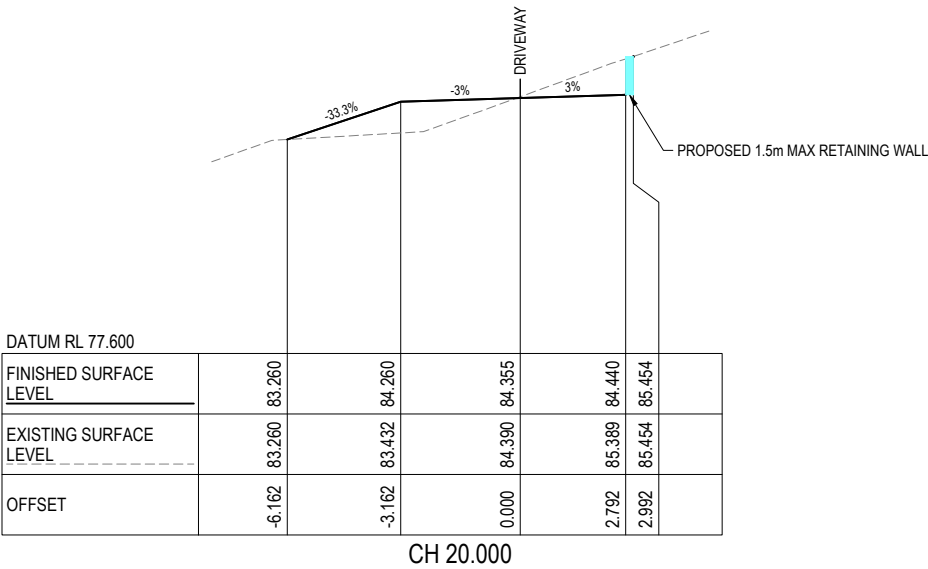


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DRAWING TITLE :	ROADWORKS LAYOUT PLAN
PROJECT :	PROPOSED SUBDIVISION DEVELOPMENT CONCEPT DESIGN 25 ADELE CRESCENT, BAHR'S SCRUB

DEVEL. APPLIC. No. :		DATE : 24-07-26
PROJECT LEADER : ETHAN PETERS	DESIGNER : THUY VU	
DRAFTSPERSON : THUY VU	CHECKED : ETHAN PETERS	
APPROVED FOR AND ON BEHALF OF BURCHILLS ENGINEERING SOLUTIONS ABN 76 166 942 365		
PROJECT No. : BE260028	DRAWING No. : C300	VERSION: A



DRIVEWAY CROSS SECTIONS
SCALE 1:100

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ABN 76 166 942 365

CLIENT :

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DRAWING TITLE :

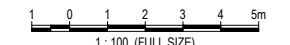
DRIVEWAY CROSS SECTIONS

PROJECT :

**PROPOSED SUBDIVISION DEVELOPMENT
CONCEPT DESIGN
25 ADELE CRESCENT, BAHR'S SCRUB**

PRELIMINARY
NOT FOR CONSTRUCTION OR TENDER

SCALE AT FULL SIZE (A1) :



DEVEL. APPLIC. No. :		DATE : 23-07-26
PROJECT LEADER : ETHAN PETERS	DESIGNER : THUY VU	
DRAFTSPERSON : THUY VU	CHECKED : ETHAN PETERS	
APPROVED FOR AND ON BEHALF OF BURCHILLS ENGINEERING SOLUTIONS ABN 76 166 942 365		
PROJECT No. : BE260028	DRAWING No. : C301	VERSION: A