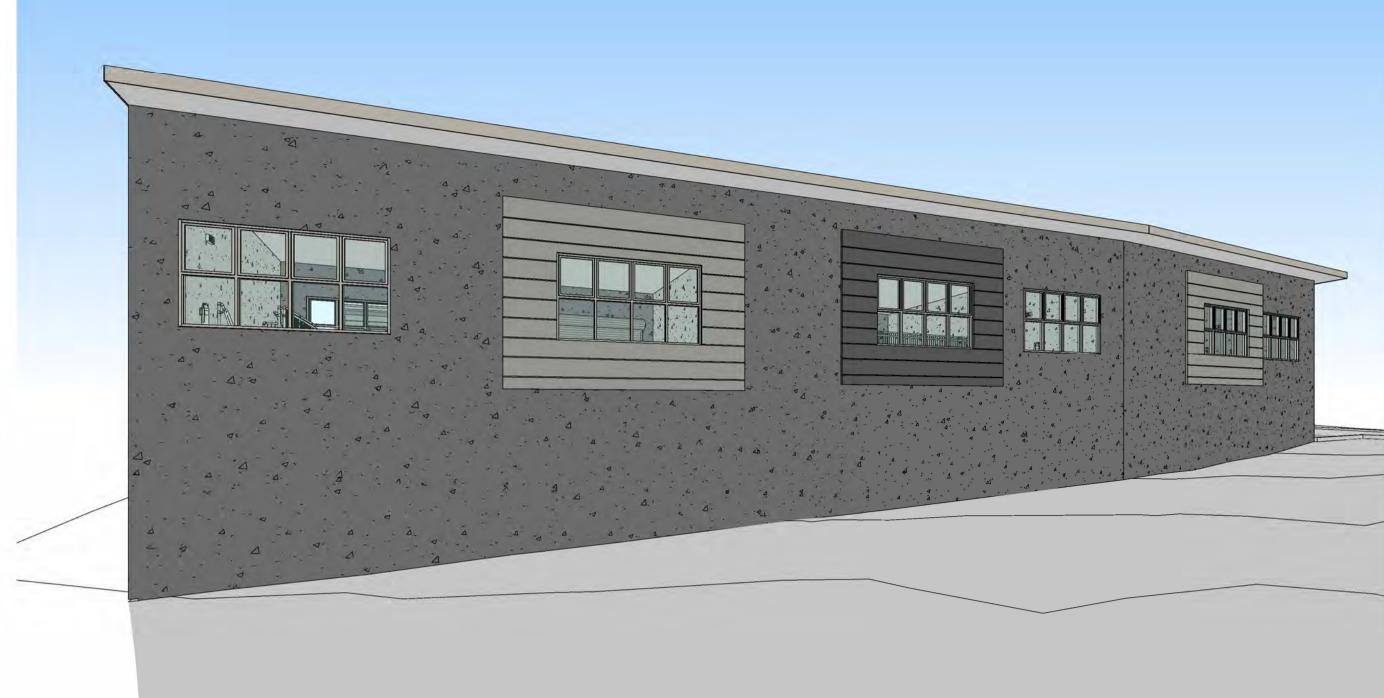
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REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23
	FOR FINAL REVIEW	PC	16.06.23
CENEDAL	NOTES:		



	Po Box 111 , TORONTO, 2283 MOBILE: 0410644524 ABN: 94 116 169 264 / ACN: 1		INDUSTRIAL & COMMERCIAL STEEL BUILDING SPECIALISTS
	DESIGNED:	DRAWN:	SCALE:
	PC	PC	@ A1
	APPROVED:	APPROVED DATE:	NORTH:
	FS	16 JUNE 23'	
	CLIENT:		
	Terapale Pty Ltd		

PRELIMINARY I

CONSTRUCTION PRACTICES

- ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMACE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA. WHERE AN ALTERNATIVE SOLUTION IS PROPOSED, THEN PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING CERTIFIER, AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA.

MATERIALS

- ALL MATERIALS SHALL BE NEW (UNO) - MATERIALS SHALL BE STORED AND FIXED IN ACCORDANCE

WITH MANUFACTURERS SPECIFICATION. - PROVIDE PROTECTIVE COVERINGS, AND THE LIKE, TO ENSURE THE PROPER PERFORMANCE AND INTEGRITY OF

MATERIALS THROUGHOUT THE CONSTRUCTION PHASE.

DRAWINGS & SPECIFICATION

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS, STRUCTURAL ENGINEERS DESIGNS AND COMPUTATIONS, GEOTECHNICAL REPORTS, AND ALL CONSULTANT DRAWINGS AND DETAILS.

- UNDER NO CIRCUMSTANCES MAY THE DRAWINGS, OR SPECIFICATION, BE DEPARTED FROM WITHOUT WRITTEN AUTHORIZATION OF THE ARCHITECT/DESIGNER OR BUILDING CERTIFIER.

- THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR THE ENTIRE BUILDING OR STRUCTURE, SHOULD CHANGES OR ALTERATIONS BE MADE TO ANY PART, PRIOR TO, OR DURING CONSTRUCTION WITHOUT PRIOR APPROVAL

DIMENSIONS

- DO NOT SCALE FROM DRAWINGS. FIGURED DIMENSIONS TAKE PRECENDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ARE IN MILLIMETRES.

BUILDING CONTRACTOR

- ANY PROPOSED BUILDING CONTRACTOR IS TO MAKE HIMSELF FULLY AWARE OF THE SITE, IT'S LOCATION, CONDITIONS, AND THE EXTENT OF WORK, PRIOR TO TENDERING OF ANY CONSTRUCTION WORK ON SITE.

DISCREPANCIES

- ANY DISCREPANCIES FOUND BETWEEN THE ARCHITECHTURAL AND OTHER CONSULTANT DRAWINGS. SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT / DESIGNER FOR RESOLUTION.

HIERACHY OF DOCUMENTATION

- THE HIERACHY OR DOCUMENTATION IS; 1. THE BUILDING CONTRACT
- 2. WRITTEN SPECIFICATIONS (IF ANY) 3. REFERENCED DOCUMENTS
- 4. ENGINEER'S DRAWINGS 5. ARCHITECTURAL DRAWINGS
- 6. THESE GENERAL NOTES
- SCHEDULES (IF ANY)
- 8. MANUFACTURER'S SPECIFICATIONS

DIMENSIONS, SET BACKS AND LEVELS

- THE BUIDLER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS, SPECIFICATIONS, AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THE ARCHITECT / DESIGNER FOR CLARIFICATION.

WATER TIGHTNESS

- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.

THE CONSTRUCTION OF THE ROOF AND EXTERNAL WALLS WILL BE DONE IN A WAY THAT THEY WILL PREVENT THE PENETRATION OF WATER THAT COULD CAUSE UNHEALTHY OR DANGEROUS CONDITIONS OR LOSS OF AMENITY TO OCCUPANTS AND UNDUE DAMPNESS OR DETERIORATION OF BUILDING ELEMENTS.

TO DEMONSTRATE THAT THE CONSTRUCTION OF THE ROOF AND EXTERNAL WALLS PREVENT THE PENETRATION OF WATER. EVIDENCE OF SUITABILITY UNDER BCA A5.2 WILL NEED TO BE

- PROVIDED VIA THE FOLLOWING METHODS: · A CURRENT CODEMARK CERTIFICATE.
- · A CURRENT CERTIFICATE OF ACCREDITATION,
- · A REPORT ISSUED BY AN ACCREDITED TESTING LABORATORY,
- · A CERTIFICATE OR REPORT FROM A PROFESSIONAL ENGINEER.
- · OR A PERFORMANCE SOLUTION PREPARED BY A SUITABLY QUALIFIED CONSULTANT OR COMPANY.

EXISTING SERVICES

- THE BUILDER IS TO LOCATE AND VISUALLY HIGHLIGHT ANY UNDERGROUND /OVERGROUND SERVICES THAT MAY CLASH WITH PROPOSED BUILDING AND CONSTRUCTION WORKS AND PROPOSED PLANT MOVEMENTS. (1300 LOCATE)

SERVICES

- THE BUILDER AND SUBCONTRACTORS SHALL ENSURE THAT ALL STORMWATER DRAINS. SEWER PIPES. AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM FOOTING AND/OR SLAB EDGE BEAMS, SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING OR UNDERMINING OF THE BUILDING OR FOOTING SYSTEM.

- WHERE ANY FOOTINGS ARE TO BE CONSTRUCTED ADJACENT TO EASEMENTS, THESE FOOTINGS SHALL BE FOUNDED AT A DEPTH BELOW ANY ANGLE OF REPOSE FROM THE INVERT OF ANY SERVICE WITHIN THE EASEMENT (45 DEGREE FOR CLAY AND 30 DEGREE FOR SAND)

- ALL STORMWATER IS TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE AS DIRECTED BY THE RELEVANT AUTHORITY.

ENERGY RATING

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY ENERGY RATING (BASIX OR SEC. J REPORT), AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED THERMAL PERFORMANCE ASSESSOR WITHOUT ALTERATION.

TERMITE MANAGEMENT

- WHERE THE BUILDING IS LOCATED IN A TERMITE PRONE AREA, THE UNDERSIDE AND PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS3660.1-2014 TERMITE MANAGEMENT.

- TERMITE TREATMENT IS TO BE IN ACCORDANCE WITH ONE OR MORE METHODS SPECIFIED IN AS3660.1 AND THE NATIONAL CONSTRUCTION CODE

WATERPROOFING

- WATERPROOFING OF WET AREA, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE, SHALL BE PROVIDED IN ACCORDANCE WITH AS3470-2010 FOR WATERPROOFING OF DOMESTIC WET AREAS.

WINDOWS & GLAZING

- WINDOWS AND GLAZING TO BE PROVIDED IN ACCORDANCE WITH AS2047-2014 WINDOWS AND GLAZED DOORS IN BUILDINGS - WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZES MAY VARY ACCORDING TO THE MANUFACTURER. ALL WINDOW SIZES

- ARE TO BE VERIFIED BY THE BUILDER PRIOR TO ORDERING. WINDOWS ARE TO BE FLASHED ALL AROUND. - GLAZING, INCLUDING SAFETY GLAZING, SHALL BE INSTALLED
- TO A SIZE, TYPE AND THICKNESS SO AS TO COMPLY WITH: - NCC VOL 2 PART 3.6 FOR CLASS 1 & 10 BUILDINGS (DESIGN WIND SPEED NOT MORE THAN N3)

- NCC VOL 1 PART B1.4 FOR CLASS 2 TO 9 BUILDINGS

- TO BE INSTALLED AS PER AUSTRALIA STANDARDS & B.C.A
- STEP SIZES (OTHER THAN SPIRAL STAIRS) TO BE:
- RISERS (R) 190mm MAX & 115mm MIN
- GOING (G) 355mm MAX & 250mm MIN
- 2R + 1G = 700mm MAX & 550mm MIN
- CLOSED RISERS MINIMUM 2030mm CLEARANCE ABOVE STAIRS
- ALL TREADS. LANDING AND THE LIKE ARE TO HAVE NON SLIP FINISH OR SUITABLE NON SKID STRIP NEAR EDGE OF NOSING.

ALL NOSING MUST ACHIEVE A SLIP RESISTANCE OF P3.

HANDRAILS

HANDRAILS ARE TO BE LOCATED ON BOTH SIDES OF RAMPS AND STAIRWAYS IN REQUIRED EXITS (EXCLUDING FIRE ISOLATED STAIRWAYS) WITH A MINIMUM CLEAR WIDTH OF 1M, TO COMPLY WITH CLAUSE 12 OF AS1428.1-2009.

FLOOR FINISHES

NEW FLOOR LININGS/ FLOOR COVERINGS REQUIRE CRITICAL RADIANT FLUX NOT LESS THAN 2.2KW/M2 & MAXIMUM SMOKE DEVELOPMENT RATE OF 750 PERCENT-MINUTES.

LUMINANCE CONTRAST

ALL DOORWAYS SHALL HAVE A MINIMUM LUMINANCE CONTRAST OF 30% PROVIDED BETWEEN:

A) DOOR LEAF AND DOOR JAMB;

(B) DOOR LEAF AND ADJACENT WALL;

(C) ARCHITRAVE AND WALL;

(D) DOOR LEAF AND ARCHITRAVE: OR

(E) DOOR JAMB AND ADJACENT WALL.

THE MINIMUM WIDTH OF THE AREA OF LUMINANCE CONTRAST SHALL BE 50mm.

ARTIFICIAL LIGHTING TO COMPLY WITH AS1680.1-2009 AND PART J6 OF THE BCA VOL. 1

ACCESS & MOBILITY

- FOR BUILDING CLASSES 2 TO 9. ACCESS AND MOBILITY REQUIREMENTS FOR DISABLED PEOPLES ARE TO BE APPLIED IN ACCORDANCE WITH AS1428.1-2009. THIS INCLUDES REQUIREMENTS FOR THE FOLLOWING:

- APPROPRIATE SIGNAGE
- TACTILE GROUND SURFACE INDICATORS (TGIS) WALKWAYS, RAMPS & LANDINGS
- STAIRWAYS HANDRAILS
- DOORWAYS, DOORS & CIRCULATION SPACE
- SWITCHES AND GPO'S SANITARY FACILITIES & COMPARTMENTS
- GRABRAILS

ASSEMBLY BUILDINGS

TIMBER FRAMING, BRACING & TIE DOWNS - ALL STRUCTURAL TIMBER FRAMING, BRACING & TIE DOWNS ARE TO BE IN ACCORDANCE WITH AS1684

STRUCTURAL STEEL

HARDWOOD

- ALL STRUCTURAL SEEL IS TO BE PROTECTED FROM CORROSION IN MODERATE AND SEVERE ENVIRONMENTS, IN ACCORDANCE WITH RELEVANT STANDARDS.

- F5=PINE, F7=OREGON, F8=HARDWOOD, F17=SEASONED

MECHANICAL VENTILATION

- WHERE REQUIRED, MECHANICAL VENTILATION SHALL COMPLY WITH AS1668.2 AND NCC 2019 AMEND 1

- AIR-CONDITIONING TO COMPLY WITH PART J5 OF THE BCA VOL. 1

MARINE ENVIRONMENTS - BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE ALL MASONRY UNITS, MORTAR AND BUILT IN

COMPONENTS COMPLYING WITH TABLE 4.1 OF AS4773-2015.

FIRE SEPARATION - FIRE SEPARATION OF BUILDINGS ON BOUNDRY ARE TO BE IN ACCORDANCE WITH NCC BCA Section C Volume 1 2019

- STRUCTURAL ELEMENTS REFER TO ENGINEERING DRAWINGS FOR NOTES ON:
- DEMOLITION & CLEARING
- **EARTHWORKS**
- FOOTINGS
- **BORED PIERS**
- STRUCTURAL STEEL
- TIMBER CONCRETE
- REINFORCING
- REINFORCED CONCRETE MASONRY
- RETAINING WALLS **BEAMS & BRACING**

- FLOOR BEARERS & JOISTS

IT IS THE BUILDERS RESPONSIBILITY TO ENSURE ALL AUSTRALIA BUILDING CODES & STANDARDS ARE REFERED TO

AND COMPLIED WITH DURING CONSTRUCTION AT ALL TIMES.

ESSENTIAL FIRE & OTHER STANDARD OF PERFORMANCE SAFETY MEASURES **EMERGENCY LIGHTING** BCA CLAUSES E4.2/E4.4 & AS/NZS 2293.1 - 2018 **EXITING SIGNS** BCA CLAUSES E4.5/ NSW E4.6 / E4.8 & AS/NZS 2293.1 - 2018 HOSE REEL SYSTEM BCA CLAUSE E1.4 & AS 2441 - 2005

BCA CLAUSE E1.6 & AS 2444 - 2001

REQUIRED FIRE SAFETY MEASURES

PORTABLE FIRE EXTINGUISHERS

GENERAL WORK HEALTH & SAFETY NOTES

1. FALLS, SLIPS, TRIPS

A) WORKING AT HEIGHTS

DURING CONSTRUCTION WHEREVER POSSIBLE, COMPONENTS FOR THIS BUILDING SHOULD BE PREFABRICATED OFF-SITE OR AT GROUND LEVEL TO MINIMISE THE RISK OF WORKERS FALLING MORE THAN TWO METRES. HOWEVER, CONSTRUCTION OF THIS BUILDING WILL REQUIRE WORKERS TO BE WORKING AT HEIGHTS WHERE A FALL IN EXCESS OF TWO METRES IS POSSIBLE AND INJURY IS LIKELY TO RESULT FROM SUCH A FALL. THE BUILDER SHOULD PROVIDE A SUITABLE BARRIER WHEREVER A PERSON IS REQUIRED TO WORK IN A SITUATION WHERE FALLING MORE THAN TWO METRES IS A POSSIBILITY.

DURING OPERATION OR MAINTENANCE

FOR HOUSES OR OTHER LOW-RISE BUILDINGS WHERE SCAFFOLDING IS APPROPRIATE:

CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METRES IS POSSIBLE. WHERE THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, LADDERS OR TRESTLES SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR

LEGISLATION. FOR BUILDINGS WHERE SCAFFOLD, LADDERS, TRESTLES ARE NOT APPROPRIATE: CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METRES IS POSSIBLE. WHERE THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, FALL BARRIERS OR PERSONAL PROTECTIVE EQUIPMENT (PPE) SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION.

B) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES SPECIFIED IF FINISHES HAVE BEEN SPECIFIED BY DESIGNER, THESE HAVE BEEN SELECTED TO MINIMISE THE RISK OF FLOORS AND PAVED AREAS BECOMING SLIPPERY WHEN WET OR WHEN WALKED ON WITH WET SHOES/FEET. ANY CHANGES TO THE SPECIFIED FINISH SHOULD BE MADE IN CONSULTATION WITH THE DESIGNER OR, IF THIS IS NOT PRACTICAL, SURFACES WITH AN EQUIVALENT OR BETTER SLIP RESISTANCE

SHOULD BE CHOSEN.

FLOOR FINISHES BY OWNER IF DESIGNER HAS NOT NOT BEEN INVOLVED IN THE SELECTION OF SURFACE FINISHES, THE OWNER IS RESPONSIBLE FOR THE SELECTION OF SURFACE FINISHES IN THE PEDESTRIAN TRAFFICABLE AREAS OF THIS BUILDING. SURFACES SHOULD BE SELECTED IN ACCORDANCE WITH AS HB 197:1999 AND AS/NZ 4586.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES DUE TO DESIGN RESTRICTIONS FOR THIS BUILDING, STEPS AND/OR RAMPS ARE INCLUDED IN THE BUILDING WHICH MAY BE A HAZARD TO WORKERS CARRYING OBJECTS OR OTHERWISE OCCUPIED. STEPS SHOULD BE CLEARLY MARKED WITH BOTH VISUAL AND TACTILE WARNING DURING CONSTRUCTION, MAINTENANCE, DEMOLITION AND AT ALL TIMES WHEN THE BUILDING OPERATES AS A WORKPLACE. BUILDING OWNERS AND OCCUPIERS SHOULD MONITOR THE PEDESTRIAN ACCESS WAYS AND IN PARTICULAR ACCESS TO AREAS WHERE MAINTENANCE IS ROUTINELY CARRIED OUT TO ENSURE THAT SURFACES HAVE NOT MOVED OR CRACKED SO THAT THEY BECOME UNEVEN AND PRESENT A TRIP HAZARD. SPILLS, LOOSE MATERIAL, STRAY OBJECTS OR ANY OTHER MATTER THAT MAY CAUSE A SLIP OR TRIP HAZARD SHOULD BE CLEANED OR REMOVED FROM ACCESS WAYS. CONTRACTORS SHOULD BE REQUIRED TO MAINTAIN A TIDY WORK SITE DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION TO REDUCE THE RISK OF TRIPS AND FALLS IN THE WORKPLACE, MATERIALS FOR CONSTRUCTION OR MAINTENANCE SHOULD BE STORED IN DESIGNATED AREAS AWAY FROM ACCESS WAYS AND WORK

AREAS.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS CONSTRUCTION, MAINTENANCE OR DEMOLITION WORK ON OR AROUND THIS BUILDING IS LIKELY TO INVOLVE PERSONS WORKING ABOVE GROUND LEVEL OR ABOVE FLOOR LEVELS. WHERE THIS OCCURS ONE OR MORE OF THE FOLLOWING MEASURES SHOULD BE TAKEN TO AVOID OBJECTS FALLING FROM THE AREA WHERE THE WORK IS BEING CARRIED OUT ONTO PERSONS BELOW 1. PREVENT OR RESTRICT ACCESS TO AREAS BELOW WHERE THE WORK IS BEING

CARRIED OUT. 2. PROVIDE TOEBOARDS TO SCAFFOLDING OR WORK PLATFORMS.

3. PROVIDE PROTECTIVE STRUCTURE BELOW THE WORK AREA. 4. ENSURE THAT ALL PERSONS BELOW THE WORK AREA HAVE PERSONAL PROTECTIVE EQUIPMENT (PPE).

BUILDING COMPONENTS DURING CONSTRUCTION, RENOVATION OR DEMOLITION OF THIS BUILDING, PARTS OF THE STRUCTURE INCLUDING FABRICATED STEELWORK, HEAVY PANELS AND MANY OTHER COMPONENTS WILL REMAIN STANDING PRIOR TO OR AFTER SUPPORTING PARTS ARE IN PLACE. CONTRACTORS SHOULD ENSURE THAT TEMPORARY BRACING OR OTHER REQUIRED SUPPORT IS IN PLACE AT ALL TIMES WHEN COLLAPSE WHICH MAY INJURE PERSONS IN THE AREA IS A POSSIBILITY.

MECHANICAL LIFTING OF MATERIALS AND COMPONENTS DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION PRESENTS A RISK OF FALLING OBJECTS. CONTRACTORS SHOULD ENSURE THAT APPROPRIATE LIFTING DEVICES ARE USED, THAT LOADS ARE PROPERLY SECURED AND THAT ACCESS TO AREAS BELOW THE LOAD IS PREVENTED OR RESTRICTED.

3. TRAFFIC MANAGEMENT

FOR BUILDING ON A MAJOR ROAD, NARROW ROAD OR STEEPLY SLOPING ROAD: PARKING OF VEHICLES OR LOADING/UNLOADING OF VEHICLES ON THIS ROADWAY MAY CAUSE A TRAFFIC HAZARD. DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION OF THIS BUILDING DESIGNATED PARKING FOR WORKERS AND LOADING AREAS SHOULD BE PROVIDED. TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE RESPONSIBLE FOR THE SUPERVISION OF THESE AREAS. FOR BUILDING WHERE ON-SITE LOADING/UNLOADING IS RESTRICTED: CONSTRUCTION OF THIS BUILDING WILL REQUIRE LOADING AND UNLOADING OF MATERIALS ON THE ROADWAY. DELIVERIES SHOULD BE WELL PLANNED TO AVOID CONGESTION OF LOADING AREAS AND TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE USED TO SUPERVISE LOADING/UNLOADING AREAS. FOR ALL BUILDINGS:

BUSY CONSTRUCTION AND DEMOLITION SITES PRESENT A RISK OF COLLISION WHERE DELIVERIES AND OTHER TRAFFIC ARE MOVING WITHIN THE SITE. A TRAFFIC MANAGEMENT PLAN SUPERVISED BY TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE ADOPTED FOR THE WORK SITE.

4. SERVICES

GENERAL RUPTURE OF SERVICES DURING EXCAVATION OR OTHER ACTIVITY CREATES A VARIETY OF RISKS INCLUDING RELEASE OF HAZARDOUS MATERIAL. EXISTING SERVICES ARE LOCATED ON OR AROUND THIS SITE. WHERE KNOWN, THESE ARE IDENTIFIED ON THE PLANS BUT THE EXACT LOCATION AND EXTENT OF SERVICES MAY VARY FROM THAT INDICATED. SERVICES SHOULD BE LOCATED USING AN APPROPRIATE SERVICE (SUCH AS DIAL BEFORE YOU DIG), APPROPRIATE EXCAVATION PRACTICE SHOULD BE USED AND, WHERE NECESSARY, SPECIALIST CONTRACTORS SHOULD BE USED. LOCATIONS WITH UNDERGROUND POWER: UNDERGROUND POWER LINES MAY BE LOCATED IN OR AROUND THIS SITE. ALL UNDERGROUND POWER LINES MUST BE DISCONNECTED OR CAREFULLY LOCATED AND ADEQUATE WARNING SIGNS USED PRIOR TO ANY CONSTRUCTION, MAINTENANCE OR DEMOLITION COMMENCING. LOCATIONS WITH OVERHEAD POWER LINES: OVERHEAD POWER LINES MAY BE NEAR OR ON THIS SITE. THESE POSE A RISK OF ELECTROCUTION IF STRUCK OR APPROACHED BY LIFTING DEVICES OR OTHER PLANT AND PERSONS WORKING ABOVE GROUND LEVEL. WHERE THERE IS A DANGER OF THIS OCCURRING, POWER LINES SHOULD BE, WHERE PRACTICAL, DISCONNECTED OR RELOCATED. WHERE THIS IS NOT PRACTICAL ADEQUATE WARNING IN THE FORM OF BRIGHT COLOURED TAPE OR SIGNAGE SHOULD BE.

5. MANUAL TASKS

COMPONENTS WITHIN THIS DESIGN WITH A MASS IN EXCESS OF 25KG SHOULD BE LIFTED BY TWO OR MORE WORKERS OR BY MECHANICAL LIFTING DEVICE. WHERE THIS IS NOT PRACTICAL, SUPPLIERS OR FABRICATORS SHOULD BE REQUIRED TO LIMIT THE COMPONENT MASS.

ALL MATERIAL PACKAGING, BUILDING AND MAINTENANCE COMPONENTS SHOULD CLEARLY SHOW THE TOTAL MASS OF PACKAGES AND WHERE PRACTICAL ALL ITEMS SHOULD BE STORED ON SITE IN A WAY WHICH MINIMISES BENDING BEFORE LIFTING. ADVICE SHOULD BE PROVIDED ON SAFE LIFTING METHODS IN ALL AREAS WHERE LIFTING MAY OCCUR. CONSTRUCTION, MAINTENANCE AND DEMOLITION OF THIS BUILDING WILL REQUIRE THE USE OF PORTABLE TOOLS AND EQUIPMENT. THESE SHOULD BE FULLY MAINTAINED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND NOT USED WHERE FAULTY OR (IN THE CASE OF ELECTRICAL EQUIPMENT) NOT CARRYING A CURRENT ELECTRICAL SAFETY TAG. ALL SAFETY GUARDS OR DEVICES SHOULD BE REGULARLY CHECKED AND PERSONAL PROTECTIVE EQUIPMENT SHOULD BE USED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.

6. HAZARDOUS SUBSTANCES

ASBESTOS

FOR ALTERATIONS TO A BUILDING CONSTRUCTED PRIOR TO 1990: IF THIS EXISTING BUILDING WAS CONSTRUCTED PRIOR TO: 1990 - IT THEREFORE MAY CONTAIN ASBESTOS 1986 - IT THEREFORE IS LIKELY TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL OR IN FIRE RETARDANT INSULATION MATERIAL. IN EITHER CASE, THE BUILDER SHOULD CHECK AND, IF NECESSARY, TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR

OTHERWISE DISTURBING THE EXISTING STRUCTURE.

POWDERED MATERIALS

MANY MATERIALS USED IN THE CONSTRUCTION OF THIS BUILDING CAN CAUSE HARM IF INHALED IN POWDERED FORM. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION. OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION WHILE USING POWDERED MATERIAL OR WHEN SANDING, DRILLING, CUTTING OR OTHERWISE DISTURBING OR CREATING POWDERED MATERIAL.

TREATED TIMBER

THE DESIGN OF THIS BUILDING MAY INCLUDE PROVISION FOR THE INCLUSION OF TREATED TIMBER WITHIN THE STRUCTURE. DUST OR FUMES FROM THIS MATERIAL CAN BE HARMFUL. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION. OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL WHEN SANDING, DRILLING, CUTTING OR USING TREATED TIMBER IN ANY WAY THAT MAY CAUSE HARMFUL MATERIAL TO BE RELEASED. DO NOT BURN TREATED TIMBER.

VOLATILE ORGANIC COMPOUNDS MANY TYPES OF GLUE, SOLVENTS, SPRAY PACKS, PAINTS, VARNISHES AND SOME CLEANING MATERIALS AND DISINFECTANTS HAVE DANGEROUS EMISSIONS. AREAS WHERE THESE ARE USED SHOULD BE KEPT WELL VENTILATED WHILE THE MATERIAL IS BEING USED AND FOR A PERIOD AFTER INSTALLATION. PERSONAL PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURERS RECOMMENDATIONS FOR USE MUST BE CAREFULLY CONSIDERED AT ALL TIMES.

7. CONFINED SPACES

EXCAVATION CONSTRUCTION OF THIS BUILDING AND SOME MAINTENANCE ON THE BUILDING WILL REQUIRE EXCAVATION AND INSTALLATION OF ITEMS WITHIN EXCAVATIONS. WHERE PRACTICAL, INSTALLATION SHOULD BE CARRIED OUT USING METHODS WHICH DO NOT REQUIRE WORKERS TO ENTER THE EXCAVATION. WHERE THIS IS NOT PRACTICAL, ADEQUATE SUPPORT FOR THE EXCAVATED AREA SHOULD BE PROVIDED TO PREVENT COLLAPSE. WARNING SIGNS AND BARRIERS TO PREVENT ACCIDENTAL OR UNAUTHORISED ACCESS TO ALL EXCAVATIONS SHOULD BE PROVIDED.

ENCLOSED SPACES FOR BUILDINGS WITH ENCLOSED SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED:

ENCLOSED SPACES WITHIN THIS BUILDING MAY PRESENT A RISK TO PERSONS ENTERING FOR CONSTRUCTION, MAINTENANCE OR ANY OTHER PURPOSE. THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS. THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING. WHERE WORKERS ARE REQUIRED TO ENTER ENCLOSED SPACES, AIR TESTING EQUIPMENT AND PERSONAL PROTECTIVE EQUIPMENT SHOULD BE

SMALL SPACES FOR BUILDINGS WITH SMALL SPACES WHERE MAINTENANCE OR OTHER ACCESS

MAY BE REQUIRED: SOME SMALL SPACES WITHIN THIS BUILDING WILL REQUIRE ACCESS BY CONSTRUCTION OR MAINTENANCE WORKERS. THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS. THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING. WHERE WORKERS ARE REQUIRED TO ENTER SMALL SPACES THEY SHOULD BE SCHEDULED SO THAT ACCESS IS FOR SHORT PERIODS. MANUAL LIFTING AND OTHER MANUAL ACTIVITY

8. PUBLIC ACCESS

PUBLIC ACCESS TO CONSTRUCTION AND DEMOLITION SITES AND TO AREAS UNDER MAINTENANCE CAUSES RISK TO WORKERS AND PUBLIC. WARNING SIGNS AND SECURE BARRIERS TO UNAUTHORISED ACCESS SHOULD BE PROVIDED. WHERE ELECTRICAL INSTALLATIONS, EXCAVATIONS, PLANT OR LOOSE MATERIALS ARE

9. OPERATIONAL USE OF BUILDING RESIDENTIAL BUILDINGS

PRESENT THEY SHOULD BE SECURED WHEN NOT FULLY SUPERVISED.

THIS BUILDING HAS BEEN DESIGNED AS A RESIDENTIAL BUILDING. IF IT, AT A LATER DATE, IT IS USED OR INTENDED TO BE USED AS A WORKPLACE, THE PROVISIONS OF THE WORK HEALTH AND SAFETY ACT 2011 OR SUBSEQUENT REPLACEMENT ACT SHOULD BE APPLIED TO THE NEW USE.

10. OTHER HIGH RISK ACTIVITY

SHOULD BE RESTRICTED IN SMALL SPACES.

ALL ELECTRICAL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING ELECTRICAL RISKS AT THE WORKPLACE, AS/NZ 3012 AND ALL LICENSING REQUIREMENTS. ALL WORK USING PLANT SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING RISKS OF PLANT AT THE WORKPLACE. ALL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK. DUE TO THE HISTORY OF SERIOUS INCIDENTS IT IS RECOMMENDED THAT PARTICULAR CARE BE EXERCISED WHEN UNDERTAKING WORK INVOLVING STEEL CONSTRUCTION AND CONCRETE PLACEMENT. ALL THE ABOVE APPLIES.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT: THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINENORS. DEMOLISHERS.

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ALL FINISHES NOMINATED ON THESE ARCHITECTURAL PLANS ARE INDICATIVE ONLY

ARCHITECTURAL DRAWING SHEETS

SHEET NAME A100 COVER SHEET A102 NOTES A200 SITE PLAN A201 EXISTING SITE PLAN A300 OVERALL FLOOR PLAN A301 UNIT 1 - 3 - GROUND FLOOR PLAN A302 UNIT 4 - 7 - GROUND FLOOR PLAN A303 UNIT 1 - 3 & 7 MEZZANINE FLOOR PLANS A304 GROUND FLOOR REFLECTIVE CEILING PLAN A305 MEZZANINE REFLECTIVE CEILING PLAN A307 GROUND FLOOR - EXIT TRAVEL DISTANCE PLAN A308 MEZZANINE - EXIT TRAVEL DISTANCE PLAN A401 **ROOF PLAN** A500 **BUILDING ELEVATIONS** A501 **BUILDING ELEVATIONS** A502 **BUILDING ELEVATIONS** A503 SECTIONS A504 SECTIONS A600 ACCESSIBLE WC / SHR FLOOR PLAN, ELEVATIONS & 3D A601 AMBULANT WC FLOOR PLAN. ELEVATIONS & 3D A602 TYPICAL ACCESSIBLE SHR & WASHBASIN AMENITIES AS1428 A603 TYPICAL ACCESSIBLE WC AMENITIES A604 TYPICAL ACCESSIBLE DOOR CIRCULATION SPACE DIAGRAMS A605 TYPICAL STAIR DIAGRAMS A700 TYPICAL KITCHEN PLANS A701 EXTERNAL FEATURE CLADDING OPTIONS A702 DOOR SCHEDULE

A703

WINDOW SCHEDULE

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23
	FOR FINAL REVIEW	PC	16.06.23
GENERAL	NOTES:		
	IRED DIMENSIONS IN PREFERENCE TO SCALED.		

CONFIRM THE SCALE OF HARDCOPY DRAWINGS BY USING THE ATTACHED SCALE BAR. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR BEFORE SET OUT. CONTACT DETAILS:

INDUSTRIAL & COMMERCIAL

STEEL BUILDING SPECIALISTS MOBILE: 0410644524 ABN: 94 116 169 264 / ACN: 151 135 447 : 1 @ A1 APPROVED DATE: NORTH: 16 JUNE 23' Terapale Pty Ltd

UE S PROPOSED DEVELOPMENT AT LOT 402, D.P.1278483, 20 BRODIE STREET, MORISSET, NSW, 2264 ⋖

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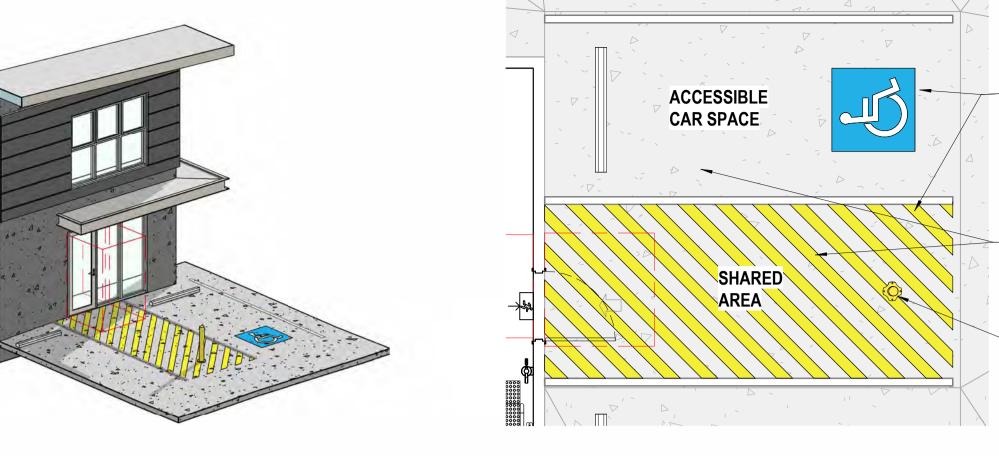
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Po Box 111, TORONTO, 2283

PROJECT NUMBER: SHEET NUMBER

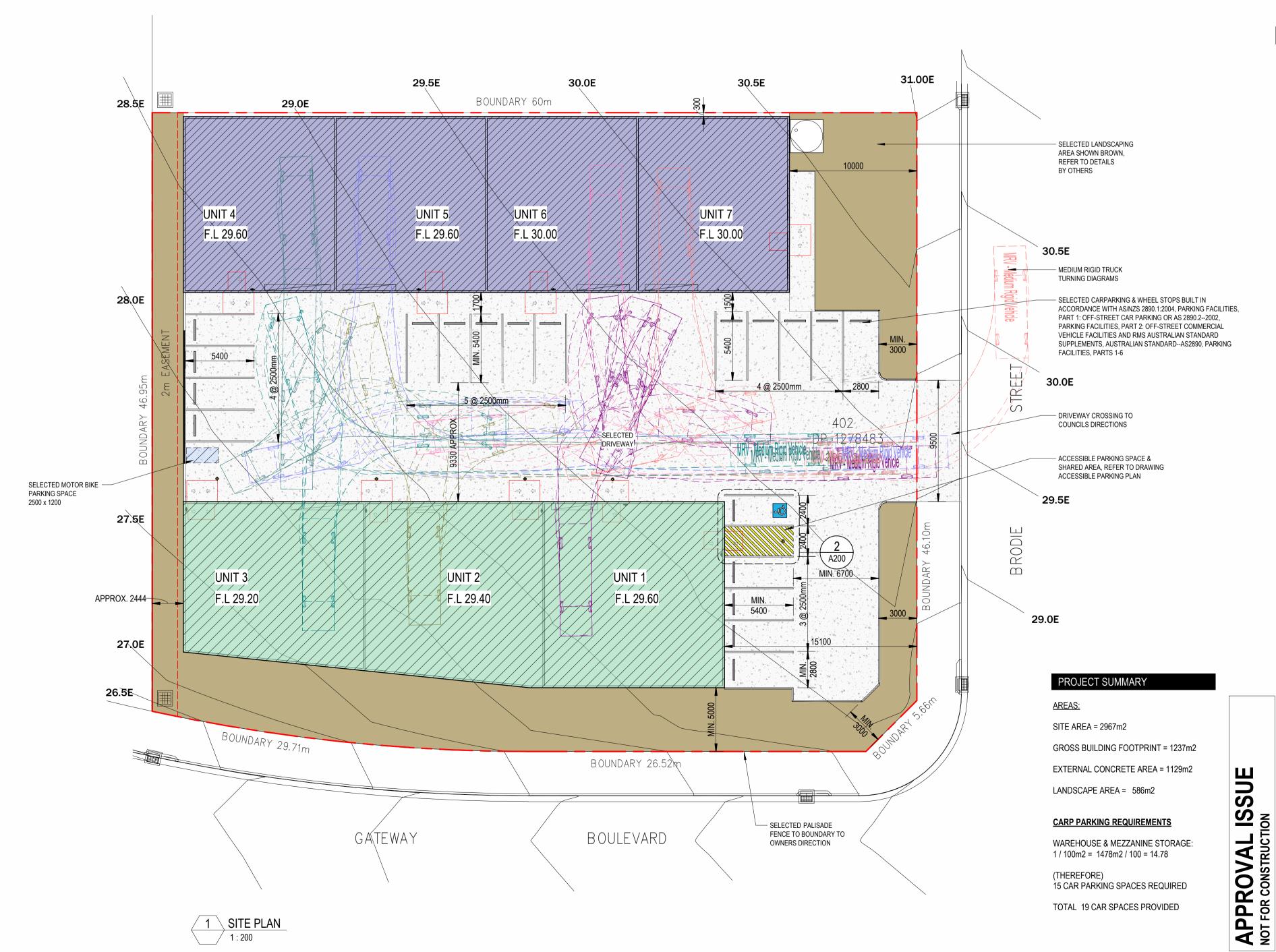




3 ACCESSIBLE PARKING SPACE 3D

ACCESSIBLE CAR PARKING SPACE IN ACCORDANCE WITH AS2890.6

2 ACCESSIBLE PARKING SPACE



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ACCESSIBLE CAR PARKING SPACE IN ACCORDANCE WITH A.S. 2890.6

SPACE IDENTIFICATION

- NON-SLIP LINE MARKING

- MAX. 1 IN 40 GRADE IN ANY DIRECTION

FOR BOTH SHARED SPACE AND

ACCESSIBLE PARKING SPACE

YELLOW BOLLARD AS

PER A.S.2890.6-2009

REQUIRED WITH GRIT

EACH DEDICATED SPACE SHALL BE IDENTIFIED BY MEANS OF A WHITE SYMBOL OF ACCESS IN ACCORDANCE WITH AS 1428.1 BETWEEN 800mm AND 1000mm HIGH PLACED ON A BLUE RECTANGLE WITH NO SIDE MORE THAN 1200mm, PLACED AS A PAVEMENT MARKING IN THE CENTRE OF THE SPACE BETWEEN 500mm AND 600mm FROM ITS ENTRY POINT AS ILLUSTRATED SPACE DELINEATION

PAVEMENT MARKINGS SPECIFIED IN ITEMS (A) AND (B) OF THIS CLAUSE SHALL BE YELLOW AND SHALL HAVE A SLIP RESISTANT SURFACE. RAISED PAVEMENT MARKERS SHALL NOT BE USED FOR SPACE DELINEATION. PAVEMENT MARKINGS SHALL BE PROVIDED AS FOLLOWS:

1. LINEMARKING
1.1. DEDICATED PARKING SPACES SHALL BE OUTLINED WITH UNBROKEN
LINES 80 TO 100mm WIDE ON ALL SIDES EXCEPTING ANY SIDE DELINEATED BY

2. SHARED AREAS SHALL BE MARKED AS FOLLOWS:

2.1. WALKWAYS WITHIN OR PARTLY WITHIN A SHARED AREA SHALL BE MARKED WITH UNBROKEN LONGITUDINAL LINES ON BOTH SIDES OF THE WALKWAY EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL. 2.2. OTHER VACANT NON-TRAFFICKED AREAS, WHICH MAY BE INTENTIONALLY OR UNINTENTIONALLY OBSTRUCTED (E.G. BY UNINTENDED PARKING), SHALL BE OUTLINED WITH UNBROKEN LINES 80 TO 100mm WIDE ON ALL SIDES EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL, AND MARKED WITH DIAGONAL STRIPES 150 TO 200mm WIDE WITH SPACES 200mm TO 300mm BETWEEN STRIPES. THE STRIPES SHALL BE AT AN ANGLE OF 45 ± 10 DEGREES TO THE SIDE OF THE SPACE.

2.3. NO SHARED AREA MARKINGS SHALL BE PLACED IN TRAFFICKED AREAS.
2.4. ALL LINEMARKING MUST BE NON SLIP

3. BOLLARDS:

3.1. MINIMUM HEIGHT 1300mm

A KERB, BARRIER OR WALL.

3.2. RECOMMENDED YELLOW BOLLARD AS PER A.S.2890.6-2009
3.3. RECOMMEND FLEXIBLE BOLLARDS TO REDUCE MOTOR VEHICLE DAMAGE

SITE NOTES

1. REFER TO ENGINEERS DOCUMENTATION FOR ALL RETAINING WALL LOCATIONS & HEIGHTS, FINISHED LEVELS, & STORMWATER DETAILS.

2. REFER TO LANDSCAPE PLAN BY OTHERS, FOR ALL LANDSCAPING REQUIREMENTS & SPECIFICATIONS.

3. PROPOSED DEVELOPMENT TO BE SET OUT BY A REGISTERED SURVEYOR PRIOR TO ANY WORKS COMMENCING.

/ WILLIAD WEITT	/ 11 110 1	
FOR REVIEW ONLY	PC	28.03.23
FOR FINAL REVIEW	PC	16.06.23
NOTES:		

CONFIRM THE SCALE OF HARDCOPY DRAWINGS BY USING THE ATTACHED SCALE B CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR BEFORE SET OUT.



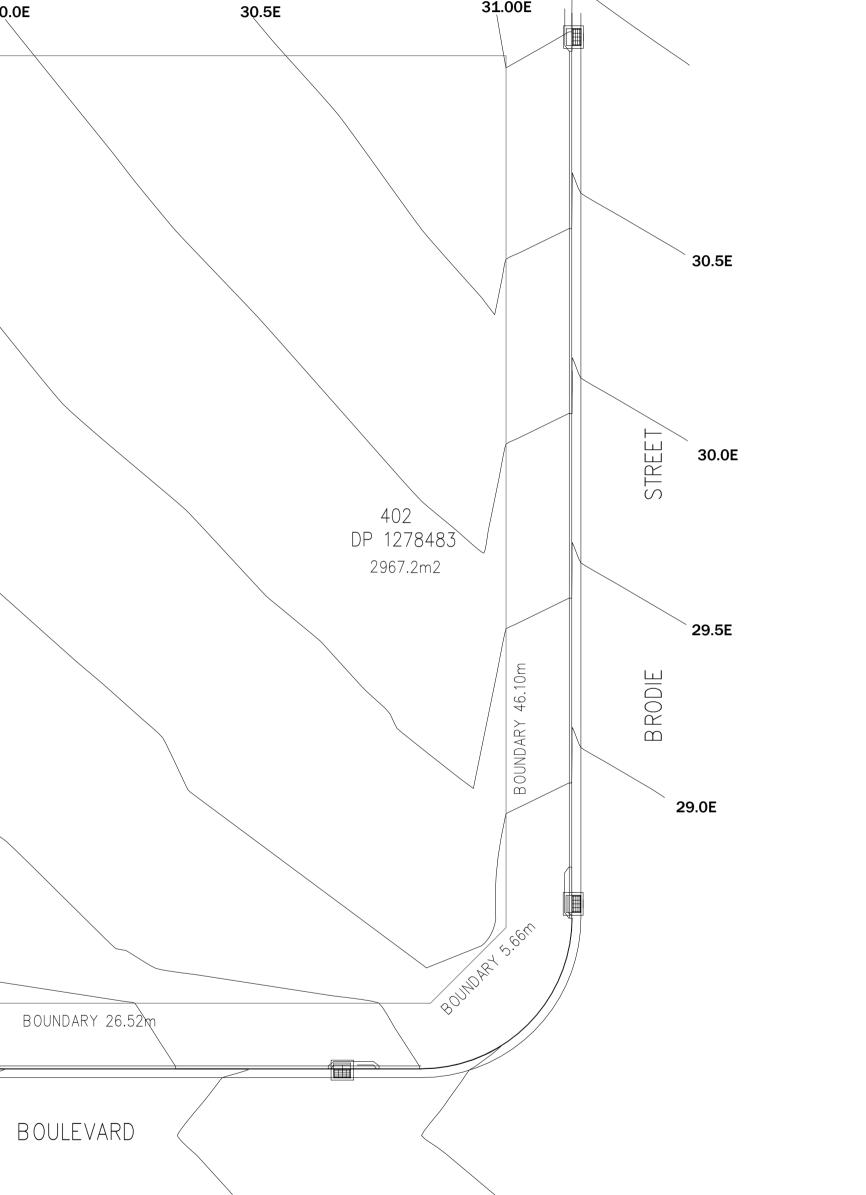
CLIENT:
Terapale Pty Ltd

ty Ltd

PROPOSED DEVELOPMENT AT LOT 402, D.P.1278483, 20 BRODIE STREET, MORISSET, NSW, 2264

SITE PI AN

PROJECT NUMBER: SHEET NUMBER: RETURN RETURN



31.00E

1 EXISTING SITE PLAN
1:200

BOUNDARY 29.71m

GATEWAY

28.5E

28.0E

27.5E

27.0E

26.5E

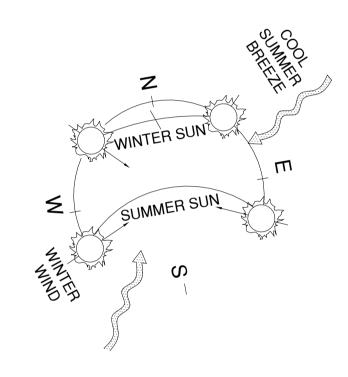
29.5E

29.0E

30.0E

BOUNDARY 60m

EXISTING VACANT SITE



REVISION		APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23
	FOR FINAL REVIEW	PC	16.06.23
GENERA	L NOTES:		
USE FIGU	JRED DIMENSIONS IN PREFERENCE TO SCALED.		
	THE SCALE OF HARDCOPY DRAWINGS BY USING THE	ATTACHED S	CALE BAR

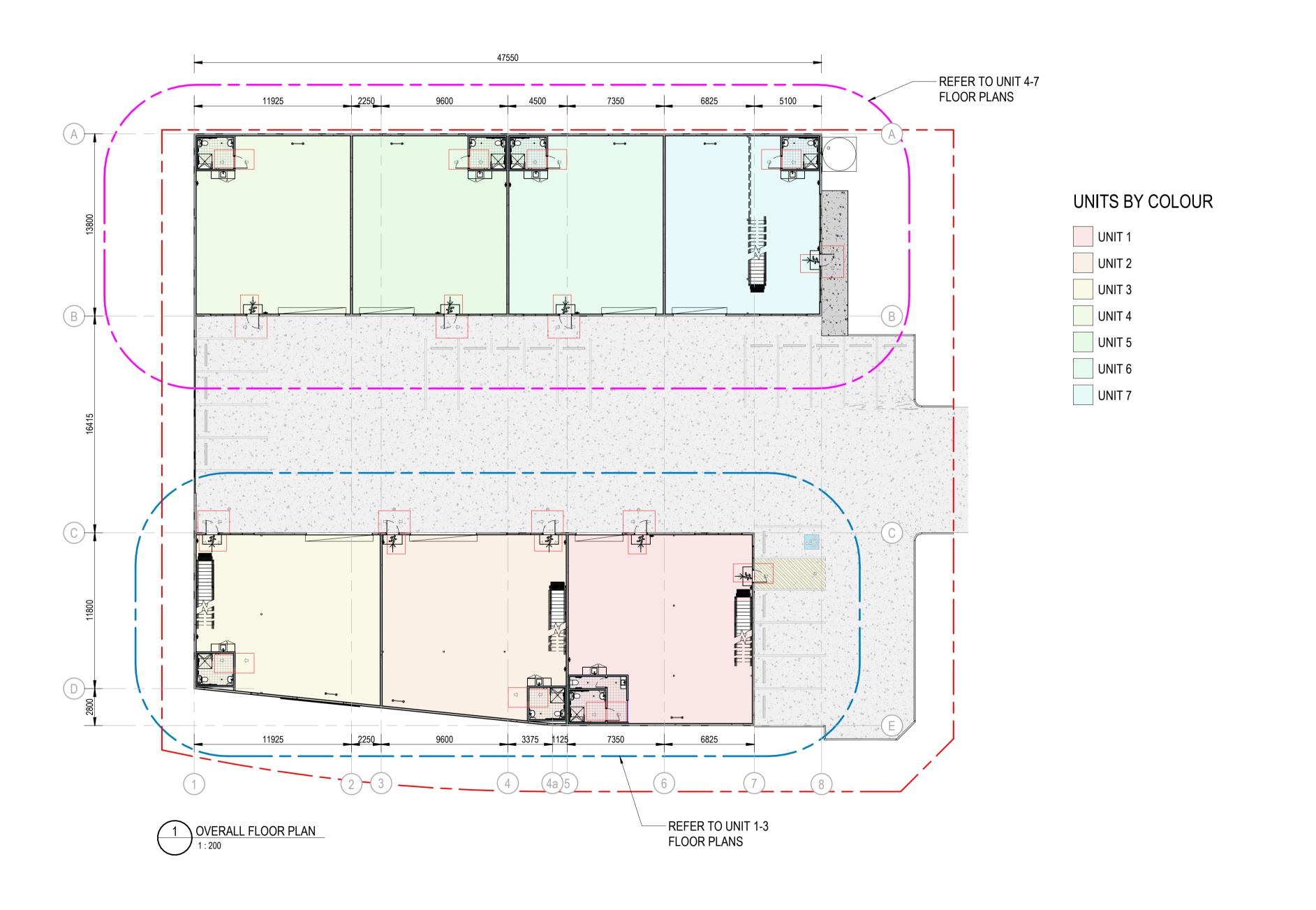
CONTACT DETAILS.		
Po Box 111 , TORONTO, 2283 MOBILE: 0410644524 ABN: 94 116 169 264 / ACN: 1	INDUSTRIAL & COMMERCIAL STEEL BUILDING SPECIALISTS	
DESIGNED:	DRAWN:	SCALE:
PC	PC	As indicated @ A1
APPROVED:	APPROVED DATE:	NORTH:
СС	16 JUNE 23'	NORTH
CLIENT:		
Terapale Pty Ltd		

PROPOSED DEVELOPMENT AT LOT 402, D.P.1278483, 20 BRODIE STREET, MORISSET, NSW, 2264

EXISTING SITE PLAN

23013 A201

APPROVAL ISSUE



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AREA SCHED	
NAME UNIT 1	AREA
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m²
AMBULANT WC	3 m²
VAN	5 m²
WAREHOUSE	183 m²
	197 m²
MEZZANINE	
MEZZANINE	101 m²
SHR	2 m²
VAN	3 m²
WC	2 m²
	108 m²
UNIT 2	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m²
WAREHOUSE	183 m ²
· · · · · · · · · · · · · · · · · · ·	189 m²
MEZZANINE	
MEZZANINE	68 m²
	68 m²
ACCESSIBLE WC / SHR WAREHOUSE	7 m ² 162 m ² 169 m ²
MEZZANINE	109 111
MEZZANINE	53 m²
	53 m²
UNIT 4	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m²
WAREHOUSE	150 m ²
	157 m ²
UNIT 5	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m²
WAREHOUSE	150 m²
	157 m²
UNIT C	
UNIT 6 GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m²
WAREHOUSE	150 m ²
WARLINOOSL	157 m ²
UNIT 7	
GROUND FLOOR	7 ^
ACCESSIBLE WC / SHR	7 m²
	7 m ² 150 m ²

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23
	FOR FINAL REVIEW	PC	16.06.23
GENERAL	NOTES:		
	RED DIMENSIONS IN PREFERENCE TO SCALED. THE SCALE OF HARDCOPY DRAWINGS BY USING THE	ATTACHED S	SCALE BAR

68 m² 68 m²

1481 m²

MEZZANINE MEZZANINE

TOTAL



INDUSTRIAL & COMMERCIAL

		STEEL BUILDING SPECIALIS
DESIGNED:	DRAWN:	SCALE:
PC	PC	1 : 200 @ A1
APPROVED:	APPROVED DATE:	NORTH:
FS	16 JUNE 23'	NORTH
	ABN: 94 116 169 264 DESIGNED: PC APPROVED:	PC PC APPROVED: APPROVED DATE:

Terapale Pty Ltd

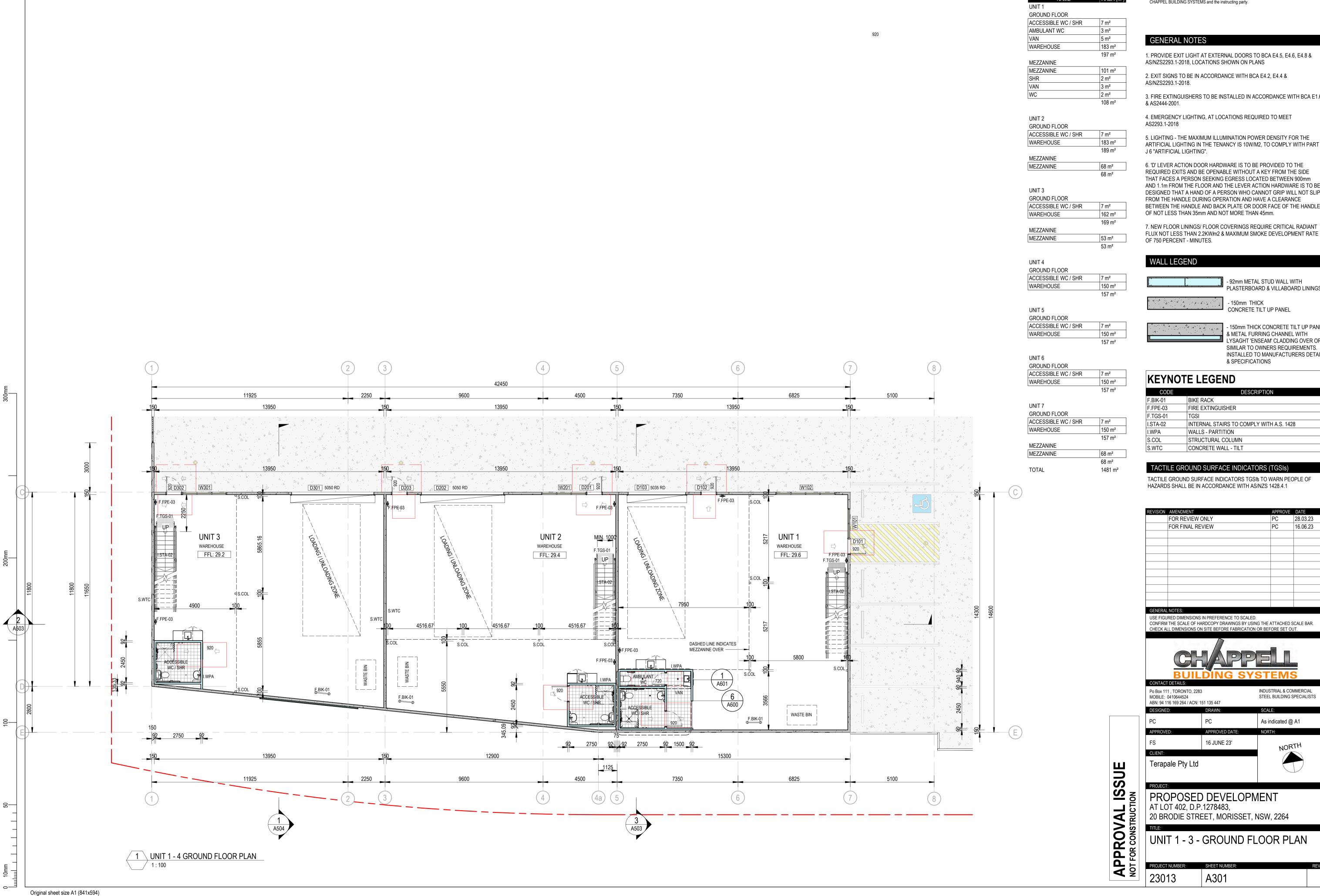
ISSUE ION

Po Box 111, TORONTO, 2283

PROPOSED DEVELOPMENT AT LOT 402, D.P.1278483, 20 BRODIE STREET, MORISSET, NSW, 2264

OVERALL FLOOR PLAN

APPROVAL NOT FOR CONSTRUCTION 23013 A300



AREA SCHEDULE

NAME

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1. PROVIDE EXIT LIGHT AT EXTERNAL DOORS TO BCA E4.5, E4.6, E4.8 &

2. EXIT SIGNS TO BE IN ACCORDANCE WITH BCA E4.2, E4.4 &

3. FIRE EXTINGUISHERS TO BE INSTALLED IN ACCORDANCE WITH BCA E1.6

4. EMERGENCY LIGHTING, AT LOCATIONS REQUIRED TO MEET

5. LIGHTING - THE MAXIMUM ILLUMINATION POWER DENSITY FOR THE ARTIFICIAL LIGHTING IN THE TENANCY IS 10W/M2, TO COMPLY WITH PART

6. 'D' LEVER ACTION DOOR HARDWARE IS TO BE PROVIDED TO THE REQUIRED EXITS AND BE OPENABLE WITHOUT A KEY FROM THE SIDE THAT FACES A PERSON SEEKING EGRESS LOCATED BETWEEN 900mm AND 1.1m FROM THE FLOOR AND THE LEVER ACTION HARDWARE IS TO BE DESIGNED THAT A HAND OF A PERSON WHO CANNOT GRIP WILL NOT SLIP FROM THE HANDLE DURING OPERATION AND HAVE A CLEARANCE

7. NEW FLOOR LININGS/ FLOOR COVERINGS REQUIRE CRITICAL RADIANT FLUX NOT LESS THAN 2.2KW/m2 & MAXIMUM SMOKE DEVELOPMENT RATE



- 150mm THICK CONCRETE TILT UP PANEL 150mm THICK CONCRETE TILT UP PANEL

& METAL FURRING CHANNEL WITH LYSAGHT 'ENSEAM' CLADDING OVER OR SIMILAR TO OWNERS REQUIREMENTS. INSTALLED TO MANUFACTURERS DETAILS & SPECIFICATIONS

DESCRIPTION BIKE RACK FIRE EXTINGUISHER INTERNAL STAIRS TO COMPLY WITH A.S. 1428 WALLS - PARTITION STRUCTURAL COLUMN

TACTILE GROUND SURFACE INDICATORS (TGSIs)

TACTILE GROUND SURFACE INDICATORS TGSIS TO WARN PEOPLE OF HAZARDS SHALL BE IN ACCORDANCE WITH AS/NZS 1428.4.1

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23
	FOR FINAL REVIEW	PC	16.06.23
GENERAL	NOTES:		
CONFIRM	RED DIMENSIONS IN PREFERENCE TO SCALED. THE SCALE OF HARDCOPY DRAWINGS BY USING THE		

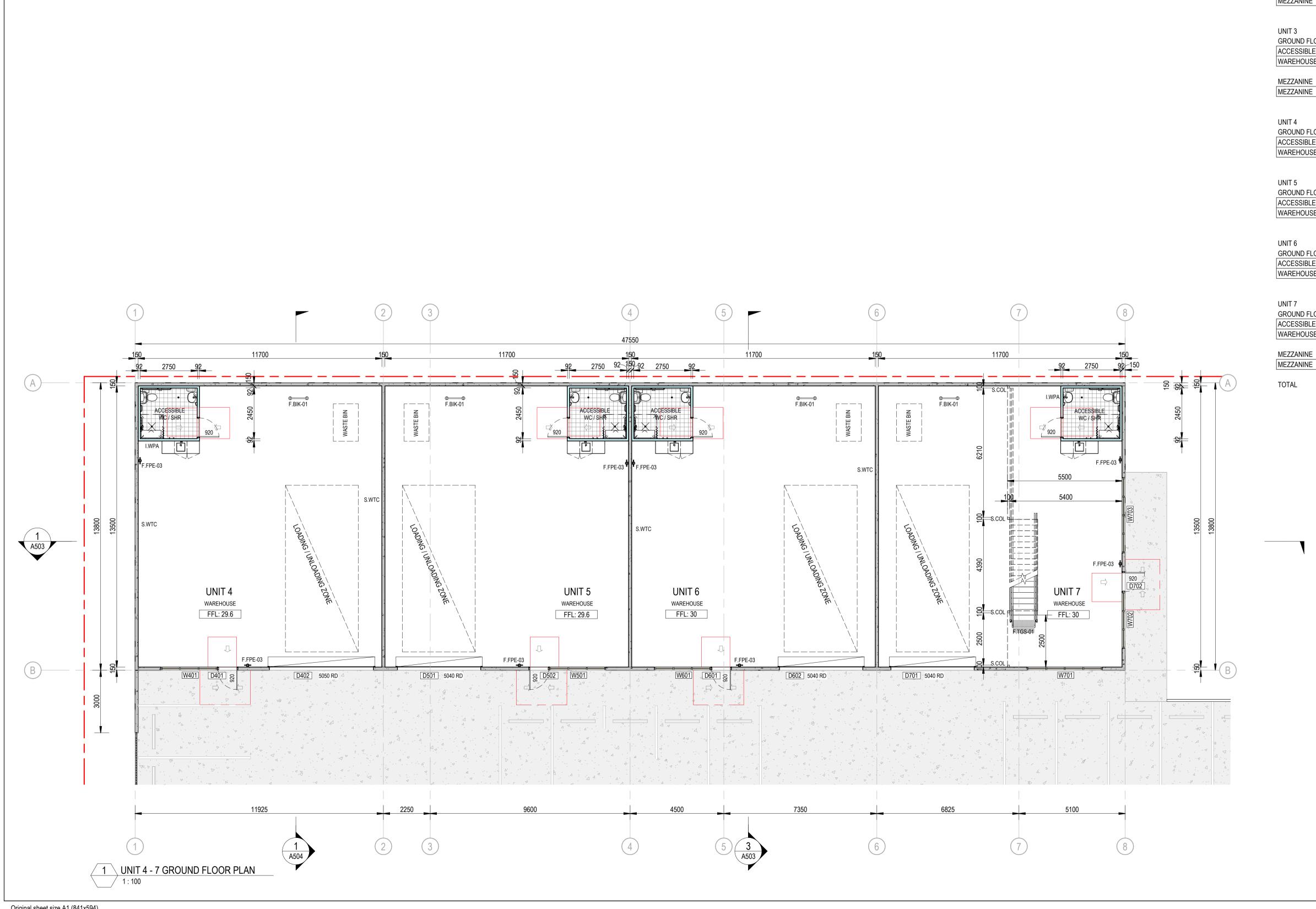
CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR BEFORE SET OUT



INDUSTRIAL & COMMERCIAL STEEL BUILDING SPECIALISTS ABN: 94 116 169 264 / ACN: 151 135 447 As indicated @ A1 NORTH: 16 JUNE 23' NORTH

PROPOSED DEVELOPMENT AT LOT 402, D.P.1278483, 20 BRODIE STREET, MORISSET, NSW, 2264

UNIT 1 - 3 - GROUND FLOOR PLAN



AREA SCHEDULE

NAME	AREA (m²
UNIT 1	'
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m ²
AMBULANT WC	3 m²
VAN	5 m ²
WAREHOUSE	183 m²
	197 m²
MEZZANINE	
MEZZANINE	101 m²
SHR	2 m²
VAN	3 m²
WC	2 m²
	108 m²

UNIT 2

GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m²
WAREHOUSE	183 m²
	189 m²
MEZZANINE	
MEZZANINE	68 m²
	68 m²

GROUND FLOOR ACCESSIBLE WC / SHR 7 m² WAREHOUSE 162 m² 169 m² MEZZANINE MEZZANINE 53 m² 53 m²

UNIT 4 GROUND FLOOR 7 m² ACCESSIBLE WC / SHR WAREHOUSE 150 m² 157 m²

UNIT 5 **GROUND FLOOR** ACCESSIBLE WC / SHR 7 m² WAREHOUSE 150 m² 157 m²

GROUND FLOOR 7 m² ACCESSIBLE WC / SHR WAREHOUSE 150 m² 157 m²

UNIT 7 **GROUND FLOOR** ACCESSIBLE WC / SHR 7 m² WAREHOUSE 150 m² 157 m² MEZZANINE

68 m²

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GENERAL NOTES

1. PROVIDE EXIT LIGHT AT EXTERNAL DOORS TO BCA E4.5, E4.6, E4.8 & AS/NZS2293.1-2018, LOCATIONS SHOWN ON PLANS

2. EXIT SIGNS TO BE IN ACCORDANCE WITH BCA E4.2, E4.4 & AS/NZS2293.1-2018.

3. FIRE EXTINGUISHERS TO BE INSTALLED IN ACCORDANCE WITH BCA E1.6 & AS2444-2001.

4. EMERGENCY LIGHTING, AT LOCATIONS REQUIRED TO MEET

AS2293.1-2018

5. LIGHTING - THE MAXIMUM ILLUMINATION POWER DENSITY FOR THE ARTIFICIAL LIGHTING IN THE TENANCY IS 10W/M2, TO COMPLY WITH PART J 6 "ARTIFICIAL LIGHTING".

6. 'D' LEVER ACTION DOOR HARDWARE IS TO BE PROVIDED TO THE REQUIRED EXITS AND BE OPENABLE WITHOUT A KEY FROM THE SIDE THAT FACES A PERSON SEEKING EGRESS LOCATED BETWEEN 900mm AND 1.1m FROM THE FLOOR AND THE LEVER ACTION HARDWARE IS TO BE DESIGNED THAT A HAND OF A PERSON WHO CANNOT GRIP WILL NOT SLIP FROM THE HANDLE DURING OPERATION AND HAVE A CLEARANCE BETWEEN THE HANDLE AND BACK PLATE OR DOOR FACE OF THE HANDLE OF NOT LESS THAN 35mm AND NOT MORE THAN 45mm.

7. NEW FLOOR LININGS/ FLOOR COVERINGS REQUIRE CRITICAL RADIANT FLUX NOT LESS THAN 2.2KWIm2 & MAXIMUM SMOKE DEVELOPMENT RATE OF 750 PERCENT - MINUTES.

WALL LEGEND

- 92mm METAL STUD WALL WITH PLASTERBOARD & VILLABOARD LININGS

- 150mm THICK CONCRETE TILT UP PANEL

150mm THICK CONCRETE TILT UP PANEL & METAL FURRING CHANNEL WITH LYSAGHT 'ENSEAM' CLADDING OVER OR SIMILAR TO OWNERS REQUIREMENTS. INSTALLED TO MANUFACTURERS DETAILS & SPECIFICATIONS

KEYNOTE LEGEND

CODE	DESCRIPTION
F.BIK-01	BIKE RACK
F.FPE-03	FIRE EXTINGUISHER
F.TGS-01	TGSI
I.WPA	WALLS - PARTITION
S.COL	STRUCTURAL COLUMN
S.WTC	CONCRETE WALL - TILT

TACTILE GROUND SURFACE INDICATORS (TGSIs)

TACTILE GROUND SURFACE INDICATORS TGSIs TO WARN PEOPLE OF HAZARDS SHALL BE IN ACCORDANCE WITH AS/NZS 1428.4.1

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23
	FOR FINAL REVIEW	PC	16.06.23
GENERAL	NOTES:		
USE FIGU	RED DIMENSIONS IN PREFERENCE TO SCALED.		

CONFIRM THE SCALE OF HARDCOPY DRAWINGS BY USING THE ATTACHED SCALE BAR.



INDUSTRIAL & COMMERCIAL STEEL BUILDING SPECIALISTS MOBILE: 0410644524 ABN: 94 116 169 264 / ACN: 151 135 447 As indicated @ A1 NORTH: 17 APR. 23' NORTH

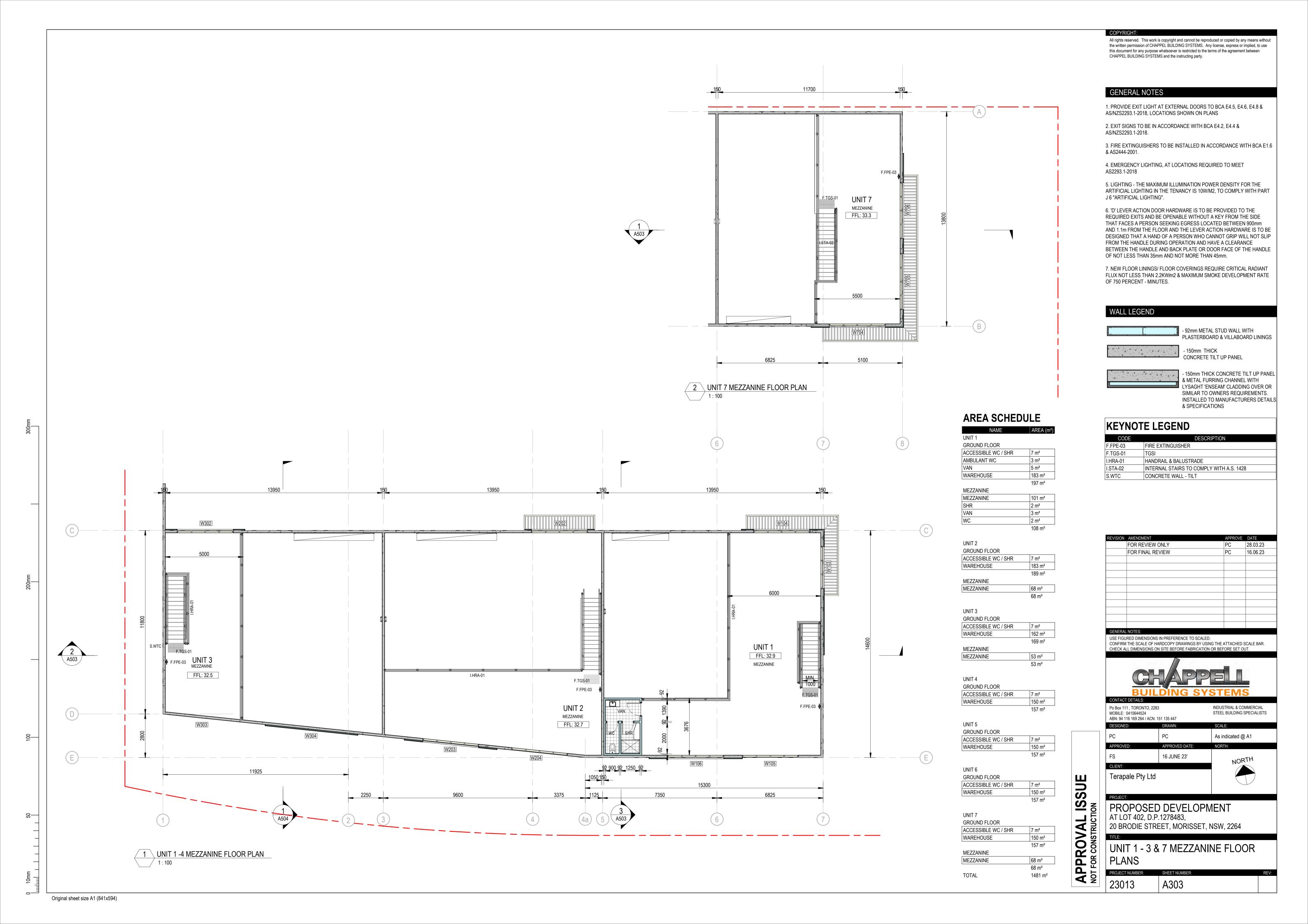
Terapale Pty Ltd

PROPOSED DEVELOPMENT AT LOT 402, D.P.1278483, 20 BRODIE STREET, MORISSET, NSW, 2264

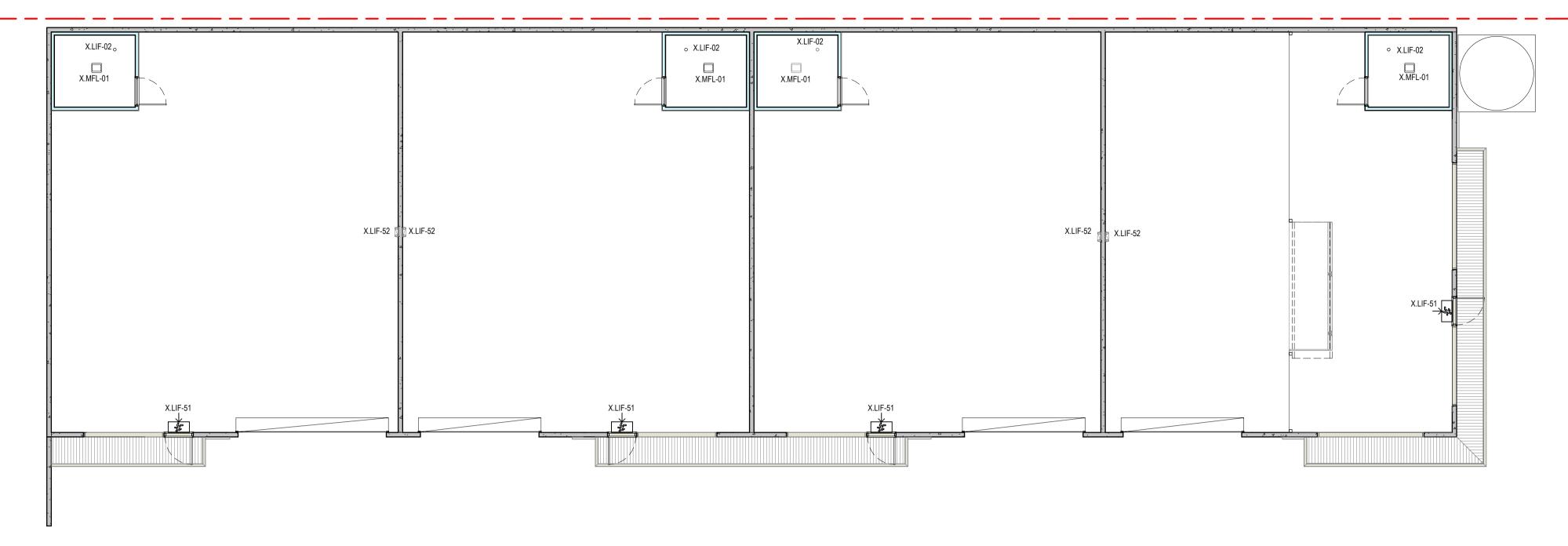
UNIT 4 - 7 - GROUND FLOOR PLAN

A302

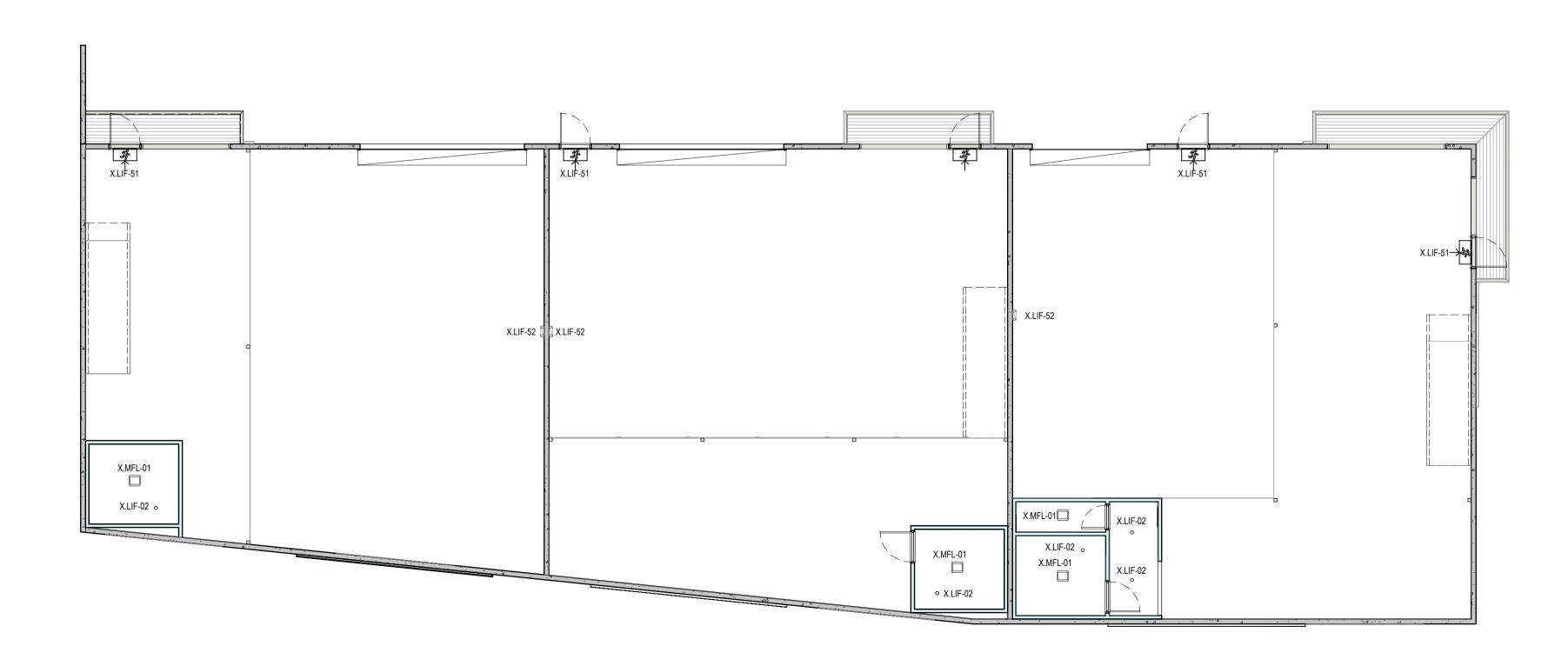
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2 UNIT 4 - 7 REFLECTED CEILING PLAN 1:100



1 UNIT 1 -3 REFLECTED CEILING PLAN 1:100

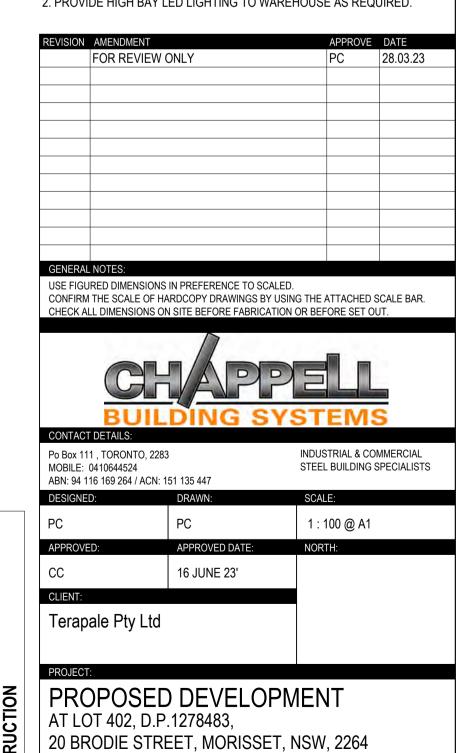
KEYNOTE LEGEND

CODE	DESCRIPTION	
X.LIF-02	LIGHTING FIXTURE - ROUND RECESSED	
X.LIF-51	LIGHTING FIXTURE - EMERGENCY EXIT SIGN	
X.MFL-01	MECHANICAL EXHAUST FAN & LIGHT	

NOTE:

1. ALL LIGHTING TO BE CONFIRMED PRIOR TO WORKS COMMENCING.

2. PROVIDE HIGH BAY LED LIGHTING TO WAREHOUSE AS REQUIRED.



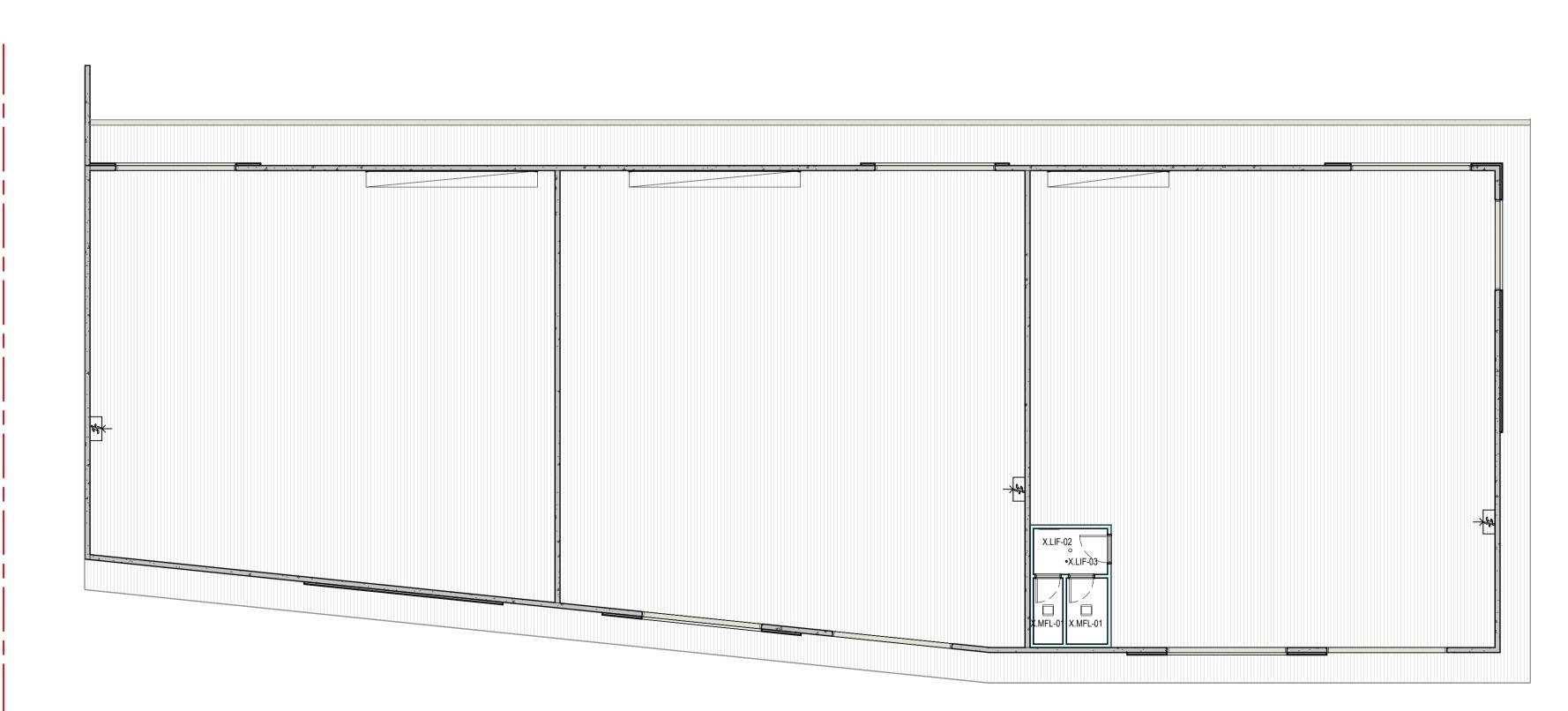
GROUND FLOOR REFLECTIVE

CEILING PLAN

PROJECT NUMBER: SHEET NUMBER:

APPROVAL ISSUE

2 UNIT 7 MEZZANINE REFLECTED CEILING PLAN
1:100



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KEYNOTE LEGEND

X.LIF-02	LIGHTING FIXTURE - ROUND RECESSED
X.LIF-03	LIGHTING FIXTURE - ROUND RECESSED, EMERGENCY LIGHT
X.MFL-01	MECHANICAL EXHAUST FAN & LIGHT

- 1. ALL LIGHTING TO BE CONFIRMED PRIOR TO WORKS COMMENCING.
- 2. PROVIDE HIGH BAY LED LIGHTING TO WAREHOUSE AS REQUIRED.

VISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23
SENERA	NOTES:		
JSE FIGU	JRED DIMENSIONS IN PREFERENCE TO SCALED.		
ONFIRM	THE SCALE OF HARDCOPY DRAWINGS BY USING THE	ATTACHED S	SCALE BAR.
HECK A	LL DIMENSIONS ON SITE BEFORE FABRICATION OR BEF	ORE SET O	JT.

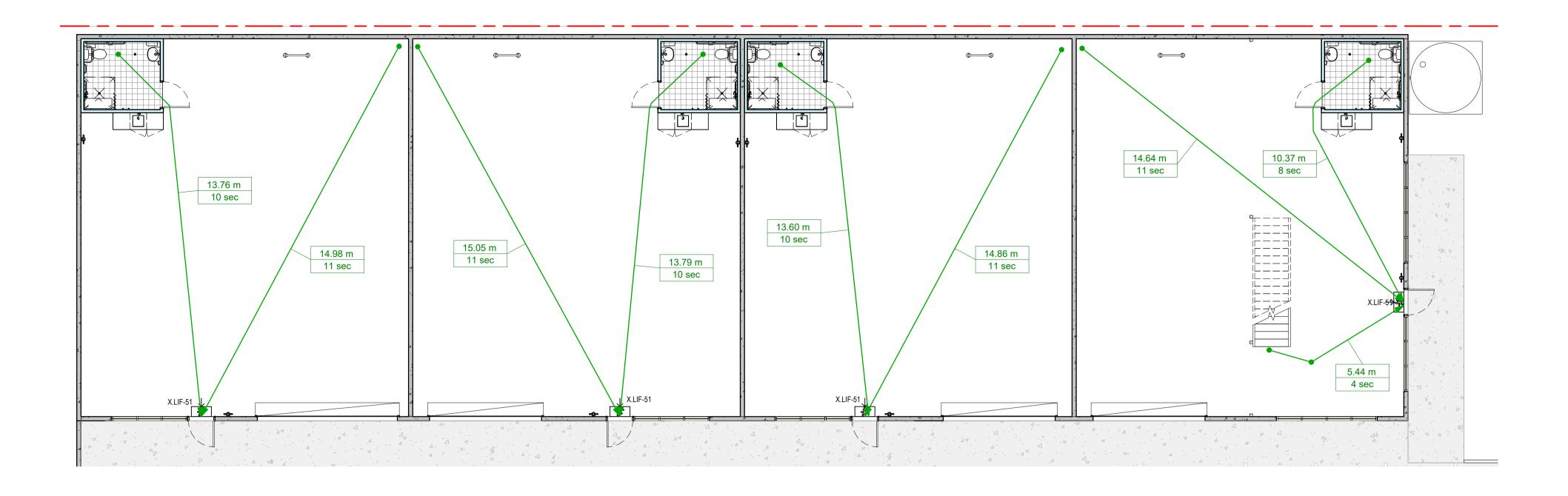
INDUSTRIAL & COMMERCIAL STEEL BUILDING SPECIALISTS Po Box 111, TORONTO, 2283 MOBILE: 0410644524 ABN: 94 116 169 264 / ACN: 151 135 447 1 : 100 @ A1 APPROVED DATE: NORTH: 16 JUNE 23' Terapale Pty Ltd

ISSUE PROPOSED DEVELOPMENT AT LOT 402, D.P.1278483, APPROVAL NOT FOR CONSTRUCTION 20 BRODIE STREET, MORISSET, NSW, 2264

MEZZANINE REFLECTIVE CEILING PLAN

PROJECT NUMBER: SHEET NUMBER: A305

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X.LIF-51 2.30 m 2 sec 4.24 m 2.03 m 2 sec X.LIF-51 3 sec 12.10 m 9 sec 17.80 m 13 sec 17.42 m 13 sec 14.59 m 11.69 m 11 sec 9 sec 17.40 m 13 sec 16.14 m 12 sec

UNIT 4 -7 GROUND FLOOR EMERGENCY EXIT

UNIT 1 - 3 - GROUND FLOOR EMERGENCY EXIT

1 PLAN 1:100

2 PLAN 1:100

APPROVAL ISSUE

KEYNOTE LEGEND

IF-51 LIGHTING FIXTURE - EMERGENCY EXIT SIGN

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23
GENERAL	NOTES:		
USE FIGL	IRED DIMENSIONS IN PREFERENCE TO SCALED.		
	THE SCALE OF HARDCOPY DRAWINGS BY USING TH		
CHECK A	LL DIMENSIONS ON SITE BEFORE FABRICATION OR E	BEFORE SET O	UT.

CONTACT DETAILS:

Po Box 111, TORONTO, 2283

MOBILE: 0410644524
ABN: 94 116 169 264 / ACN: 151 135 447

DESIGNED: DRAWN: SCALE:

PC PC 1: 100 @ A1

APPROVED: APPROVED DATE: NORTH:

CC 16 JUNE 23'

CLIENT:

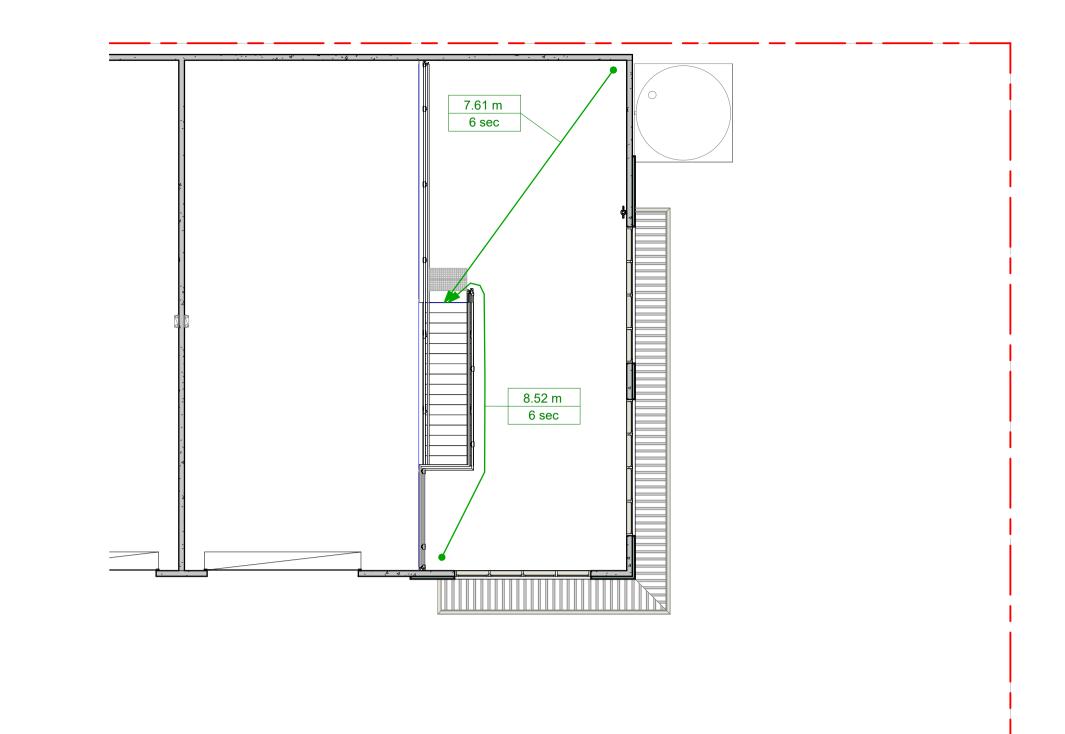
Terapale Pty Ltd

PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

GROUND FLOOR - EXIT TRAVEL DISTANCE PLAN

PROJECT NUMBER: SHEET NUMBER:

23013 A307



2 UNIT 7 MEZZANINE FLOOR EMERGENCY PLAN 1:100

8.83 m 7 sec 11.09 m 8 sec X.LIF-51 13.37 m 10 sec 6.03 m X.LIF-51 4 sec 14.34 m 11 sec

1 UNIT 1 -3 MEZZANINE EMERGENCY EXIT PLAN
1:100

KEYNOTE LEGEND

CODE DESCRIPTION LIGHTING FIXTURE - EMERGENCY EXIT SIGN

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CONFIRM	THE SCALE OF HARDCOPY DRAWINGS BY USING TH	E ATTACHED	SCALE BAF
CHECK A	LL DIMENSIONS ON SITE BEFORE FABRICATION OR B	EFORE SET O	UT.

Po Box 111 , TORONTO, 2283 MOBILE: 0410644524 ABN: 94 116 169 264 / ACN: 151 135 447 INDUSTRIAL & COMMERCIAL STEEL BUILDING SPECIALISTS 1 : 100 @ A1 NORTH: 16 JUNE 23' Terapale Pty Ltd

ISSUE ION

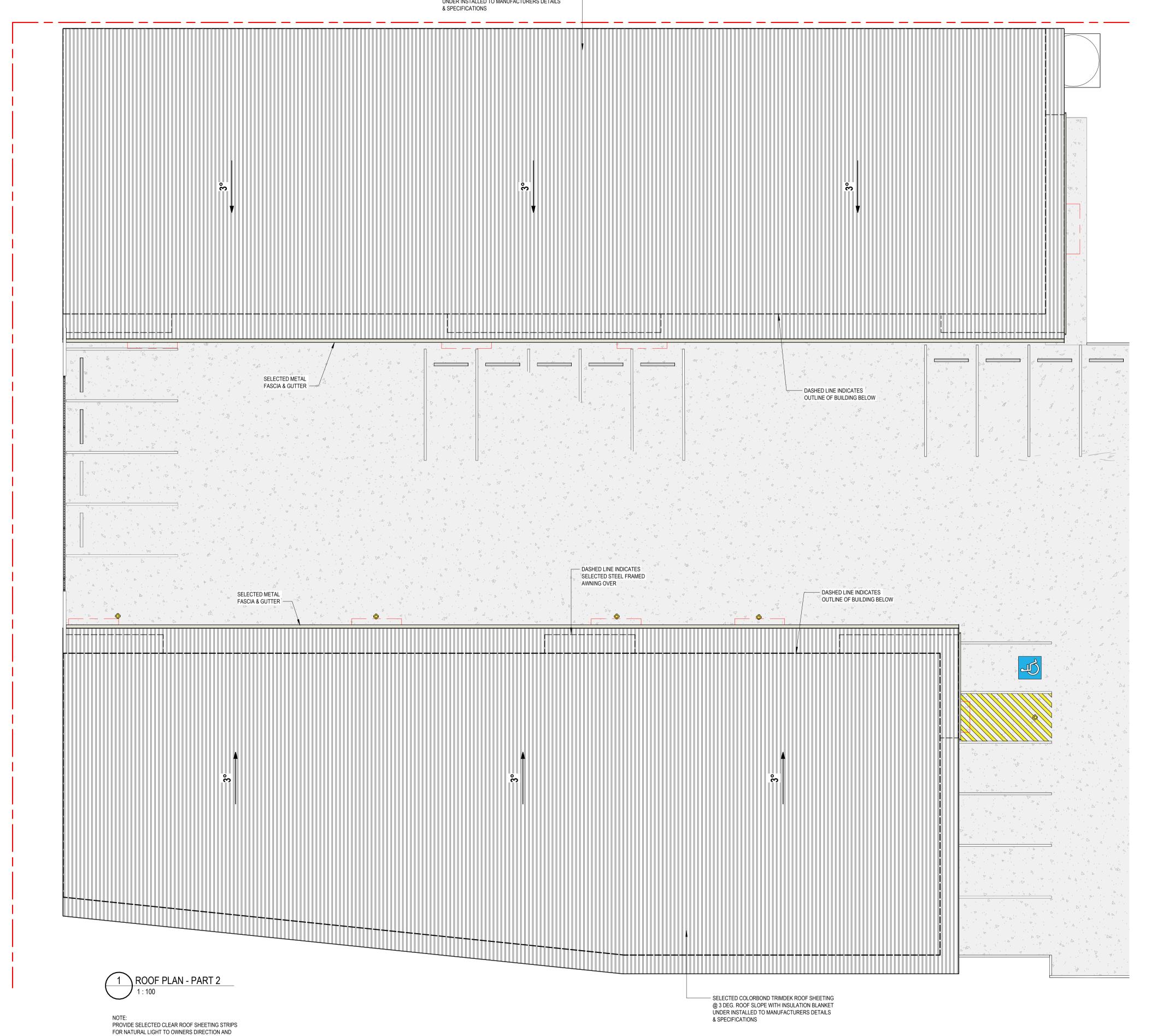
PROPOSED DEVELOPMENT AT LOT 402, D.P.1278483, 20 BRODIE STREET, MORISSET, NSW, 2264

APPROVAL NOT FOR CONSTRUCTION MEZZANINE - EXIT TRAVEL DISTANCE PLAN

A308

CHAPPEL BUILDING SYSTEMS and the instructing party.

SELECTED COLORBOND TRIMDEK ROOF SHEETING —— @ 3 DEG. ROOF SLOPE WITH INSULATION BLANKET UNDER INSTALLED TO MANUFACTURERS DETAILS



FOR REVIEW ONLY PC 28.03.23 FOR FINAL REVIEW 16.06.23 GENERAL NOTES: USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED. CONFIRM THE SCALE OF HARDCOPY DRAWINGS BY USING THE ATTACHED SCALE BAR. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR BEFORE SET OUT.



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PROPOSED DEVELOPMENT AT LOT 402, D.P.1278483, 20 BRODIE STREET, MORISSET, NSW, 2264

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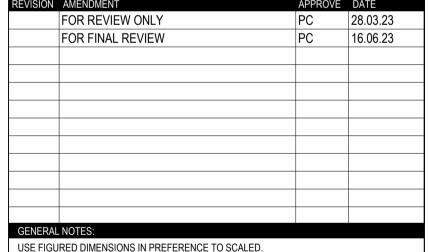
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2. ALL GLAZING IS TO BE LOW REFLECTIVE GLASS.

VISUAL INDICATORS ON GLAZING

WHERE THERE IS NO CHAIR RAIL, HANDRAIL OR TRANSOM, ALL FRAMELESS OR FULLY GLAZED DOORS, SIDELIGHTS, INCLUDING ANY GLAZING CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING, SHALL BE CLEARLY MARKED FOR THEIR FULL WIDTH WITH A SOLID CONTRASTING LINE. THE CONTRASTING LINE SHALL BE NOT LESS THAN 75 MM WIDE AND SHALL EXTEND ACROSS THE FULL WIDTH OF THE GLAZING PANEL. THE LOWER EDGE OF THE CONTRASTING LINE SHALL BE LOCATED BETWEEN 900 MM AND 1000 MM ABOVE THE PLANE OF THE FINISHED

FLOOR LEVEL.
ANY CONTRASTING LINE ON THE GLAZING SHALL PROVIDE A MINIMUM OF 30% LUMINANCE CONTRAST WHEN VIEWED AGAINST THE FLOOR SURFACE OR SURFACES WITHIN 2 M OF THE GLAZING ON THE OPPOSITE SIDE.
NOTE: FOR METHOD OF TESTING LUMINANCE CONTRAST, SEE A.S.
1428.1.2009 APPENDIX B.



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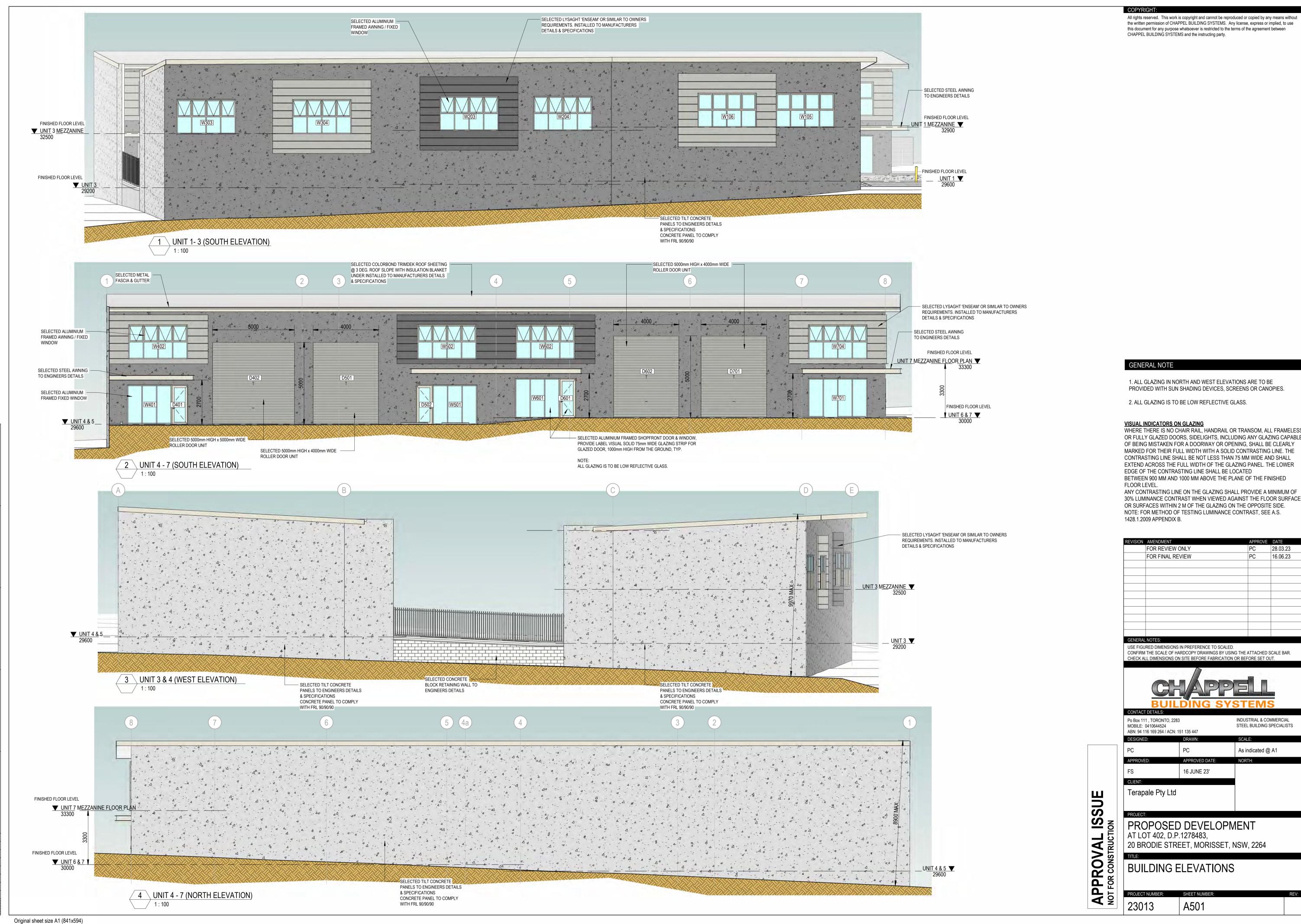
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ANY CONTRASTING LINE ON THE GLAZING SHALL PROVIDE A MINIMUM OF 30% LUMINANCE CONTRAST WHEN VIEWED AGAINST THE FLOOR SURFACE

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KEYNOTE LEGEND

DE DESCRIPTION

S.WTC CONCRETE WALL - TILT

X.LIF-52 LIGHTING FIXTURE - WALL, EMERGENCY LIGHT

GENERAL NOTE:

THE CONSTRUCTION OF THE ROOF AND EXTERNAL WALLS WILL BE DONE IN A WAY THAT THEY WILL PREVENT THE PENETRATION OF WATER THAT COULD CAUSE UNHEALTHY OR DANGEROUS CONDITIONS OR LOSS OF AMENITY TO OCCUPANTS AND UNDUE DAMPNESS OR DETERIORATION OF BUILDING ELEMENTS.

TO DEMONSTRATE THAT THE CONSTRUCTION OF THE ROOF AND EXTERNAL WALLS PREVENT THE PENETRATION OF WATER, EVIDENCE OF SUITABILITY UNDER BCA A5.2 WILL NEED TO BE PROVIDED VIA THE FOLLOWING METHODS;

· A CURRENT CODEMARK CERTIFICATE, · A CURRENT CERTIFICATE OF ACCREDITATION,

· A REPORT ISSUED BY AN ACCREDITED TESTING LABORATORY, OR · A CERTIFICATE OR REPORT FROM A PROFESSIONAL ENGINEER. · OR A PERFORMANCE SOLUTION PREPARED BY A SUITABLY QUALIFIED CONSULTANT OR COMPANY.

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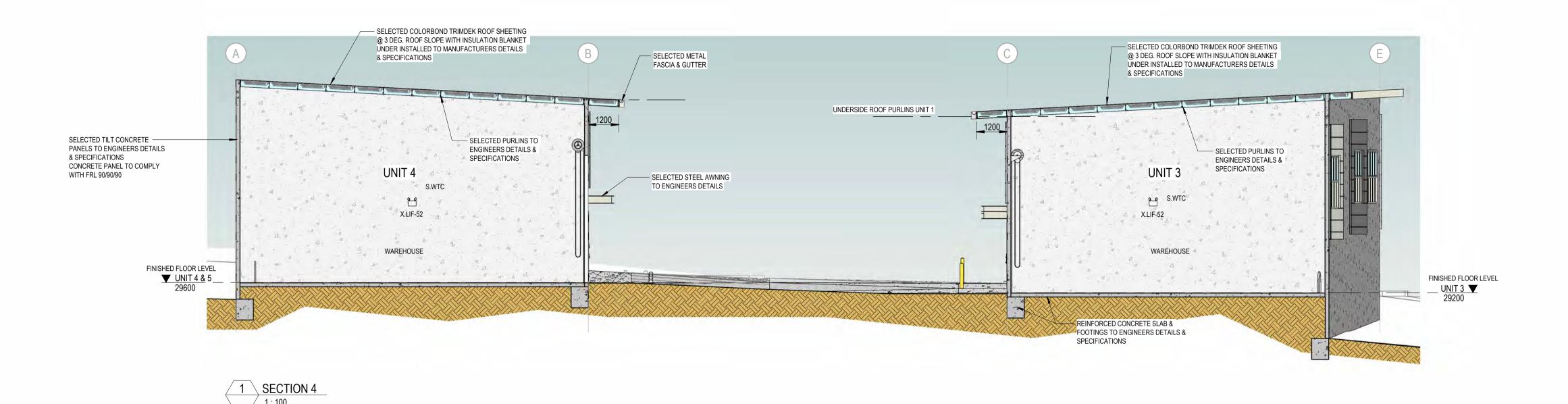
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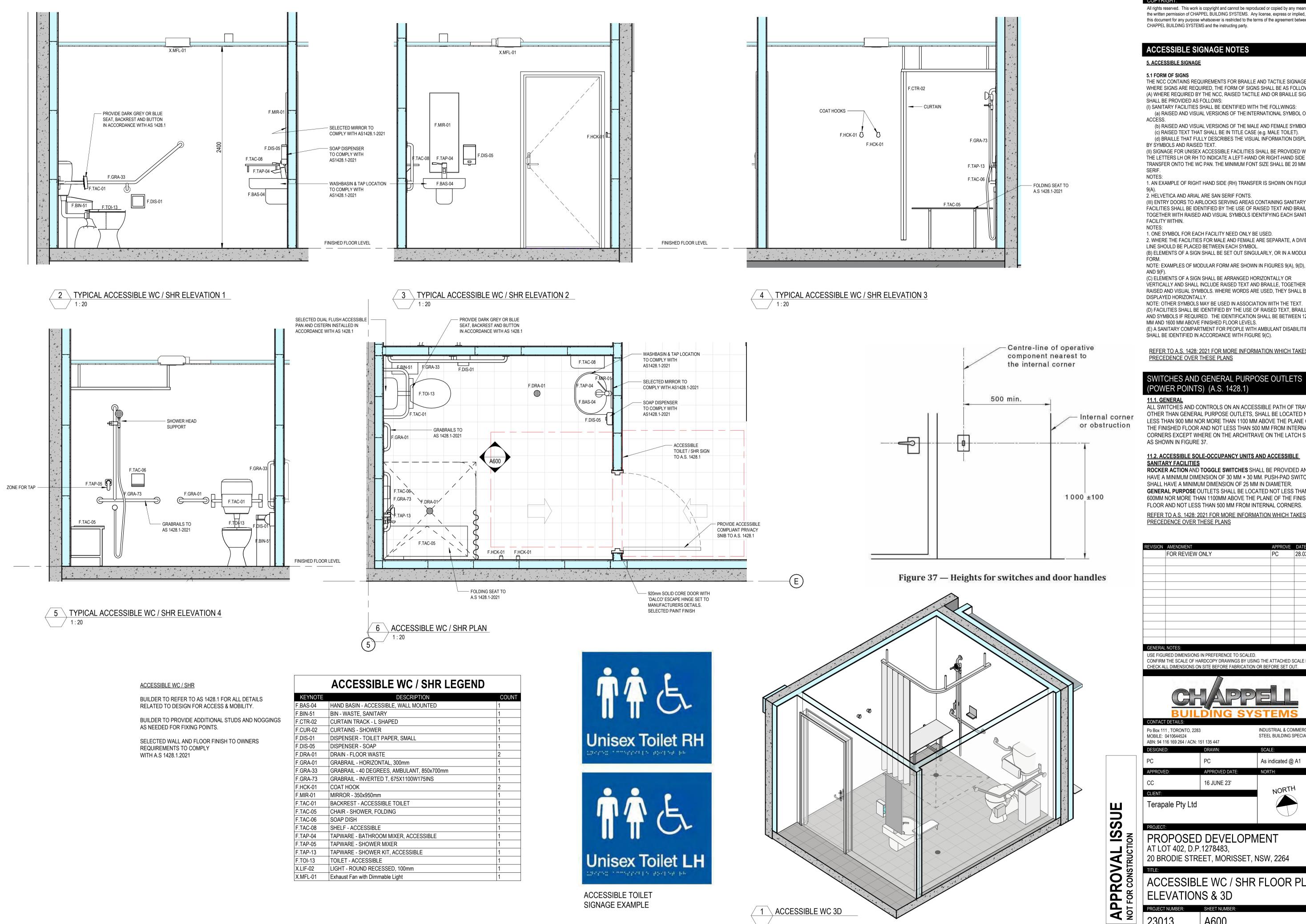
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ACCESSIBLE SIGNAGE NOTES

5. ACCESSIBLE SIGNAGE

5.1 FORM OF SIGNS THE NCC CONTAINS REQUIREMENTS FOR BRAILLE AND TACTILE SIGNAGE. WHERE SIGNS ARE REQUIRED, THE FORM OF SIGNS SHALL BE AS FOLLOWS: (A) WHERE REQUIRED BY THE NCC, RAISED TACTILE AND OR BRAILLE SIGNAGE SHALL BE PROVIDED AS FOLLOWS:

(I) SANITARY FACILITIES SHALL BE IDENTIFIED WITH THE FOLLWINGS: (a) RAISED AND VISUAL VERSIONS OF THE INTERNATIONAL SYMBOL OF

(b) RAISED AND VISUAL VERSIONS OF THE MALE AND FEMALE SYMBOLS. (c) RAISED TEXT THAT SHALL BE IN TITLE CASE (e.g. MALE TOILET). (d) BRAILLE THAT FULLY DESCRIBES THE VISUAL INFORMATION DISPLAYED BY SYMBOLS AND RAISED TEXT.

(II) SIGNAGE FOR UNISEX ACCESSIBLE FACILITIES SHALL BE PROVIDED WITH THE LETTERS LH OR RH TO INDICATE A LEFT-HAND OR RIGHT-HAND SIDE TRANSFER ONTO THE WC PAN. THE MINIMUM FONT SIZE SHALL BE 20 MM SAN

1. AN EXAMPLE OF RIGHT HAND SIDE (RH) TRANSFER IS SHOWN ON FIGURE

2. HELVETICA AND ARIAL ARE SAN SERIF FONTS. (III) ENTRY DOORS TO AIRLOCKS SERVING AREAS CONTAINING SANITARY FACILITIES SHALL BE IDENTIFIED BY THE USE OF RAISED TEXT AND BRAILLE,

TOGETHER WITH RAISED AND VISUAL SYMBOLS IDENTIFYING EACH SANITARY FACILITY WITHIN. 1. ONE SYMBOL FOR EACH FACILITY NEED ONLY BE USED.

2. WHERE THE FACILITIES FOR MALE AND FEMALE ARE SEPARATE, A DIVIDING LINE SHOULD BE PLACED BETWEEN EACH SYMBOL. (B) ELEMENTS OF A SIGN SHALL BE SET OUT SINGULARLY, OR IN A MODULAR

NOTE: EXAMPLES OF MODULAR FORM ARE SHOWN IN FIGURES 9(A), 9(D), 9(E),

(C) ELEMENTS OF A SIGN SHALL BE ARRANGED HORIZONTALLY OR VERTICALLY AND SHALL INCLUDE RAISED TEXT AND BRAILLE, TOGETHER WITH RAISED AND VISUAL SYMBOLS. WHERE WORDS ARE USED, THEY SHALL BE

DISPLAYED HORIZONTALLY. NOTE: OTHER SYMBOLS MAY BE USED IN ASSOCIATION WITH THE TEXT. (D) FACILITIES SHALL BE IDENTIFIED BY THE USE OF RAISED TEXT, BRAILLE AND SYMBOLS IF REQUIRED. THE IDENTIFICATION SHALL BE BETWEEN 1200 MM AND 1600 MM ABOVE FINISHED FLOOR LEVELS.

(E) A SANITARY COMPARTMENT FOR PEOPLE WITH AMBULANT DISABILITIES SHALL BE IDENTIFIED IN ACCORDANCE WITH FIGURE 9(C).

REFER TO A.S. 1428: 2021 FOR MORE INFORMATION WHICH TAKES

PRECEDENCE OVER THESE PLANS

(POWER POINTS) (A.S. 1428.1) **11.1. GENERAL**

ALL SWITCHES AND CONTROLS ON AN ACCESSIBLE PATH OF TRAVEL, OTHER THAN GENERAL PURPOSE OUTLETS, SHALL BE LOCATED NOT LESS THAN 900 MM NOR MORE THAN 1100 MM ABOVE THE PLANE OF THE FINISHED FLOOR AND NOT LESS THAN 500 MM FROM INTERNAL CORNERS EXCEPT WHERE ON THE ARCHITRAVE ON THE LATCH SIDE AS SHOWN IN FIGURE 37.

11.2. ACCESSIBLE SOLE-OCCUPANCY UNITS AND ACCESSIBLE SANITARY FACILITIES

ROCKER ACTION AND TOGGLE SWITCHES SHALL BE PROVIDED AND HAVE A MINIMUM DIMENSION OF 30 MM × 30 MM. PUSH-PAD SWITCHES SHALL HAVE A MINIMUM DIMENSION OF 25 MM IN DIAMETER. GENERAL PURPOSE OUTLETS SHALL BE LOCATED NOT LESS THAN 600MM NOR MORE THAN 1100MM ABOVE THE PLANE OF THE FINISHED FLOOR AND NOT LESS THAN 500 MM FROM INTERNAL CORNERS.

REFER TO A.S. 1428: 2021 FOR MORE INFORMATION WHICH TAKES PRECEDENCE OVER THESE PLANS

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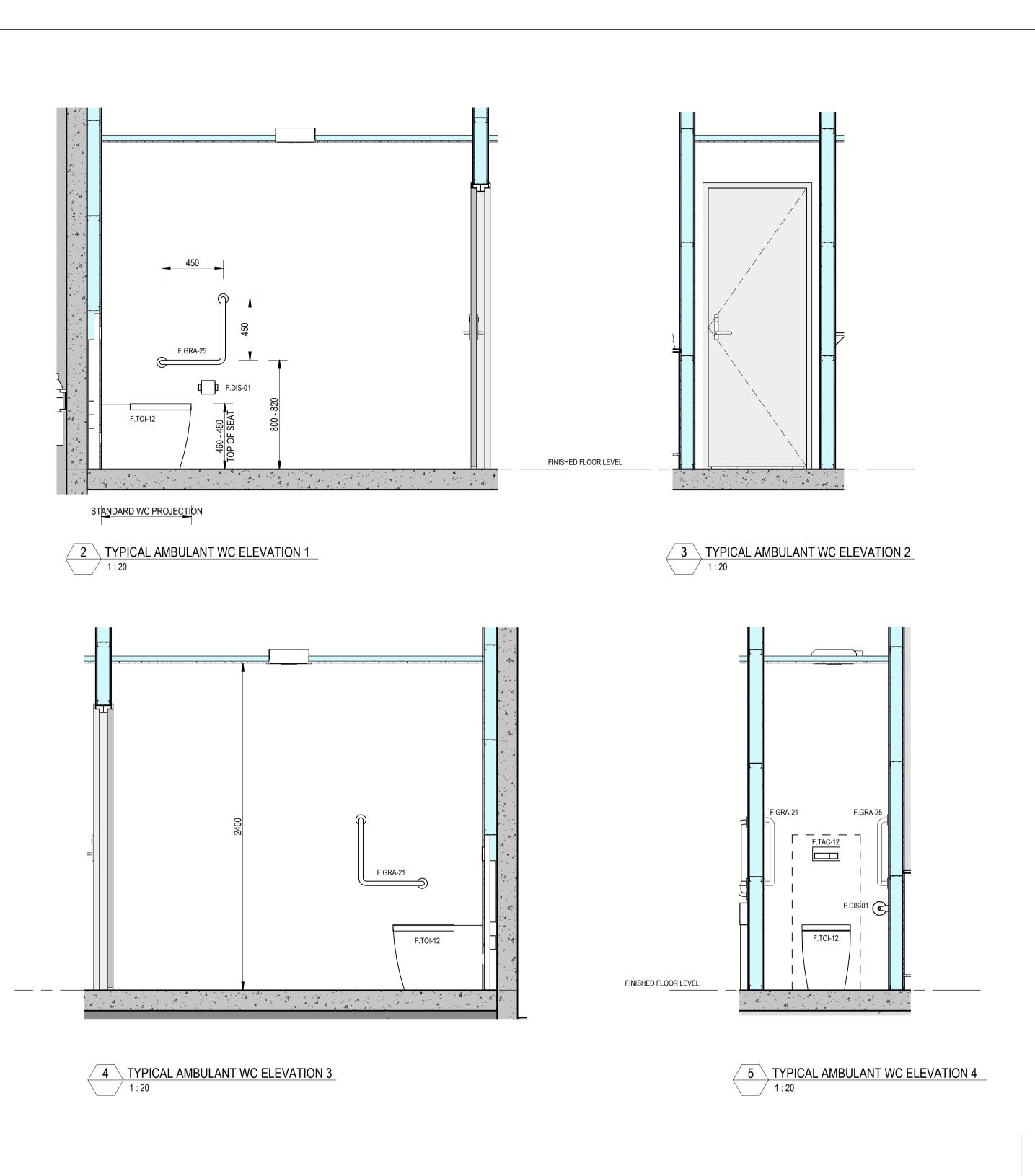


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ACCESSIBLE WC / SHR FLOOR PLAN,

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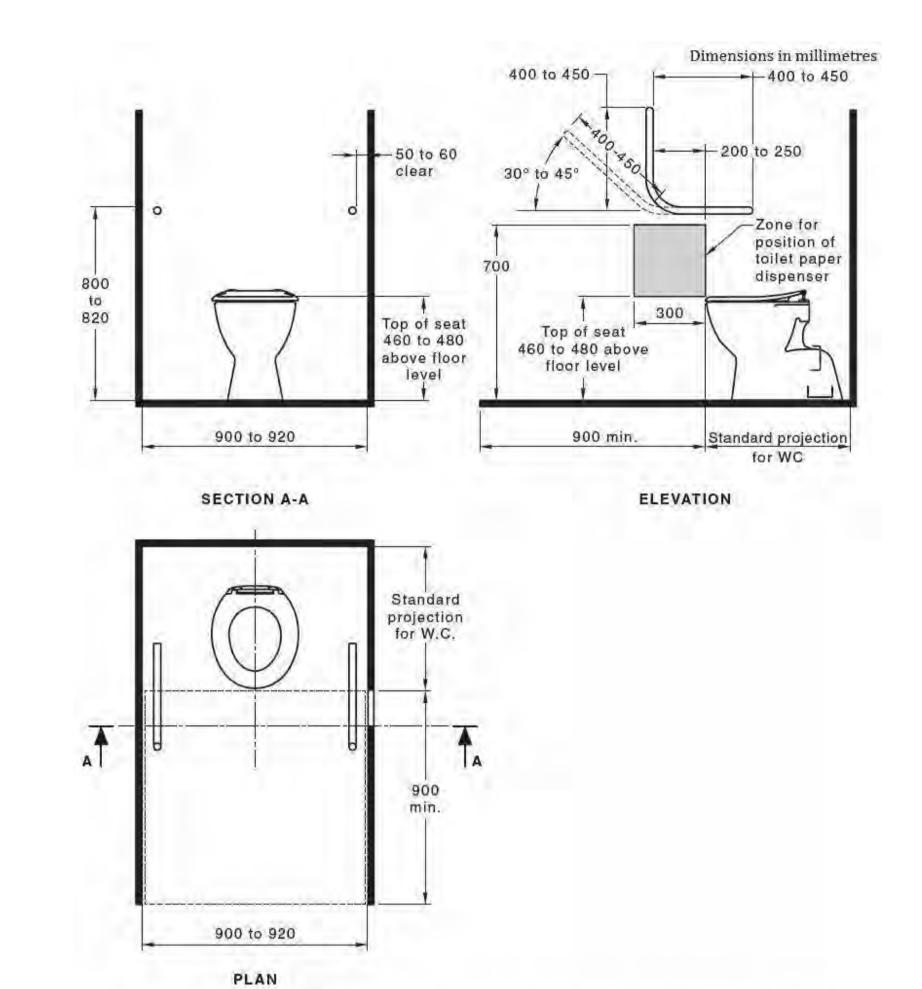
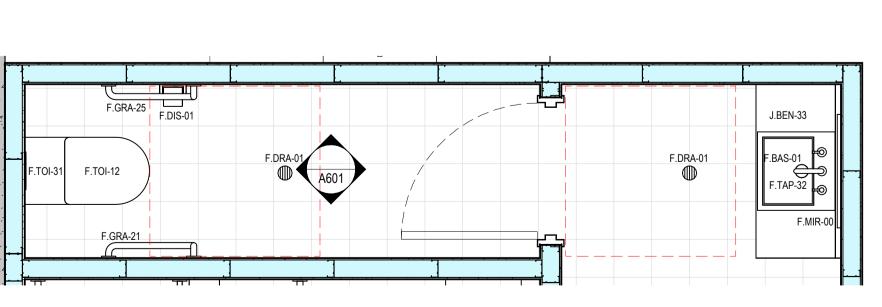


Figure 52(A) — Sanitary compartment for people with ambulant disabilities — Plan and elevation



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13 SANITARY COMPARTMENT FOR PEOPLE WITH AMBULANT DISABILITIES (A.S. 1428.1.2021)

13.1 GENERAL

SANITARY COMPARTMENT FOR PEOPLE WITH AMBULANT DISABILITIES SHALL BE IN ACCORDANCE WITH FIG. 52(A) AND 52(B).

WC SHALL HAVE A VERTICAL HEIGHT OF 460MM TO 480MM TO THE TOP OF THE SEAT AND BE INSTALLED WITH THE STANDARD PROJECTION FOR THE FRONT OF THE WC

NOTE WHEN SETTING OUT WORKS USING THE DIMENSIONS IN THIS SECTION, MAKE APPROPRIATE ALLOWANCES FOR THE CONSTRUCTION TOLERANCE (SEE SECTION

13.2 GRABRAILS

GRABRAILS SHALL BE CONTINUOUS AND CONSIST OF A HORIZONTAL SECTION PLUS EITHER A VERTICAL SECTION OR AN UPWARD ANGLED SECTION AS SHOWN IN FIGURE 53A.

FOR FURTHER REQUIREMENTS ON GRABRAILS SEE SECTION 14.

DOORS TO SANITARY COMPARTMENTS FOR PEOPLE WITH AMBULANT DISABILITIES SHALL HAVE OEPNINGS WITH A MINIMUM CLEAR WIDTH OF 700MM AND BE IN ACCORDANCE WITH FIGURE 34 (B) AND FIGURE 53 (B)

DOORS SHALL BE PROVIDED WITH AN IN-USE INDICATOR AND A BOLT OR CATCH. WHERE A SNIB CATCH IS USED, THE SNIB HANDLE SHALL HAVE A MINIMUM LENGTH OF 45MM FROM THE CENTRE OF THE SPINDLE. IN AN EMERGENCY, THE LATCH MECHANISM SHALL BE OPENABLE FROM THE OUTSIDE.

13.4 SIGNAGE

SANITARY COMPARTMENTS FOR PEOPLE WITH AMBULANT DISABILITIES SHALL BE IDENTIFIED BY SYMBOLS AND WORDS, AS SPECIFIED IN CLAUSE 5 AND ILLUSTRATED IN FIGURE 9 (C).

13.5 CLOTHES HANGING DEVICE

A CLOTHES HANGING DEVICE SHALL BE PROVIDED WITHIN THE SANITARY COMPARTMENT AND AT A HEIGHT BETWEEN 1350MM 1500MM FROM THE FLOOR

REFER TO A.S. 1428: 2021 FOR MORE INFORMATION WHICH TAKES PRECEDENCE OVER THESE PLANS

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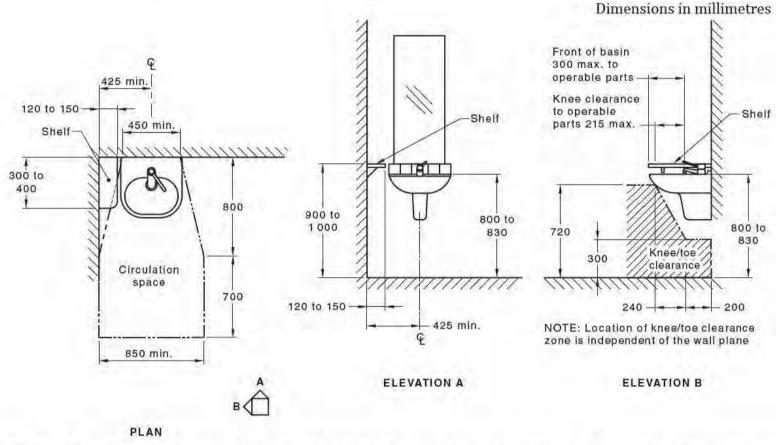
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AMBULANT WC FLOOR PLAN, **ELEVATIONS & 3D**

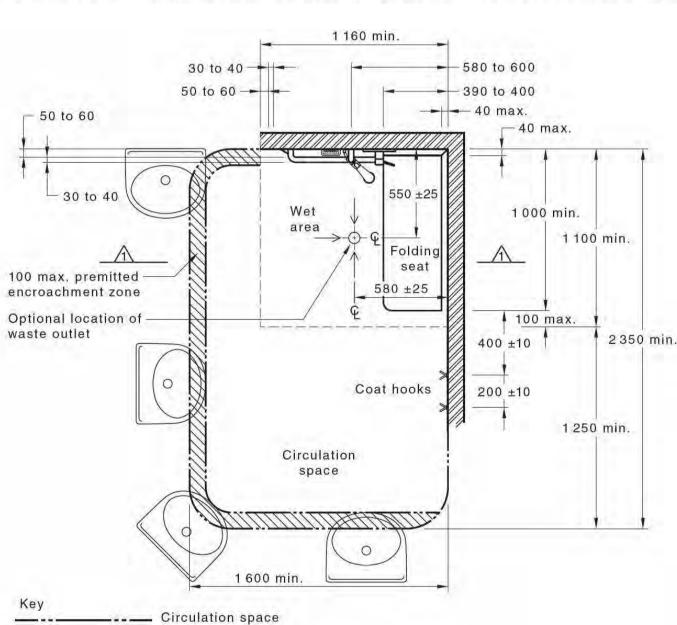
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Figure 44(A) — Semi-recessed washbasin installation —Other than for sole-occupancy unit



NOTE "Operable parts" means the centre-line of the tap or, where a level handle is provided, the end point of the level measure throughout its arc of movement, or where a sensor is provided where the sensor is reliably activated.

Figure 44(B) — Wall-mounted washbasin installation — other than for sole-occupancy unit



(a) Shower recess with two walls

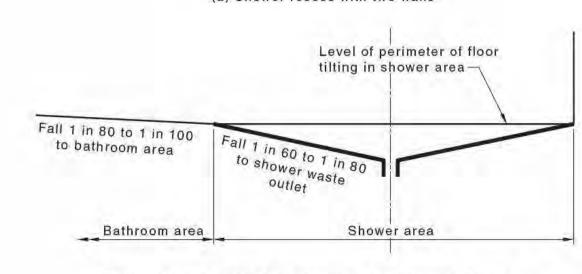
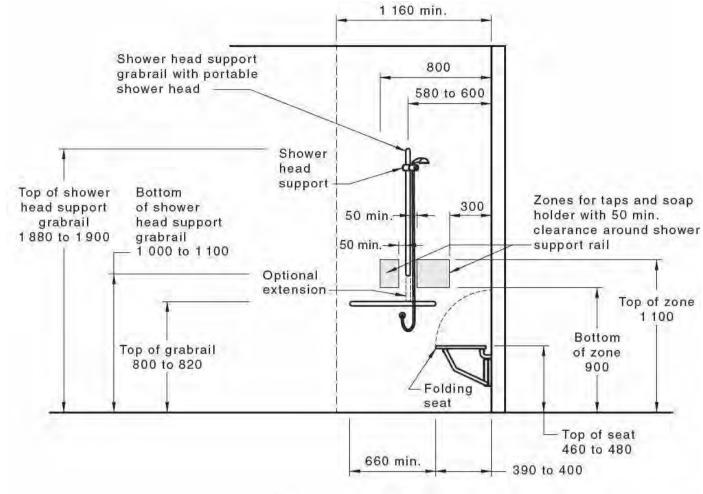


Figure 49 — Grades for bathroom and shower floors



(a) Shower recess fittings

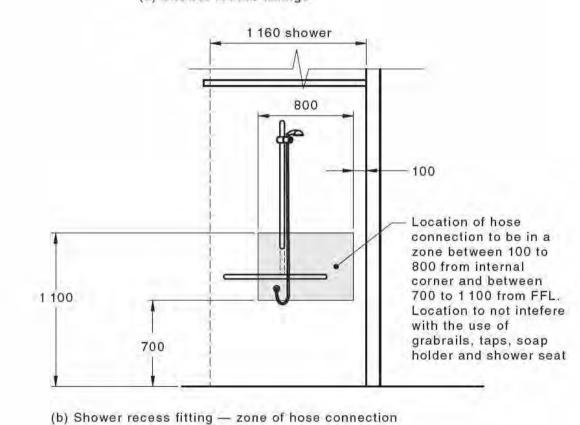


Figure 48 — Shower recess fittings — Elevation

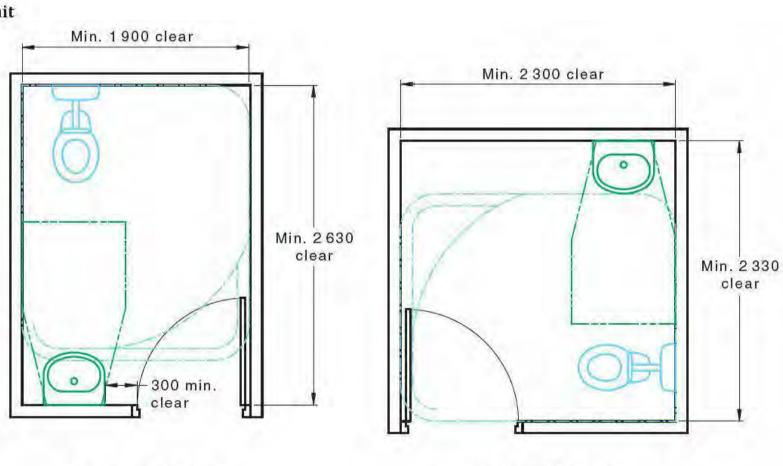


Figure 50(B) — Examples of accessible toilets

(a) Accessible toilet

(b) Accessible toilet

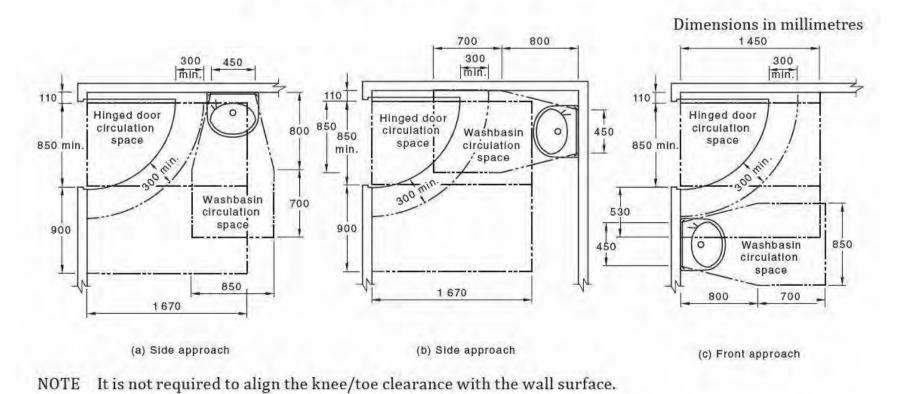


Figure 51(A) — Allowable encroachment of a washbasin into hinged door circulation space

SANITARY FACILITIES (A.S. 1428.1.2021)

GENERAL

12.2.10 FOR UNISEX ACCESSIBLE SANITARY FACILITIES

A HAND-WASHING FACILITY SHALL BE PROVIDED INSIDE THE TOILET CUBICLE AND SHALL FORM PART OF THE ACCESSIBLE UNISEX FACILITY (SEE CLAUSE 12.3).

12.3 WASHBASINS **12.3.1 GENERAL**

THE INSTALLATION OF WASHBASINS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

(A) THE WASHBASIN MAY ENCROACH A MAXIMUM OF 100MM INTO THE CIRCULATION SPACE OF A WC PLAN, SEE FIGURE 43. (B) THE WASHBASIN MAY ENCROACH A MAXIMUM OF 100MM INTO THE CIRCULATION SPACE OF A SHOWER RECESS. FIG. 44(A), 44(B), 45 AND 46 FOR

(C) THE WASHBASIN MAY ENCROACH INTO A DOOR CIRCULATION SPACE. SEE FIG. 51(A) AND 51(B) FOR EXAMPLES.

(D) WATER TAPS SHALL BE IN ACCORDANCE WITH CLUSE 12.2.1.

(E) EXPOSED HOT WATER SUPPLY PIPES SHALL BE INSULATED OR LOCATED SO AS NOT TO PRESENT A HAZARD. (F) THE PROJECTION OF THE WASHBASIN FROM THE WALL AND THE POSITION OF TAPS, BOWL, AND DRAIN OUTLET SHALL BE DETERMINED IN ACCORDANCE WITH FIG. 44(A) AND 44(B); EXCEPT IN SOLE-OCCUPANCY UNITS, WHERE FIG. 45 SHALL APPLY. (G) WATER SUPPLY PIPES AND WASTE OUTLET PIPES SHALL NOT ENCROACH ON THE REQUIRED CLEAR SPACE UNDER THE WASHBASIN. (SEE FIG.

FOR EACH WASHBASIN FIXTURE, THE UNOBSTRUCTED CIRCULATION SPACE SHALL BE AS SHOWN IN FIG. 46; EXCEPT IN SOLE OCCUPANCY UNITS. WHERE FIG. 45 SHALL APPLY. THE WASHBASIN FIXTURE AND ITS FITTING ARE THE ONLY FIXTURES PERMITTED IN THIS SPACE. 'FITTINGS' INCLUDE THE BENCH AT SEMI-RECESSED WASHBASIN AND A VANITY TOP AT A SOLE-OCCUPANCY UNIT WASHBASIN. THE WASHBASIN CIRCULATION SPACE MAY OVERLAP OTHER CIRCULATION SPACES. SEE FIG. 43 AND 50(A), 50(B), 51(A), 51(B) FOR EXAMPLES.

12.4 FIXTURES AND FITTINGS WITHIN A SANITARY FACILITY

IN ALL SANITARY FACILITIES, THE MIRROR SHALL BE LOCATED EITHER ABOVE OR ADJACENT TO THE WASHBASIN. WHERE LOCATED ABOVE THE WASHBASIN, THE MIRROR SHALL EXTEND FROM A HEIGHT OF NOT MORE THAN 900MM TO A HEIGHT OF NOT LESS THAN 1850MM ABOVE THE PLANE OF THE FINISHED FLOOR. WHERE LOCATED ADJACENT TO A WASHBASIN, THE MIRROR, SHALL EXTEND FROM A HEIGHT OF NOT MORE THAN 780MM TO A HEIGHT OF NOT LESS THAN 1850 ABOVE THE PLANE OF THE FINISHED FLOOR.

NO MIRROR SHALL BE LESS THAN 350MM WIDE. ALL DIMENSIONS APPLY TO THE REFLECTIVE SURFACE OF THE MIRROR. THE REFLECTIVE SURFACE

IN AN ACCESSIBLE SOLE OCCUPANCY UNIT. A MIRROR SHALL BE CENTRED OVER THE BASIN.

SHELF SPACE SHALL BE PROVIDED ADJACENT TO THE WASHBASIN IN ONE OF THE FOLLOWING WAYS:

(A) AS A VANITY TOP AT A HEIGHT OF 800 MM TO 830 MM AND A MINIMUM WIDTH OF 120 MM AND DEPTH OF 300 MM AND A DEPTH NO GREATER THAN OF THE BOWL PLUS ITS FRONT AND BACK FLANGES WITHOUT ENCROACHING INTO

THE CIRCULATION SPACE OF ANT OTHER FIXTURE. (B) AS A SEPARATE FIXTURE —

(I) WITHIN ANY CIRCULATION SPACE AT A HEIGHT OF 900 MM TO 1000 MM WITH A WIDTH OF 120 MM TO 150 MM AND LENGTH OF 300 MM TO 400 MM; AND

(II) EXTERNAL TO ALL CIRCULATION SPACES AT A HEIGHT OF 790 MM TO 1000 MM WITH A MINIMUM WIDTH OF 120 MM AND MINIMUM LENGTH OF 400 MM.

12.4.3 SOAP DISPENSERS, TOWEL DISPENSERS AND SIMILAR FITTINGS

WHERE PROVIDED, SOAP DISPENSERS, TOWEL DISPENSERS, HAND DRYERS AND SIMILAR FITTINGS SHALL BE OPERABLE BY ONE HAND, AND SHALL BE INSTALLED WITH THE HEIGHT OF THEIR OPERATIVE COMPONENT OR OUTLET NOT LESS THAN 900 MM AND NOT MORE THAN 1100 MM ABOVE THE PLANE OF THE FINISHED FLOOR, AND NO CLOSER THAN 500 MM FROM AN INTERNAL CORNER.

A CLOTHES-HANGING DEVICE SHALL BE INSTALLED 1200 MM TO 1350 MM ABOVE THE PLANE OF THE FINISHED FLOOR AND NOT LESS THAN 500 MM OUT FROM ANY INTERNAL CORNER.

12.4.5 SANITARY DISPOSAL UNIT WHERE PROVIDED, THE SANITARY DISPOSAL UNIT SHALL BE LOCATED AS FOLLOWS:

(A) PORTABLE UNIT AS SHOWN IN FIGURE 43. (B) RECESSED UNIT WITHIN 500 MM FROM THE PAN

12.4.6 SWITCHES AND GENERAL PURPOSE OUTLETS WHERE PROVIDED NEAR THE WASHBASIN, SWITCHES AND GENERAL PURPOSE OUTLETS SHALL BE LOCATED IN ACCORDANCE WITH CLAUSE 11 AND AS CLOSE TO THE SHELF OR WORKTOP AS PRACTICABLE.

12.5 SHOWERS

12.5.1 GENERAL THE GENERAL REQUIREMENTS FOR SHOWERS ARE AS FOLLOWS:

(A) SHOWER RECESSES AND THE CIRCULATION SPACE FOR EACH SHOWER RECESS FROM THE FINISHED FLOOR TO A MINIMUM HEIGHT OF NOT LESS THAN 2000MM SHALL BE AS SHOWN IN FIG 47.

GRABRAILS, SHOWER HOSE FITTINGS; TAPS, SOAP HOLDER, SHELF (IF PROVIDED), CLOTHES HANGING DEVICES AND THE FOLDING SEAT ARE THE ONLY FEATURES PERMITTED IN THESE SPACES.

(B) SHOWER RECESS FITTINGS SHALL BE PROVIDED AS SHOWN IN FIGURES 47 AND 48. NOT LESS THAN TWO CLOTHES-HANGING DEVICES, AS SPECIFIED IN CLAUSE 12.4.4, SHALL BE FITTED OUTSIDE THE SHOWER RECESS. ONE SUCH DEVICE SHALL BE LOCATED WITHIN 400 ±10 MM AND THE OTHER WITHIN 600 +10 MM OF THE FOI DING SEAT

(C) IF TWO OR MORE SHOWER RECESSES ARE PROVIDED, AT LEAST ONE SHALL BE OF THE OPPOSITE HAND.

(D) TAPS SHALL BE LOCATED ON THE SIDE OF THE SHOWER HEAD SUPPORT GRABRAIL NEARER THAN FOLDING SEAT (E) THE SHOWER RECESS CIRCULATION SPACE MAY OVERLAP OTHER CIRCULATION SPACES. SEE FIG. 47 FOR EXAMPLES.

12.5.2 FLOOR AND WASTE OUTLET

THE REQUIREMENTS FOR THE FLOOR AND WASTE OUTLET ARE AS FOLLOWS: (A) THE FLOOR OF THE SHOWER RECESS AND ASSOCIATED CIRCULATION SPACE SHALL BE SELF-DRAINING AND WITHOUT A STEP-DOWN, RAISED

STEP KERB OR HOB AT THE ENTRY TO THE RECESS (B) WHERE A CENTRAL WASTE OUTLET FOR THE SHOWER RECESS IS PROVIDED, THE WASTE OUTLET FOR THE SHOWER SHALL BE IN ACCORDANCE

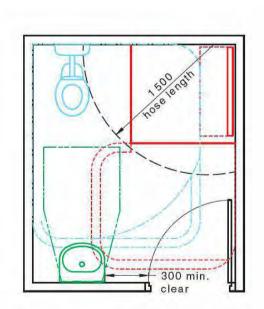
WITH FIG. 47. ALTERNATIVELY, A LINEAR DRAIN MAY BE PROVIDED. (C) THE SLOPE OF THE FLOOR OF THE SHOWER RECESS TO A CENTRAL WASTE OUTLET SHALL HAVE A GRADIENT BETWEEN 1 IN 60 AND 1 IN 80. AS SHOWN IN FIGURE 49. THE SLOPE OF THE FLOOR OF THE WHOLE SANITARY FACILITY TO A LINEAR DRAIN SHALL BE CONSTANT WITHIN THE RANGE OF 1 IN 50 AND 1 IN 90.

(D) THE SLOPE OF FLOOR OF THE REMAINDER OF THE SANITARY FACILITY SHALL HAVE A GRADIENT BETWEEN 1 IN 80 AND 1 IN 100, AS SHOWN IN

12.5.3 SHOWER SCREENS

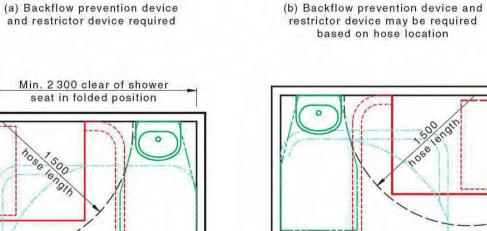
THE MEANS OF SCREENING A SHOWER RECESS SHALL BE EITHER BY A CURTAIN OR A DOOR SYSTEM THAT DOES NOT OBSTRUCT THE REQUIRED CIRCULATION SPACE.

> Min. 1 900 clear of shower seat in folded position



(a) Backflow prevention device and restrictor device required

clear



(c) Backflow prevention device and

(d) Backflow prevention device and

restrictor device not required

restrictor device not required NOTE A backflow prevention device may be required if the hose is longer than 1 500 mm.

Figure 50(A) — Examples of accessible bathrooms

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12.5.4 GRABRAILS

GRABRAILS, AS SPECIFIED IN CLAUSE 14, SHALL BE FIXED ON THE WALLS IN THE POSITIONS SHOWN IN FIGURES 47 AND 48. TAPS, SOAP HOLDER AND SHOWER HEAD SUPPORT GRABRAIL, AS SHOWN IN FIGURES 47 AND 48 MAY ENCROACH INTO THE 600 MM CLEARANCE ABOVE THE GRABRAIL REQUIRED BY CLAUSE 14(E).

12.5.5 SHOWER HEAD SUPPORT GRABRAIL

A SHOWER HEAD SUPPORT GRABRAIL, AS SPECIFIED IN CLAUSE 14, SHALL BE FIXED ON THE WALL IN THE POSITION SHOWN IN

A HAND-HELD SHOWER HEAD SHALL BE PROVIDED, WHICH SHALL HAVE A FLEXIBLE HOSE OF A MINIMUM LENGTH OF 1500 MM. AN ADJUSTABLE SHOWER HEAD HOLDER SHALL BE PROVIDED TO SUPPORT THE SHOWER HEAD AND SHALL $\,-\,$ (A) BE INSTALLED ON THE SHOWER HEAD HOLDER SUPPORT GRABRAIL AS SHOWN IN FIGURE 48; (B) ALLOW THE GRASPABLE PORTION OF THE SHOWER HEAD TO BE POSITIONED AT VARIOUS ANGLES AND HEIGHTS; (C) THE WALL OUTLET FOR THE SHOWER HOSE SHALL BE LOCATED AT 700MM TO 1100MM AFL TO PROVIDE FULL ACCESS FOR THE INDEPENDENT USER, WHEN COUPLED WITH THE REQUIRED 1500MM MINIMUM LENGTH HOSE. SEE FIG. 48.

(D) ALLOW THE GRASPABLE PORTION OF THE SHOWER HEAD TO BE LOCATED AT HEIGHTS BETWEEN 1000 MM AND 1800 MM

ABOVE THE PLANE OF THE FINISHED FLOOR; AND (E) ALLOW ACCESS AND ADJUSTMENT FROM A SEATED POSITION.

THE SOAP HOLDER SHALL BE LOCATED WITHIN THE ZONE SHOWN IN FIGURE 48.

SHOWER TAPS, AS SPECIFIED IN CLAUSE 12.2.1, SHALL BE LOCATED WITHIN THE ZONE SHOWN IN FIGURE 48. THE LENGTH OF THE

TAP LEVER HANDLE SHALL BE NO GREATER THAN 100MM.

12.5.9 FOLDING SEAT

AS SHOWN IN FIG. 47.

A FOLDABLE SEAT SHALL BE PROVIDED INSIDE THE SHOWER RECESS, AS SHOWN IN FIGURES 47 AND 48, AND SHALL — (A) BE SELF-DRAINING:

(B) BE SLIP-RESISTANT

(C) HAVE FRONT CORNERS THAT ARE ROUNDED TO A RADIUS OF 10 TO 15 MM;

(D) HAVE TOP EDGES THAT ARE ROUNDED WITH A MINIMUM RADIUS OF 2 TO 3 MM; AND (E) SHALL FOLD IN AN UPWARDS DIRECTION AND WHEN FOLDED THE GRABRAIL SHALL BE ACCESSIBLE WHERE DRAINAGE IS PROVIDED BY HOLES OR SLOTS IN SINGLE UNIT SEATS OR BY GAPS BETWEEN SLATS IN COMPOUND SEATS, THE DIAMETER OF THE HOLES. THE WIDTH OF THE SLOTS AND THE GAPS BETWEEN SLATS SHALL BE BETWEEN 4MM TO 6MM. THE

FASTENINGS, MATERIALS AND CONSTRUCTION OF THE SEAT SHALL BE ABLE TO WITHSTAND A FORCE OF 1100 N APPLIED AT ANY POSITION AND IN ANY DIRECTION WITHOUT FAILING OR LOOSENING OF FASTENINGS.

12.5.10 CLOTHES HANGING DEVICES TWO CLOTHES HANGING DEVICES SHALL BE INSTALLED WITHIN REACH OF THE SHOWER SEAT,

12.5.11 BACKFLOW PREVENTION DEVICE AND RESTRICTOR DEVICE

UNLESS THE SHOWER HOSE HAS A RESTRICTOR DEVICE PREVENTING THE SHOWER HEAD FROM RESTING ON THE FLOOR OR INTO THE BASIN, BACKFLOW PREVENTION DEVICE WILL BE REQUIRED TO PREVENT WATER CONTAMINATION. WHERE IT WOULD BE POSSIBLE FOR THE SHOWER HEAD TO REACH INTO THE TOILET PAN THEN A RESTRICTOR DEVICE SHALL BE FITTED TO PREVENT THE HOSE REACHING THE TOILET.

THE RESTRICTOR DEVICE SHALL BE A PROPRIETARY ITEM WHICH RESTRICTS THE MOVEMENT OF THE SHOWER HOSE AND PREVENTS THE SHOWER HEAD FROM REACHING INTO THE TOILET PAN, BASIN OR ONTO THE FLOOR.

12.6 COMBINED SANITARY FACILITIES

CIRCULATION SPACES FOR COMBINED SANITARY FACILITIES, INCLUDING DOORS, MAY BE OVERLAPPED

A WASHBASIN MAY ENCROACH UP TO 100MM INTO THE CIRCULATION SPACES SEE CLAUSE 12.3.1.

OTHER NOMINATED FIXTURES MAY ENCROACH INTO CIRCULATION SPACES, SEE CLAUSE 12.2.8.1.

A SHOWER SEAT IN THE FOLDED- UP POSITION SHALL NOT ENCROACH INTO CIRCULATION SPACES.

FIGURES 50(A) AND (B) SHOWS EXAMPLES OF COMBINED SANITARY FACILITES, WITH AND WITHOUT A SHOWER.

GRABRAILS SHALL COMPLY WITH THE FOLLOWING: (A) GRABRAILS SHALL BE NOT LESS THAN 30 MM AND NOT MORE THAN 40 MM OUTSIDE DIAMETER; OR THEY SHALL HAVE A

SECTIONAL SHAPE WITHIN THE LIMITS OF 30 MM TO 40 MM DIAMETER. (B) EXPOSED EDGES AND CORNERS OF GRABRAILS SHALL HAVE A RADIUS OF NOT LESS THAN 5 MM. (C) THE FASTENINGS AND THE MATERIALS AND CONSTRUCTION OF GRABRAILS SHALL BE ABLE TO WITHSTAND A FORCE OF 1100

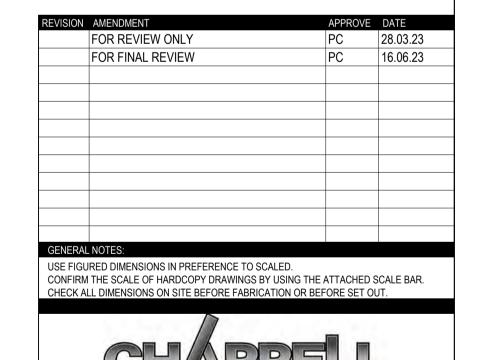
N APPLIED AT ANY POSITION AND IN ANY DIRECTION WITHOUT DEFORMATION OR LOOSENING OR ROTATION OF THE FASTENINGS (D) THE CLEARANCE BETWEEN A GRABRAIL AND THE ADJACENT WALL SURFACE OR OTHER OBSTRUCTION SHALL BE NOT LESS THAN 50 MM AND NOT MORE THAN 60 MM. THE CLEARANCE ABOVE A HORIZONTAL GRABRAIL SHALL EXTEND ABOVE THE TOP OF

THE GRABRAIL BY NOT LESS THAN 600 MM. THE CLEARANCE BELOW A HORIZONTAL OR ANGLED RAIL SHALL BE A MINIMUM OF 50 MM EXCEPT AT FIXING POINTS. E) GRABRAILS SHALL BE FIXED SO THAT THERE IS NO OBSTRUCTION TO THE PASSAGE OF THE HAND ALONG THE TOP 270° ARC . OF HORIZONTAL AND ANGLED GRABRAILS. THERE SHALL BE NO OBSTRUCTION TO THE PASSAGE OF THE HAND FOR THE FULL

REFER TO A.S. 1428: 2021 FOR MORE INFORMATION WHICH TAKES

PRECEDENCE OVER THESE PLANS

LENGTH OF VERTICAL GRABRAILS.



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TYPICAL ACCESSIBLE SHR & **VASHBASIN AMENITIES AS1428**

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12.2 ACCESSIBLE UNISEX SANITARY FACILITIES 12.2.1 WATER TAPS

WATER TAPS SHALL COMPLY WITH THE FOLLOWING:

(A) TAPS SHALL HAVE LEVER HANDLES, SENSOR PLATES, VOICE ACTIVATION OR OTHER SIMILAR

(B) LEVER HANDLES SHALL HAVE NOT LESS THAN 50 MM CLEARANCE FROM AN ADJACENT SURFACE. (C) WHERE SEPARATE TAPS ARE PROVIDED FOR HOT AND COLD WATER, THE HOT WATER TAP SHALL BE PLACED TO THE LEFT OF THE COLD WATER TAP FOR HORIZONTAL CONFIGURATIONS. OR ABOVE THE COLD WATER TAP FOR VERTICAL CONFIGURATIONS.

(D) WHERE HOT WATER IS PROVIDED, THE WATER SHALL BE DELIVERED THROUGH A MIXING VALVE

12.2.2 WC PAN CLEARANCES WC PAN CLEARANCES, INCLUDING SET-OUT, SEAT HEIGHT AND SEAT WIDTH SHALL BE AS SHOWN IN

12.2.3 SEAT

FIGURE 38.

A TOILET SEAT SHALL BE PROVIDED ON ACCESSIBLE TOILETS. THE TOILET SEAT SHALL — (A) BE OF THE FULL-ROUND TYPE, (I.E., NOT OPEN FRONTED) (B) BE SECURELY FIXED IN POSITION WHEN IN USE;

(C) HAVE SEAT FIXINGS THAT CREATE LATERAL STABILITY FOR THE SEAT WHEN IN USE; (D) BE LOAD-RATED TO 150 KG; AND

(E) HAVE A MINIMUM LUMINANCE CONTRAST OF 30% WITH ONE OF THE FOLLOWING OPTIONS: (I) SEAT AND PAN; OR

(III) SEAT AND FLOOR AGAINST WHEN FULLY RAISED

(F) REMAIN IN THE UPRIGHT POSITION WHEN FULLY RAISED.

(D) BE CENTRED ON THE WC PAN CENTRE LINE; AND

A BACKREST SHALL BE PROVIDED ON ACCESSIBLE TOILETS, INCLUDING THOSE IN ACCESSIBLE SOLE-OCCUPLANCY UNITS. THE BACKREST SHALL -

(A) BE CAPABLE OF WITHSTANDING A FORCE IN ANY DIRECTION OF 1100 N; (B) AT ITS FACE, HAVE A VERTICAL HEIGHT OF 150 MM TO 200 MM AND WIDTH OF 350 TO 400MM, AS SHOWN IN FIGURE 39: (C) HAVE ITS FACE INCLINED TO 95 DEG. TO 100 DEG. TO THE HORIZONTAL; AND

(E) BE LOCATED WITH THE LOWER EDGE OF THE CENTRE OF THE FACE 120 TO 150MM ABOVE THE WC SEAT AND 430 TO 495MM FROM THE FRONT OF THE WC PAN FIG. 39; AND (F) BE LOCATED TO ALLOW THE SEAT TO REMAIN IN THE RAISED POSITION: AND

(G) IN AN ACCESSIBLE SOLE-OCCUPANCY UNIT, BE CAPABLE OF BEING REMOVED AND REFITTED.

12.2.5 FLUSHING CONTROL FLUSHING CONTROLS SHALL BE USER ACTIVATED, HAND OPERATED, ELECTRONIC SENSOR OR AUTOMATIC. WHERE HAND-OPERATED FLUSHING CONTROLS ARE USED, THEY SHALL BE LOCATED WITHIN THE ZONE SHOWN IN FIGURE 40. OR CENTRED ON THE CENTRE-LINE OF THE TOILET, WHOLLY WITHIN THE VERTICAL LIMITS OF THAT ZONE. THE POSITION OF THE FLUSHING CONTROL WITHIN THIS ZONE SHALL NOT BE WITHIN THE AREA REQUIRED FOR ANY GRABRAILS OR BACKREST. THE FLUSHING CONTROL SHALL BE PROUD OF THE SURFACE AND SHALL ACTIVATE THE FLUSH BEFORE THE BUTTON BECOMES LEVEL WITH THE SURROUNDING SURFACE UNLESS PROVIDED WITH ELECTRONIC SENSOR(S)

FLUSHING CONTROL SHALL NOT BE LOCATED WITHIN THE ZONE OF THE BACKREST OR WITHIN 50MM OR ANY GRAB RAIL.

12.2.6 TOILET PAPER DISPENSER

THE OUTLET FOR THE TOILET PAPER DISPENSER SHALL BE LOCATED WITHIN THE ZONE SPECIFIED IN

THE TOILET PAPER DISPENSER SHALL NOT ENCROACH UPON THE CLEARANCE SPACE REQUIRED AROUND THE GRABRAIL SPECIFIED IN CLAUSE 14. TOILET ROLL SHALL NOT HAVE A PROJECTION FROM THE WALL OF MORE THAN 150MM.

GRABRAILS, AS SPECIFIED IN SECTION 14, SHALL BE PROVIDED ACROSS THE REAR WALL AND AT THE SIDE WALL NEAREST THE WC PAN, AS SHOWN IN FIGURE 42. WHERE THERE IS NO OBSTRUCTION, THE REAR WALL GRABRAIL MAY EXTEND ACROSS THE WALL TO THE SIDE WALL.

12.2.8 CIRCULATION SPACE

FOR EACH WC PAN THE UNOBSTRUCTED CIRCULATION SPACE FROM THE FINISHED FLOOR TO A HEIGHT OF NOT LESS THAN 2000 MM SHALL BE AS SHOWN IN FIGURE 43, THE ONLY FIXTURES OR FITTINGS THAT MAY ENCROACH INTO THE CIRCULATION SPACE BELOW A HEIGHT OF 900MM ARE AS

- (A) THE TOILET PAPER DISPENSER (SEE CLAUSE 12.2.6). (B) GRABRAILS (SEE CLAUSE 12.2.7).
- (C) BACKREST (SEE CLAUSE 12.2.4)
- (D) PORTABLE SANITARY DISPOSAL UNIT AS SHOWN IN FIG. 50. (E) WASHBASIN / VANITY BENCH LIMITED TO 100MM ENCROACHMENT AS SHOWN IN FIG. 43, 44, AND 45.

(F) WHERE PROVIDED, WALL-MOUNTED TAPS E.G. CLEANER'S TAP (SEE FIG. 40).

WHERE PROVIDED, ADDITIONAL FITTINGS AND FIXTURES MAY ENCROACH INTO THE WC PAN CIRCULATION SPACE UP TO A MAXIMUM OF 150MM BUT SHALL PROVIDE A MINIMUM OF 900MM CLEARANCE BELOW. SUCH FITTINGS AND FIXTURES INCLUDE THE FOLLOWING: (I) HAND DRYERS AND TOWEL DISPENSERS.

(II) SOAP DISPENSERS (SEE CLAUSE 12.4.3) (III) SHELVES (SEE CLAUSE 12.4.2)

(IV) WALL CABINETS

(V) CLOTHES HANGING DEVICES (SEE CLAUSE 12.4.4) (VI) OTHER WALL MOUNTED FIXTURES, SUCH AS DISPENSING UNITS AND SHARPS DISPOSAL UNITS.

THE OVERLAPPING OF CIRCULATION SPACES SHALL BE IN ACCORDANCE WITH CLAUSE 12.6.

THE WC PAN CIRCULATION SPACE MAY OVERLAP OTHER CIRCULATION SPACES.

12.2.8.2 BABY CHANGE TABLES WHERE INSTALLED, BABY CHANGE TABLES SHALL —

(A) NOT ENCROACH INTO THE CIRCULATION SPACE OF ANY OTHER TOILET FACILITY WHEN IN THE

(B) HAVE A MAXIMUM HEIGHT OF 820 MM AND A MINIMUM CLEARANCE UNDERNEATH OF 720 MM WHEN IN THE OPEN POSITION.

WC DOORS MAY BE EITHER HINGED OR SLIDING. WC DOORS SHALL COMPLY WITH THE FOLLOWING: (A) OUTWARD-OPENING DOORS SHALL HAVE A MECHANISM THAT HOLDS THE DOOR IN A CLOSED POSITION WITHOUT THE USE OF A LATCH.

(B) DOORS SHALL BE PROVIDED WITH AN IN-USE INDICATOR AND A BOLT OR CATCH. WHERE A SNIB CATCH IS USED, THE SNIB HANDLE SHALL HAVE A MINIMUM LENGTH OF 45 MM FROM THE CENTRE OF THE SPINDLE. IN AN EMERGENCY, THE LATCH MECHANISM SHALL BE OPENABLE FROM THE OUTSIDE. (C) THE FORCE REQUIRED TO OPERATE THE DOOR SHALL BE IN ACCORDANCE WITH CLAUSE 10.4.2(E). (D) DOOR HANDLES AND HARDWARE SHALL BE IN ACCORDANCE WITH CLAUSE 10.4.

REFER TO A.S. 1428: 2021 FOR MORE INFORMATION WHICH TAKES PRECEDENCE OVER THESE PLANS

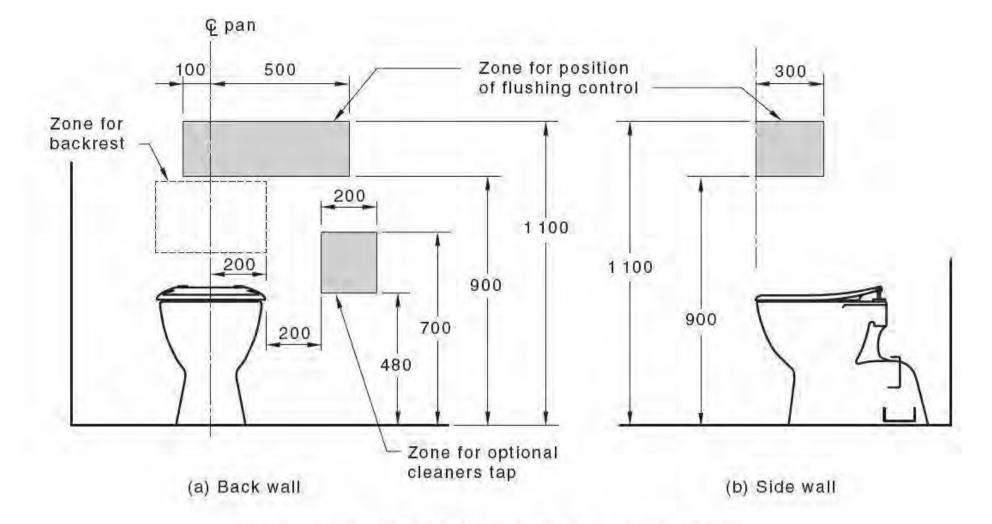
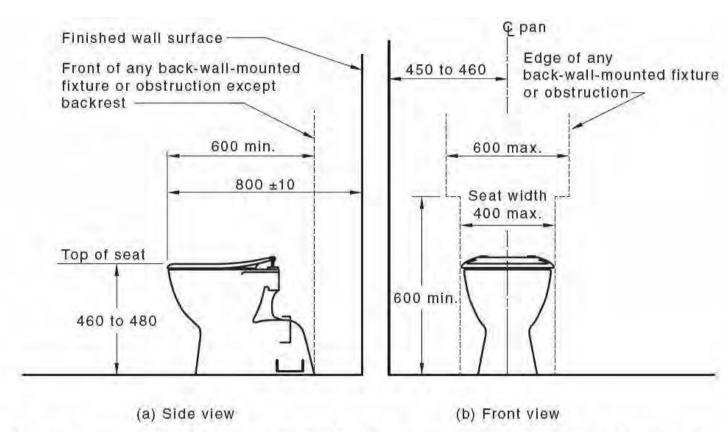


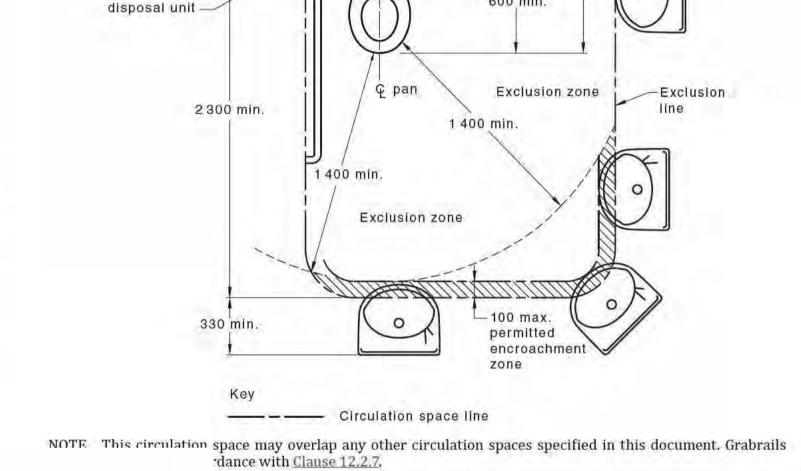
Figure 40 — Zone for position of flushing control



NOTE 1 For the purpose of dimensioning, the front of the WC pan has been taken as the datum plane.

NOTE 2 The dimension of 800 ± 10 mm from the front of the WC pan to the wall is a critical dimension.

Figure 38 — Water closet pan clearances, seat height and seat width



1900 min.

-Limit of any

above 600

back-wall-mounted

in accordance with

fixture or obstruction

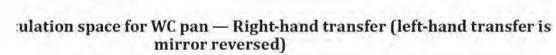
Figure 38 - 600 wide

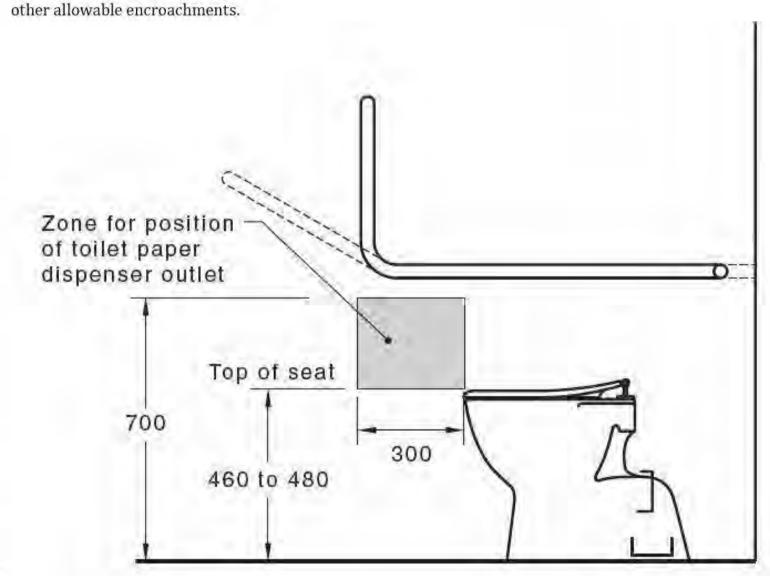
450 to 460

600 max.

400 max.

Portable sanitary





Dimensions in millimetres

430 min.

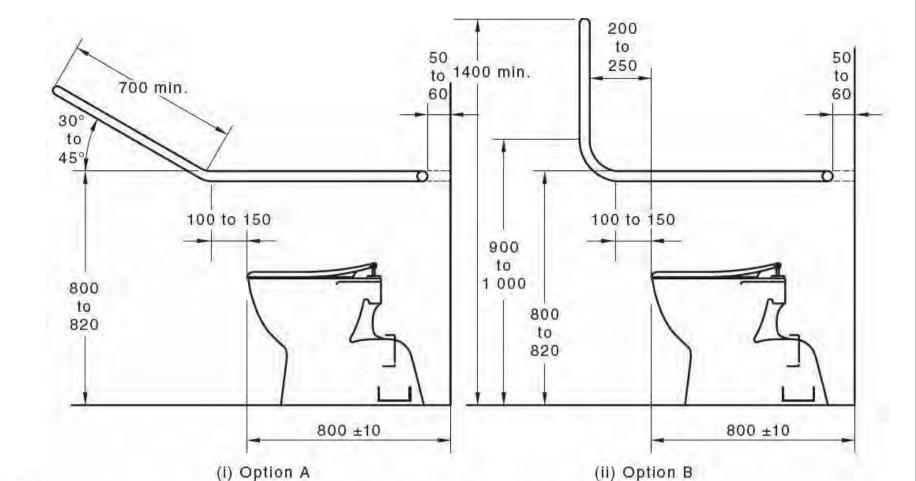
Distance

varies

with basin

used

Figure 41 — Zone for position of toilet paper dispenser



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(a) Side view showing optional systems for grabrail at sides of pan

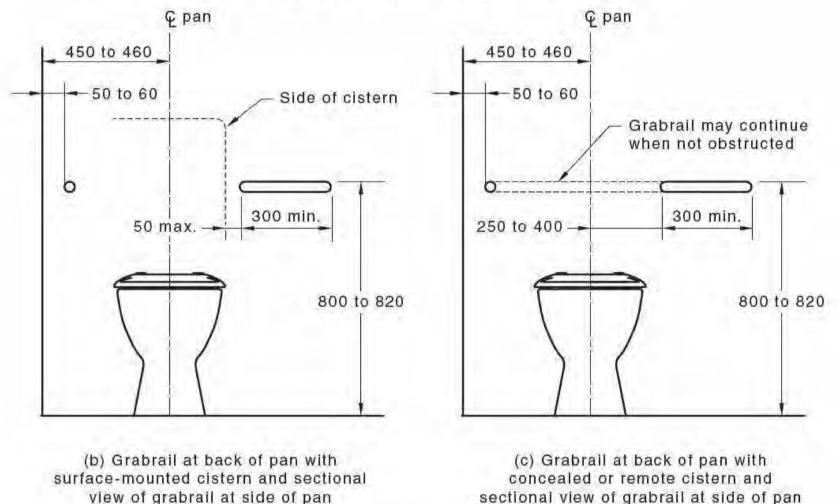
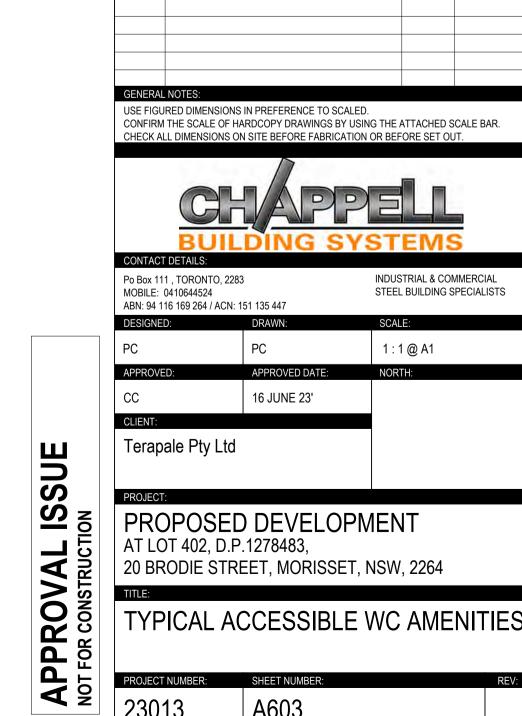


Figure 42 — Positions of grabrails in water closets





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YPICAL ACCESSIBLE WC AMENITIES

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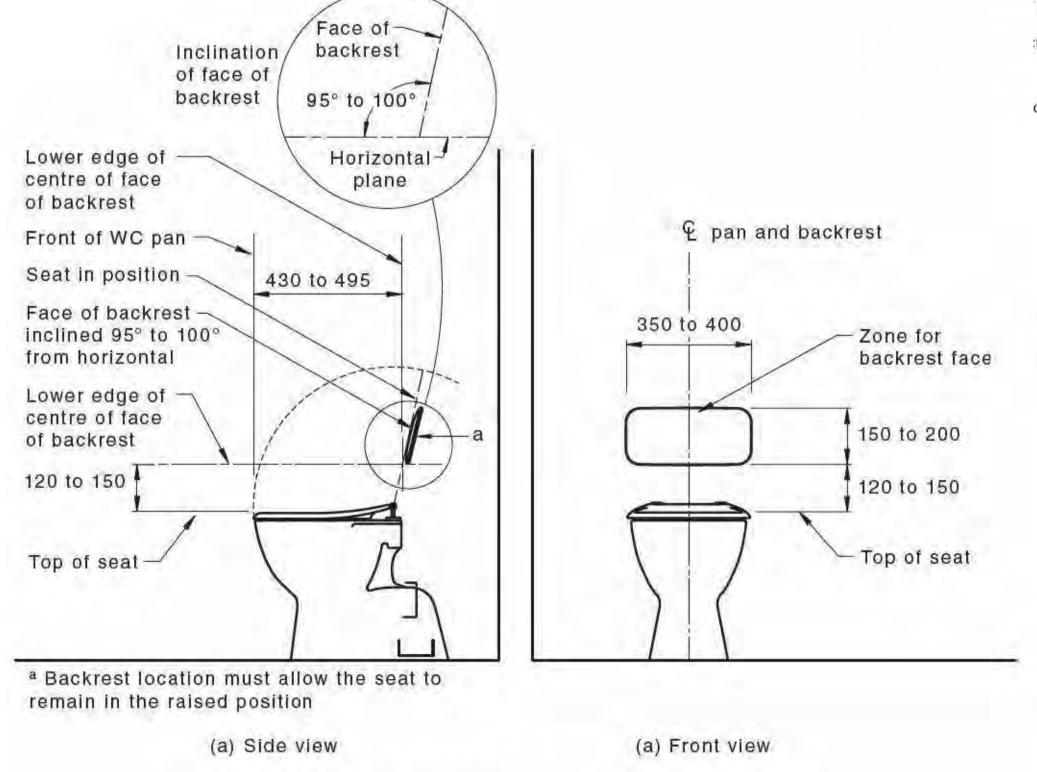
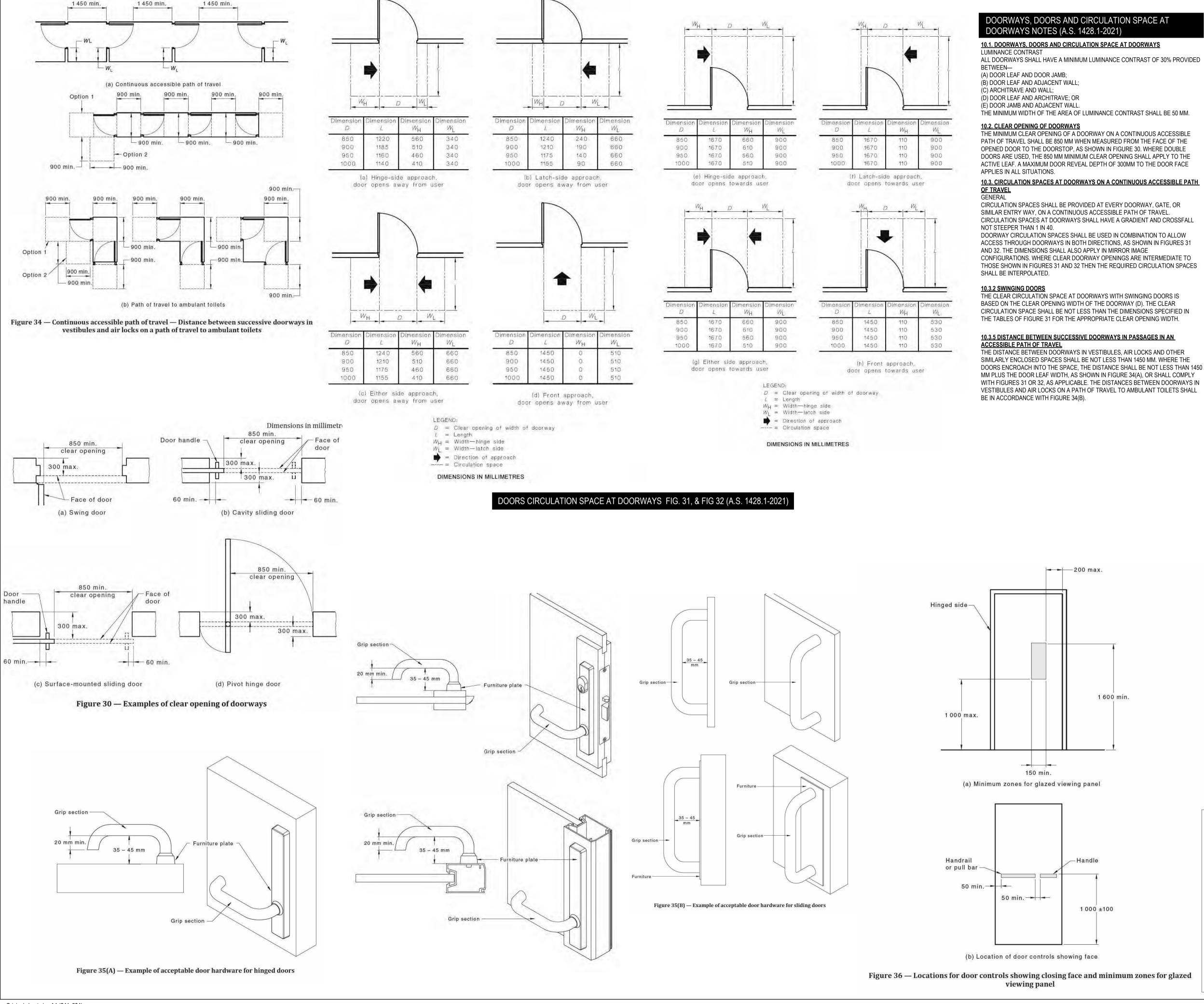


Figure 39 — Backrest installation front and side view



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10 .4 DOOR CONTROLS

GENERAL

DOOR CONTROLS IN, OR FORMING PART OF, THE CONTINUOUS ACCESSIBLE PATH OF TRAVEL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THIS CLAUSE.

DESIGN AND PERFORMANCE

DOOR HANDLES AND RELATED HARDWARE AND ACCESSORIES SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

(A) THE DOOR HANDLE AND RELATED HARDWARE SHALL BE OF THE TYPE THAT ALLOWS THE DOOR TO BE UNLOCKED AND OPENED WITH ONE HAND. THE HANDLE SHALL BE SUCH THAT THE HAND OF A PERSON WHO CANNOT GRIP WILL NOT SLIP FROM THE HANDLE DURING THE OPERATION OF THE LATCH.

1. FIGURE 35(A) SHOWS AN EXAMPLE OF A SUITABLE HINGED DOOR HANDLE. FIGURE

SHOWS AN EXAMPLE OF A SUITABLE DOOR HANDLE FOR SLIDING DOORS. 2. DOOR HANDLES OF 'D' LEVER TYPE PROVIDE AN ADEQUATE GRIP FOR PEOPLE WITH HAND IMPAIRMENTS.

(B) THE CLEARANCE BETWEEN THE HANDLE AND THE BACK PLATE OR DOOR FACE AT THE CENTRE GRIP SECTION OF THE HANDLE SHALL BE NOT LESS THAN 35 MM

AND NOT MORE THAN 45 MM. (C) 'D' TYPE HANDLES SHALL BE PROVIDED ON SLIDING DOORS.

(D) WHERE SNIBS ARE INSTALLED, THEY SHALL HAVE A LEVER HANDLE OF A MINIMUM LENGTH OF 45 MM FROM THE CENTRE OF THE SPINDLE. (E) FOR DOORS OTHER THAN FIRE DOORS AND SMOKE DOORS WHERE A DOOR CLOSER IS FITTED, THE FORCE REQUIRED AT THE DOOR HANDLE TO OPERATE THE

DOOR SHALL NOT EXCEED THE FOLLOWING: (I) TO INITIALLY OPEN THE DOOR... (II) TO SWING OR SLIDE THE DOOR ..20 N. (III) TO HOLD THE DOOR OPEN BETWEEN 60° AND 90°.20 N.

(F) WHERE AN OUTWARD OPENING DOOR IS NOT SELF-CLOSING, A HORIZONTAL HANDRAIL OR PULL BAR SHALL BE FIXED ON THE CLOSING FACE OF A SIDE-HUNG DOOR, AS SHOWN IN FIGURE 36.

(G) WHERE AN OUTWARD OPENING DOOR IS NOT SELF-CLOSING, A HORIZONTAL HANDRAIL OR PULL BAR SHALL BE FIXED ON THE CLOSING FACE OF SIDE-HUNG DOOR, AS SHOWN IN FIG.36

10.4.3 LOCATION

EXCEPT IN EARLY CHILDHOOD CENTRES, SWIMMING POOL BARRIERS OR SIMILAR SITUATIONS WHERE THE LOCATION OF THE OPENING AND LOCKING CONTROLS IS PRESCRIBED BY THE RELEVANT STATUTORY AUTHORITY, THE LOCATION OF THE CONTROLS FOR DOORS AND GATES SHALL BE ABOVE A LEVEL SURFACE AND AS FOLLOWS:

(A) CONTROLS THAT NEED TO BE GRASPED OR TURNED SHALL BE NOT LESS THAN 900 MM AND NOT MORE THAN 1100 MM ABOVE THE PLANE OF THE FINISHED FLOOR, AS SHOWN IN FIGURE 36. AND NOT LESS THAN 500MM FROM AN INTERNAL CORNER EXCEPT AS SPECIFIED IN AS 1735.12.

(B) CONTROLS THAT ONLY NEED TO BE PUSHED IN THE DIRECTION OF TRAVEL, SUCH AS PANIC BARS ON EGRESS ROUTES, SHALL BE NOT LESS THAN 900 MM, AND NOT GREATER THAN 1200 MM ABOVE THE PLANE OF THE FINISHED FLOOR. (C) CONTROLS THAT ONLY NEED TO BE TOUCHED SHALL BE NOT LESS THAN 900 MM, AND NOT GREATER THAN 1250 MM ABOVE THE PLANE OF THE FINISHED FLOOR, AND NOT LESS THAN 500 MM FROM AN INTERNAL CORNER EXCEPT AS SPECIFIED IN AS

(D) HANDLES ON SLIDING DOORS SHALL BE NOT LESS THAN 60 MM FROM THE DOOR JAMB OR DOORSTOP WHEN IN THE OPEN OR CLOSED POSITION, AS SHOWN IN FIGURE 30.

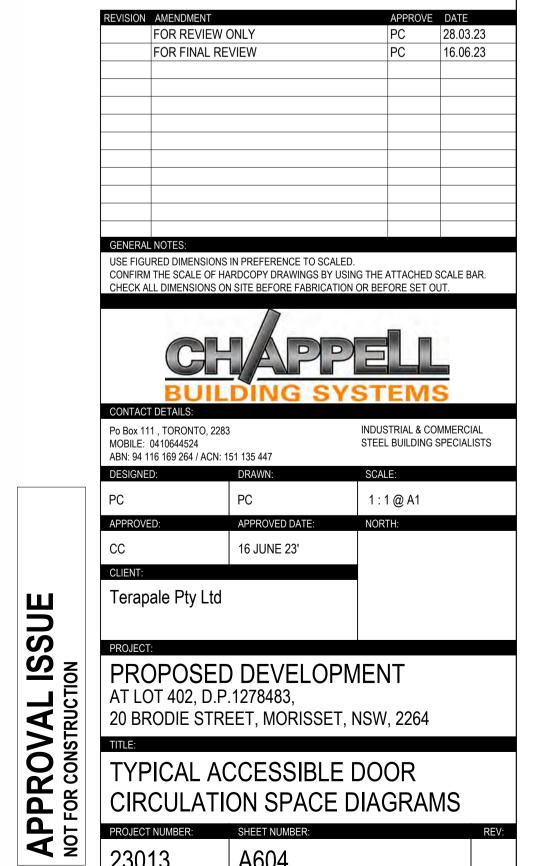
(E) MANUAL CONTROLS TO POWER-OPERATED DOORS SHALL BE LOCATED ON THE CONTINUOUS ACCESSIBLE PATH OF TRAVEL NO CLOSER THAN 500 MM FROM AN INTERNAL CORNER AND BETWEEN 500 MM TO 1000 MM FROM THE HINGED DOOR LEAF IN ANY POSITION OR CLEAR OF A SURFACE-MOUNTED SLIDING DOOR IN THE OPEN POSITION.

10.4.4 POWER-OPERATED DOOR CONTROLS

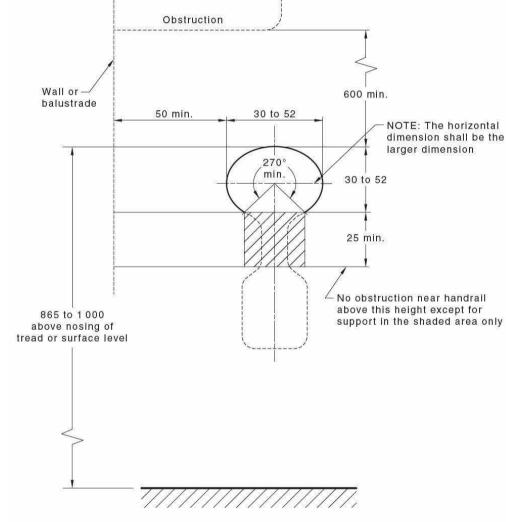
PUSH-BUTTON CONTROLS SHALL HAVE A MINIMUM DIMENSION OF 25MM DIAMETER AND BE PROUD OF THE SURFACE AND SHALL ACTIVATE THE DOOR BEFORE THE BUTTON BECOMES LEVEL WITH THE SURROUNDING SUFACE.

REFER TO A.S. 1428: 2021 FOR MORE INFORMATION WHICH TAKES

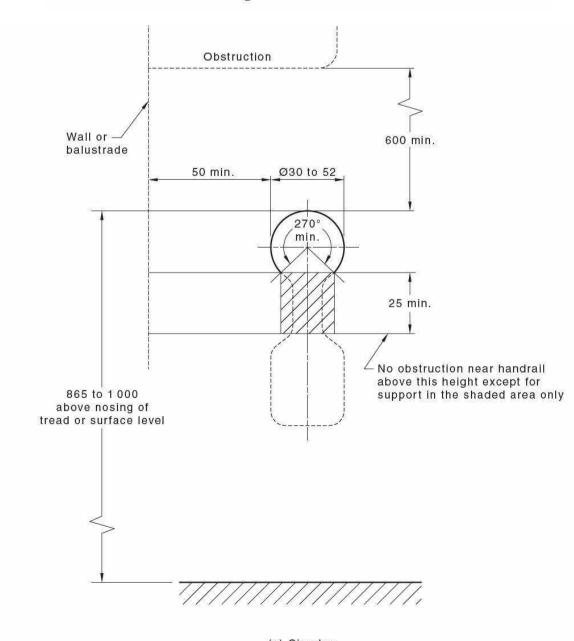
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(b) Elliptical Figure 29 — Handrails



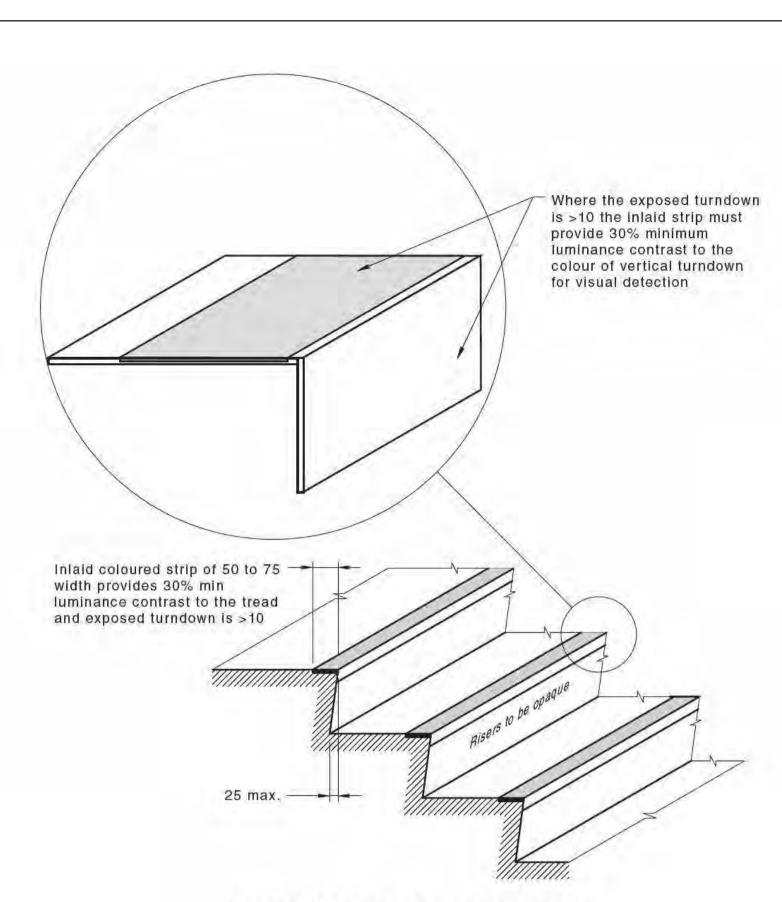
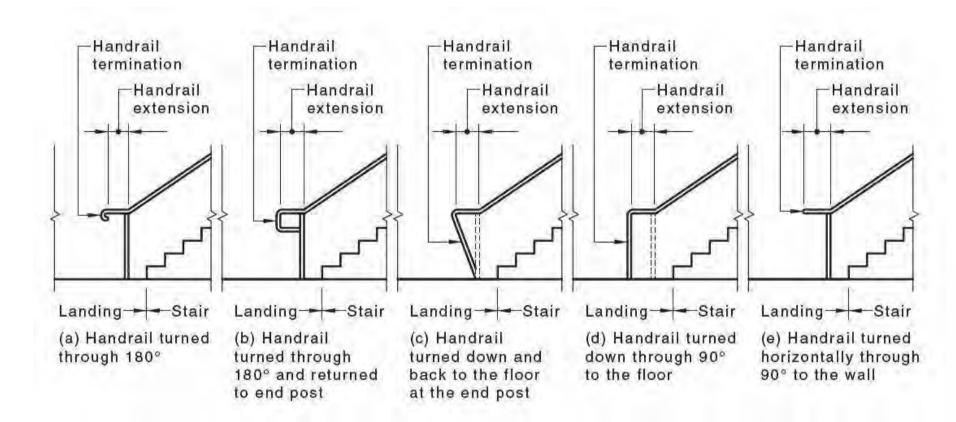


Figure 27(C) — Typical stair nosing profile



Side elevations (a) Examples of post mounted handrails

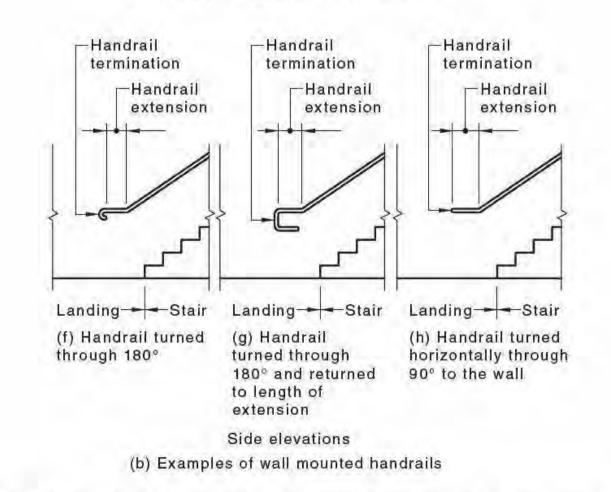
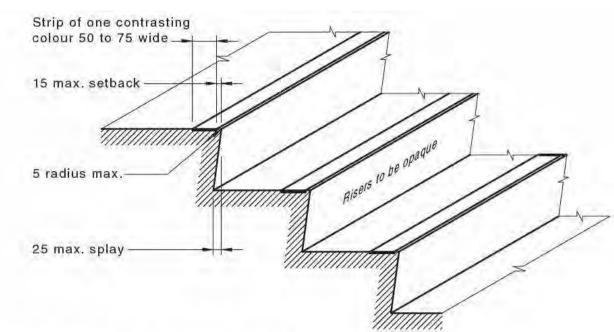


Figure 26(C) — Stair handrails — Examples of handrail terminations



NOTE A chamfered nosing 5×5 mm may be used.

Figure 27(A) — Typical stair nosing profile with nosing strip

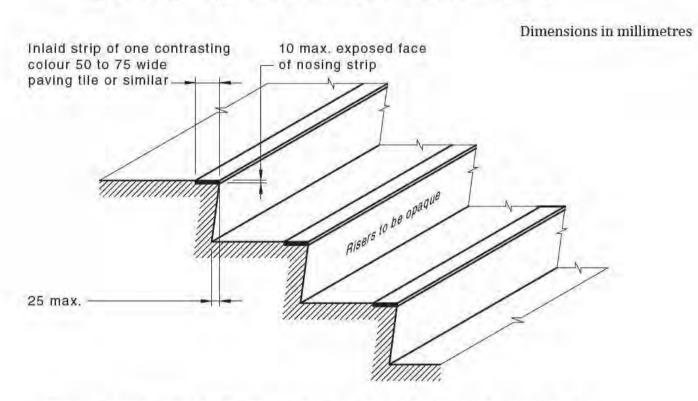
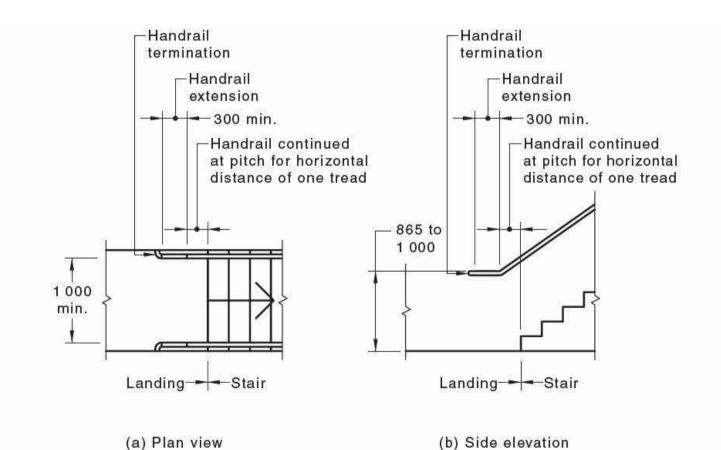


Figure 27(B) — Typical stair nosing profile with exposed nosing strip



Curve handrail to wall

(c) Termination detail

Termination! Hand rail extension

Figure 26(D) — Example of detail for handrails terminated by turning horizontally through 90° to the wall

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STAIRWAYS GENERAL NOTES (A.S. 1428.1 2021)

8 STAIRWAYS

8.1. STAIR CONSTRUCTION WHERE REQUIRED, STAIRS SHALL BE CONSTRUCTED AS FOLLOWS:

(A) WHERE THE INTERSECTION IS AT THE PROPERTY BOUNDARY, THE STAIR SHALL BE SET BACK BY A MINIMUM OF 900 MM SO THAT THE HANDRAIL (IN ACCORDANCE WITH CLAUSE 9) AND TGS\$ DO NOT PROTRUDE INTO THE TRANSVERSE PATH OF TRAVEL, AS SHOWN IN FIGURE 26(A).

(B) WHERE THE INTERSECTION IS NOT AT PROPERTY BOUNDARY, THE STAIR SHALL BE LCOATED SO THAT THE HANDRAIL DOES NOT PROTRUDE INTO THE TRANSVERSE ACCESSWAY SET FIGURE 26(B).

NOTE: EXAMPLES OF STAIR HANDRAIL TERMINATIONS ARE GIVEN IN FIGURES 26(C) AND 26(D). (C) STAIRS SHALL HAVE OPAQUE RISERS.

(D) STAIR NOSINGS SHALL NOT PROJECT BEYOND THE FACE OF THE RISER AND THE RISER MAY BE VERTICAL OR HAVE A SPLAY BACKWARDS UP TO A MAXIMUM 25 MM, AS SHOWN IN FIGURES 27(A) AND 27(B).

(E) STAIR NOSING PROFILES SHALL—

(I) HAVE A SHARP INTERSECTION; (II) BE ROUNDED UP TO 5 MM RADIUS; OR

(III) BE CHAMFERED UP TO 5 MM × 5 MM.

(F) AT THE NOSING, EACH TREAD SHALL HAVE A STRIP (NOT MULTISTRIP) NOT LESS THAN 50 MM AND NOT MORE THAN 75 MM DEEP ACROSS THE FULL WIDTH OF THE PATH OF TRAVEL. THE SINGLE STRIP SHALL BE OF A CONTINUOUS COLOUR. THE STRIP MAY BE SET BACK A MAXIMUM OF 15 MM FROM THE FRONT OF THE NOSING. THE STRIP SHALL HAVE A MINIMUM LUMINANCE CONTRAST OF 30% TO THE BACKGROUND (SEE FIG. 27(C). WHERE THE LUMINOUS CONTRASTING STRIP IS AFFIXED TO THE SURFACE OF THE TREAD, ANY CHANGE IN LEVEL SHALL BE IN

ACCORDANCE WITH FIG. 6(A). (G) WHERE THE LUMINANCE CONTRASTING STRIP IS NOT SET BACK FROM THE FRONT OF THE NOSING THEN ANY AREA OF LUMINANCE CONTRAST SHALL NOT EXTEND DOWN THE RISER MORE THAN 10 MM.

(H) TGSI's SHALL BE INSTALLED IN ACCORDANCE WITH AS 1428.4.1

HANDRAILS SHALL BE CONTINUOUS THROUGHOUT THE STAIR FLIGHT AND, WHERE PRACTICABLE, AROUND LANDINGS (SEE FIGURE 28) AND HAVE NO OBSTRUCTION ON OR ABOVE UP TO A HEIGHT OF 600 MM AND AS

(A) THE DESIGN AND CONSTRUCTION OF HANDRAILS SHALL COMPLY WITH CLAUSE 9. (B) HANDRAILS SHALL BE INSTALLED ON BOTH SIDES OF THE STAIRS AND AS SHOWN IN FIGURES 26(A) AND 26(B). (C) HANDRAILS SHALL HAVE NO VERTICAL SECTIONS AND SHALL FOLLOW THE ANGLE OF THE STAIRWAY NOSINGS,

AS SHOWN IN FIGURE 28(A). (D) WHERE A HANDRAIL TERMINATES AT THE BOTTOM OF A FLIGHT OF STAIRS, THE HANDRAIL SHALL EXTEND AT LEAST ONE TREAD DEPTH PARALLEL TO THE LINE OF NOSINGS PLUS MINIMUM OF 300 MM HORIZONTALLY FROM

(E) THE HANDRAIL SHALL EXTEND A MINIMUM OF 300 MM HORIZONTALLY PAST THE NOSING ON THE TOP RISER. (F) WHERE THE HANDRAIL IS CONTINUOUS, THE 300 MM EXTENSION IS NOT REQUIRED IN THE INNER HANDRAIL AT INTERMEDIATE LANDINGS AS SHOWN IN FIGURE 28(B).

(G) THE DIMENSIONS INDICATING THE HEIGHTS OF HANDRAILS SHALL BE TAKEN VERTICALLY FROM THE NOSING OF THE TREAD TO THE TOP OF THE HANDRAIL OR FROM THE LANDING TO THE TOP OF THE HANDRAIL AND WHERE THE HANDRAIL CONTINUES ACROSS A LANDING THE HEIGHT MAY VARY IN ACCORDANCE WITH CLAUSE 9(E).

9. HANDRAILS

1. THE DESIGN AND CONSTRUCTION OF HANDRAILS SHALL BE IN ACCORDANCE WITH THE FOLLOWING: (A) HANDRAILS AND BALUSTRADES SHALL NOT ENCROACH INTO REQUIRED CIRCULATION SPACES. (B) THE CROSS-SECTION OF HANDRAILS SHALL BE CIRCULAR OR ELLIPTICAL, NOT LESS THAN 30 MM OR GREATER THAN 50 MM IN HEIGHT OR WIDTH FOR NOT LESS THAN 270° AROUND THE UPPERMOST SURFACE AS SHOWN IN FIGURES 29(A) AND 29(B). ELLIPTICAL HANDRAILS SHALL HAVE THE GREATER DIMENSION IN THE HORIZONTAL AXIS AS SHOWN IN FIGURE 29(B)

(C) TO REDUCE THE LIKELIHOOD OF INJURY, EXPOSED CORNERS AT EDGES AND CORNERS OF HANDRAILS SHALL HAVE A RADIUS OF NOT LESS THAN 5 MM.

(D) THE TOP OF HANDRAILS SHALL BE NOT LESS THAN 865 MM OR MORE THAN 1000 MM ABOVE THE NOSING OF STAIRWAY TREAD OR THE PLANE OF THE FINISHED FLOOR OF THE WALKWAY, RAMP OR LANDING. (E) THE HEIGHT OF THE TOP OF THE HANDRAIL, MEASURED IN ACCORDANCE WITH ITEM (D), SHALL BE CONSISTENT THROUGH THE RAMP (OR STAIRS) AND ANY LANDINGS. THE HEIGHT OF HANDRAIL MAY VARY ACROSS LANDINGS UNDER THE FOLLOWING CIRCUMSTANCES:

(I) AT A STAIRWAY HANDRAIL EXTENSION

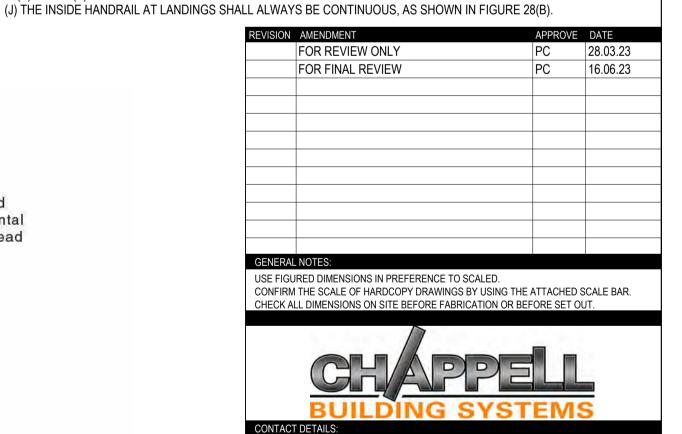
ISSUE

(II) WHERE A HANDRAIL TRANSITIONS BETWEEN FLIGHTS OR TO A BALUSTRADE

(III) CONSTRUCTION TOLERANCE OF UP TO 10MM. (F) IF A BALUSTRADE IS REQUIRED AT A HEIGHT GREATER THAN THE HANDRAIL. BOTH SHALL BE PROVIDED. (G) HANDRAILS SHALL BE SECURELY FIXED AND RIGID, AND THEIR ENDS SHALL BE TURNED THROUGH A TOTAL OF 180°, OR TO THE GROUND, OR RETURNED FULLY TO END POST OR WALL FACE, AS SHOWN IN FIGURES 26(C) AND

(H) THE CLEARANCE BETWEEN A HANDRAIL AND AN ADJACENT WALL SURFACE OR OTHER OBSTRUCTION SHALL BE NOT LESS THAN 50 MM. THIS CLEARANCE SHALL EXTEND ABOVE THE TOP OF THE HANDRAIL BY NOT LESS THAN 600

(I) HANDRAILS SHALL HAVE NO OBSTRUCTION TO THE PASSAGE OF A HAND ALONG THE RAIL, AS SHOWN IN FIGURES



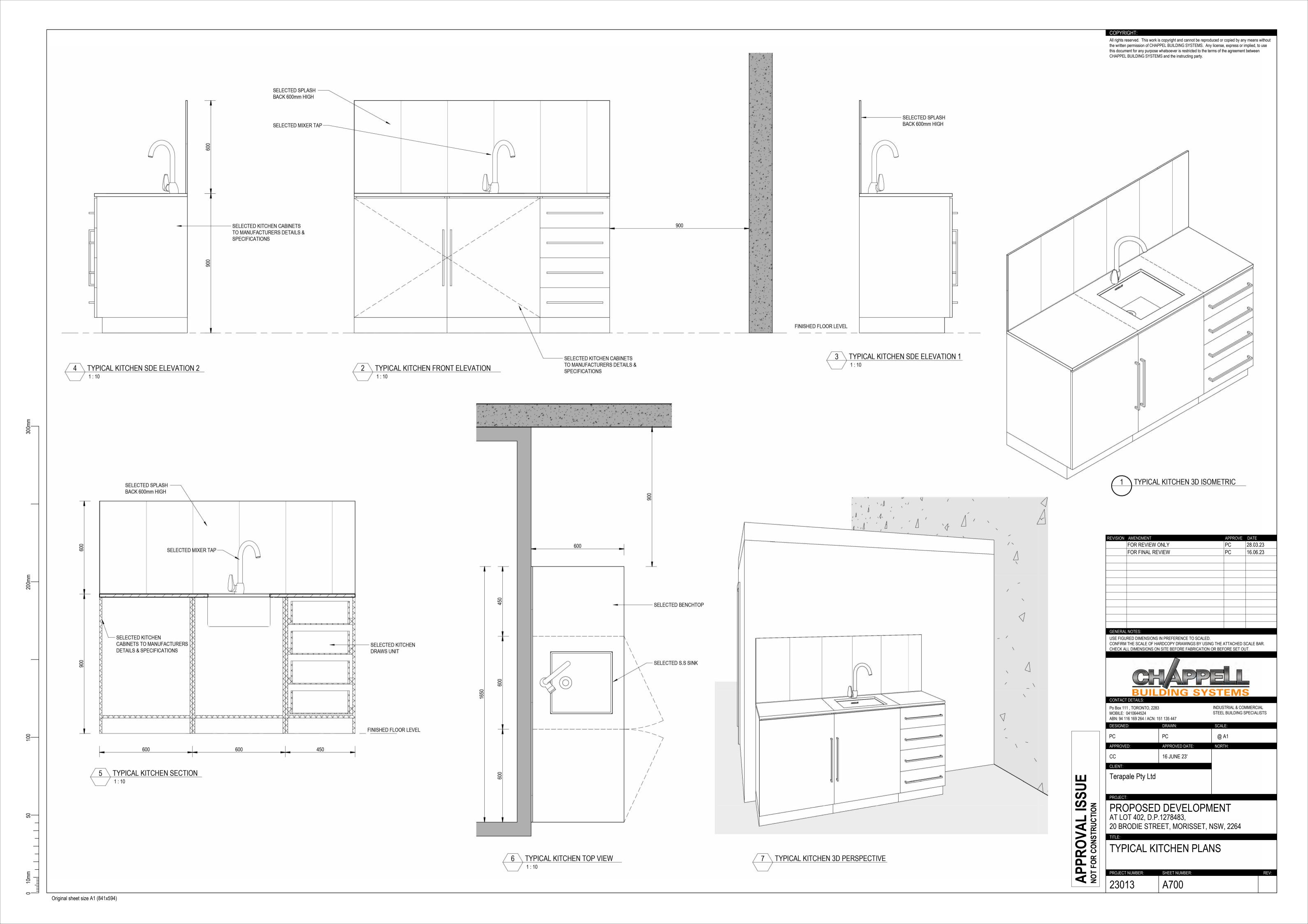
Po Box 111, TORONTO, 2283 INDUSTRIAL & COMMERCIAL STEEL BUILDING SPECIALISTS MOBILE: 0410644524 ABN: 94 116 169 264 / ACN: 151 135 447 l:1@A1 APPROVED DATE: NORTH: 16 JUNE 23' Terapale Pty Ltd

PROPOSED DEVELOPMENT AT LOT 402, D.P.1278483,

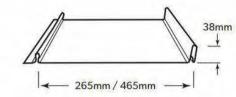
20 BRODIE STREET, MORISSET, NSW, 2264

TYPICAL STAIR DIAGRAMS

APPROVAL NOT FOR CONSTRUCT 23013









EXAMPLE IMAGE ONLY

11.0 ENSEAM® roof and wall cladding

ENSEAM® architectural cladding is a concealed fixed flat panel cladding system. ENSEAM® is structurally sound for direct fixed to ENSEAM® profile. steel battens and can also be fixed onto conventional supporting substrate such as plywood or fibre cement panels.

The wide flat profile gives a modern architecturally designed premium finish.

11.1 MATERIAL SPECIFICATIONS

Coverage (mm)	265			465					
Base Metal Thickness (BMT) (mm)	0.55	0.7*	0.75*	0.55	0.7*	0.75			
Total Coated Thickness ⁽¹⁾ (TCT) (mm)	0.6	0.75	0.8	0.6	0.75	0.8			
Rib Height (mm)	38								
Sheet Length ⁽²⁾ (mm)									
Minimum	500								
Maximum	8,000(8)								
Mass / Unit Length (kg/m)									
ZINCALUME® steel	1.83	2.25	2.41	2.67	N/A	3.61			
COLORBOND* steel ⁽ⁱ⁾	1.96	2.29	2.44	2.73	N/A	3.68			
Mass / Unit Area (kg/m²)									
ZINCALUME® steel	6.91	8.50	9.09	5.75	N/A	7.77			
COLORBOND* steel*	7.02	8.65	9.21	5.88	N/A	7.90			
Minimum Yield Strength	300								

Tolerance	Sheet length: ±7mm Cover width: ±4mm										
Coating Class (See Base Material for detail)	AM100	-ZINCALL -COLORB -COLORB -COLORB	OND® stee	TALLIC stee	N						
Minimum Yield Strength	300 (G300)										
COLORBOND® steel®	7.02	8.65	9.21	5.88	N/A	7.90					
ZINCALUME® steel	6.91	8.50	9.09	5.75	N/A	7.7.7					
Mass / Unit Area (kg/m²)											
COLORBOND* steel	1.96	2.29	2.44	2.73	N/A	3.68					
ZINCALUME® steel	1.83	2.25	2.41	2.67	N/A	3.61					

1. Based on single sided COLORBOND® steel. For other painted steel options please contact your Lysaght representative.

2. To assist minimising the effects of oil canning in ENSEAM® cladding, it is recommended to keep panel length under 8m. Longer lengths may be available subject to minimum

2.9mm average per 5m @ 50°C change

*Please check with your local branch for availability. MINIMUM ROOF PITCH

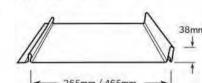
Thermal Expansion

The minimum recommended roof pitch for ENSEAM® cladding is 3 degree.

INSULATION

Care needs to be taken when installing insulation with ENSEAM® roof sheeting. The screws may need to be increased depending on the thickness and density of the insulation. When the screw is properly tightened into metal there should be a minimum of three (3) threads protruding past the support being fixed in to. For timber to allow for thermal movement of the sheet the screw must have a min embedment of 25mm into the timber.

For insulation, the use of roof spacing system is recommended to help maintain Rw values as well as minimising any bulging in the profile caused by the insulation. Refer to oil canning section for potential visual impacts of insulation on the product.



FASTENING ENSEAM CLADDING TO SUPPORTS

ENSEAM® is concealed pierce-fixed to batten supports. This means that fastener screws pass through the sheeting at the concealed underlap edge. You can place screws through the slotted holes or directly through the sheet**.

Table 11.1.1:

Fastener	Specification -	Non-Cyclon

Fixing	Application
fixing to steel	10g-16x16 wafer head metal screw with minimum class 3 coating
Fixing to plywood	10g-12x25 water head type 17 metal screw with minimum class 3 coating
Fixing to timber battens	10g-12x25 wafer head type 17 metal screw with minimum class 3 coating

MAXIMUM BATTEN / SUPPORT SPACINGS III

Type of Span	265mm c	over		465mm cover						
	0.55mm BMT	0.70mm* BMT	0.75mm* BMT	0.55mm BMT	0.70* BMT	0.75mm* BMT				
Roofs				S. Ice	4.0	A.555				
Single span	e span 600 700 700				Must be fixed to 19mm thick FTI structural CD ply with screw fixing a					
End Span	600	700	700	450mm c/	n/support					
Internal Span	600	700	700	600mm centre						
Unstiffened eaves overhang	50	50	50	50	N/A-	50				
Walls										
Single span	900	1000	1000	450	N/A	550				
End span	900	1000	1000	450	N/A	550				
Internal span	1200	1300	1300	450	N/A	550				
Overhang	100	100	100	100	N/A	100				

1. Refer Section 2.5 - Support Spacing and Overhang for loading parameters applicable to MAXIMUM SUPPORT SPACINGS. For Projects outside these loading parameters designers should reference LIMIT STATE WIND CAPACITIES tables to determine

appropriate support spacings. *Please check with your local branch for availability.

** When fixing directly through the sheet, it is good practice to pre-drill a larger hole/slot

ENSEAM": LIMIT STATE WIND PRESSURE CAPACITIES (KPA)

Cover width	Support Requirement	Design pressure (kPa	Application	
		Serviceability	Strength	- 778-75
265mm x	Steel Latters: 40mm x 0.55mm BMT G550	0.97	3.88	Roofing & Walling
0.55mm BMT	Batter spacing: 600mm (max)			
	Batten span: 1200mm (max)			
	19mm F11 CD Structural Grade plywood for roofing applications 1,5mm F11 CD Structural Grade plywood for walling applications	0.97	3.88	Roofing & Walling
	Maximum support spacing 600mm			
	Fastener spacing: 450mm			
465mm x	Steel batten 40mm x 0.55mm BMT G550	0.36	3,00	Walling
0.55mm BMT	Batten spacing : 450mm (max)			
	Batten span: 1200mm (max)			
	19mm F1) CKD Structural Grade plywood for roofing applications 15mm F1) CKD Structural Grade plywood for walling applications	0.36	3.00	Roofing & Walling
	Maximum support spacing 600mm			
	Fastener spacing: 450mm			

Minimum support / purlin thickness must be 1mm BMT, G550 For maximum roof lengths for drainage see Page 17 Table 6.1.1

Table 11.1.2

Guide to fastener layout and sheet coverage.

SHEET COVERAGE

265MM																					
Width of Roof (m)	3	4	5	6	7	8	9	10	17	12	13	14	15	16	17	18	19	20	30	40	5
Number of Sheets	12	16	19	23	27	31	34	38	42	46	50	53	57	61	65	68	72	76	114	151	18
465MM																					
Width of Roof (m)	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	30	40	5
	7	9	11	13	16	18	20	22	24	26	28	31	33	35	37	39	41	44	65	87	Ĭſ

WIDTH COVERED BY 'X' NUMBERS OF SHEETS (M)

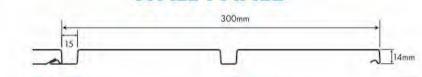
265MM																		
Number of Sheets	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20
Coverage (m)	0.795	1.06	1.325	1.59	1.855	2.12	2.385	2.65	2,915	3.18	3.445	3.71	4.0	4.24	4.505	4.77	5.0	5.3
465MM																		
Number of Shoots	9	4	K	6	7	0	0	10	11	12	12	94	15	16	17	10	10	20

1.395 1.86 2.325 2.79 3.255 3.72 4.185 4.65 5.115 5.58 6.045 6.51 7.0 7.44 7.905 8.37 8.8 9.3

Screw calculation: 1.7 screws per Im of cladding for 265 roof / wall cladding 2.3 screws per Im of cladding for 465mm wall cladding

EXTERNAL FEATURE CLADDING OPTION - STEELINE "BONVILLE"

Steeline BONVILLE CLADDING WALL PANEL



There are 3 profiles:

and in one plane at 1500mm centres max.

Flat, 2 Ribs and 5 Ribs. Usage

Walls & under eaves only. Preparation

Colorbond® Ultra Colorbond® Metallic Colorbond® Matt The battens must be rigid Zincalume AZ150

Thickness

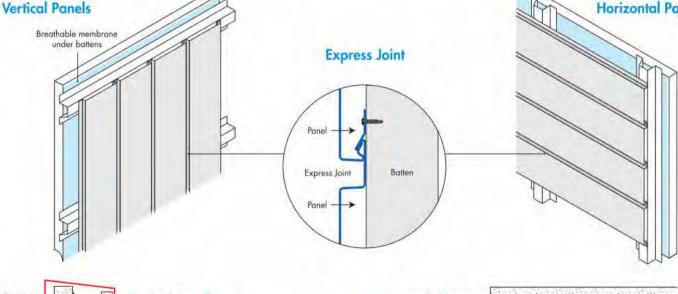
• Colorbond®

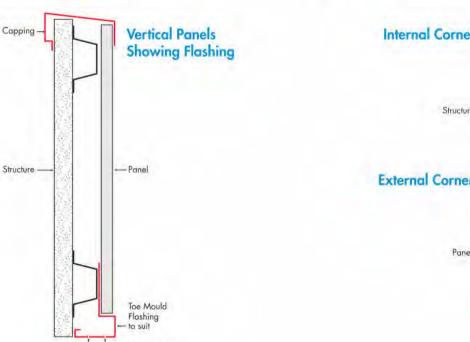
.55mm Colorbond®

Panel Depth and Cover - 14mm x 300mm Express Joint Width - 15mm - 0.5m - 8.0m Panel Length

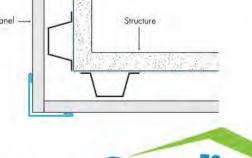
Standard Specifications

Minimum Pitch	+	Wall & ceiling applications only
Batten Span	÷	Maximum 1500mm Centres
Screws	7	Timber-TY17 12 x 25 Hex Type
ociews	A	Steel - Teks M10 x 16 Hex Type





Oil Canning is a characteristic that is inherent in thin gauge metals. Internal stresses, expansion and contraction can cause a wavy surface on flat panels. The Architect and Builder need to be aware of the aesthetic effect that oil canning can have an the project. Recommendations to reduce the effect of oil canning can be found on the steeline.cam.au web site.



Colerbond

PLEASE NOTE:

Fasteners not shown

WALL CLADDING

CLASSIC EURO PANEL RANGE

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Steeline BONVILLE CLADDING **WALL PANEL**

Bonville is a modern sleek looking cladding with secret concealed fixings, square edges and 15mm expressed groove providing straight lines used in vertical or horizontal orientations.

Being designed for use in wall and ceiling applications, it can be used in a variety of situations. Bonville cladding can be attached directly to wall frames or with the use of battens over other structures.

A breathable vapour barrier is required between the structure and wall cladding in residential applications.









Colerbond



DEVISION	AMENDMENT	APPROVE	DATE
REVISION	FOR REVIEW ONLY	PC	28.03.23
	FOR FINAL REVIEW	PC	16.06.23
GENERAL	NOTES:		
USE FIGU	IRED DIMENSIONS IN PREFERENCE TO SCALED.		

CONFIRM THE SCALE OF HARDCOPY DRAWINGS BY USING THE ATTACHED SCALE BAR. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR BEFORE SET OUT.



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SUE APPROVAL NOT FOR CONSTRUCT

PROPOSED DEVELOPMENT

AT LOT 402, D.P.1278483, 20 BRODIE STREET, MORISSET, NSW, 2264

EXTERNAL FEATURE CLADDING OPTIONS

REFER TO MANUFACTURER FOR MORE DETAILS



WINDOW No. W103

WINDOW No. W104, W105, W106, W202, W203, W204, W302, W303, W304, W402, W502, W602, W704, W705, W706

FINISHED FLOOR LEVEL

WINDOW SCHEDULE

				HEAD	CONSTRUCTION				
NO.	DESCRIPTION			HEIGHT	FRAME		GLAZING TYPE		
		HEIGHT (mm)	WIDTH (mm)	(mm)	TYPE	COLOUR	GLAZING TIFE	GLAZING AREA	
W101	Fixed Window	2400	1800	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	4.32 m ²	
W102	Fixed Window	2400	3600	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	8.64 m ²	
W103	Fixed / Awning Window	2100	2700	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	5.67 m ²	
W104	Fixed / Awning Window	2100	3600	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	7.56 m ²	
W105	Fixed / Awning Window	2100	3600	2100	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	7.56 m ²	
W106	Fixed / Awning Window	2100	3600	2100	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	7.56 m ²	
W201	Fixed Window	2400	2700	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	6.48 m ²	
W202	Fixed / Awning Window	2100	3600	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	7.56 m ²	
W203	Fixed / Awning Window	2100	3600	2100	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	7.56 m ²	
W204	Fixed / Awning Window	2100	3600	2100	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	7.56 m ²	
W301	Fixed Window	2400	2700	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	6.48 m ²	
W302	Fixed / Awning Window	2100	3600	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	7.56 m ²	
W303	Fixed / Awning Window	2100	3600	2100	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	7.56 m ²	
W304	Fixed / Awning Window	2100	3600	2100	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	7.56 m ²	
W401	Fixed Window	2400	2700	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	6.48 m ²	
W402	Fixed / Awning Window	2100	3600	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	7.56 m ²	
W501	Fixed Window	2400	2700	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	6.48 m ²	
W502	Fixed / Awning Window	2100	3600	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	7.56 m ²	
W601	Fixed Window	2400	2700	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	6.48 m²	
W602	Fixed / Awning Window	2100	3600	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	7.56 m ²	
W701	Fixed Window	2400	3600	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	8.64 m²	
W702	Fixed Window	2400	2700	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	6.48 m²	
W703	Fixed Window	2400	3600	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	8.64 m²	
W704	Fixed / Awning Window	2100	3600	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	7.56 m ²	
W705	Fixed / Awning Window	2100	3600	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	7.56 m²	
W706	Fixed / Awning Window	2100	3600	2400	ALUMINIUM FRAME	T.B.C	REFER TO SEC. J REPORT	7.56 m²	

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23
	FOR FINAL REVIEW	PC	16.06.23

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 INDUSTRIAL & COMMERCIAL STEEL BUILDING SPECIALISTS

 MOBILE: 0410644524
 STEEL BUILDING SPECIALISTS

 ABN: 94 116 169 264 / ACN: 151 135 447
 SCALE:

 PC
 PC
 1 : 20 @ A1

 APPROVED:
 APPROVED DATE:
 NORTH:

 CC
 16 JUNE 23'
 CLIENT:

 Terapale Pty Ltd
 Terapale Pty Ltd

PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

WINDOW SCHEDULE

PROJECT NUMBER: SHEET NUMBER: REV:

23013 A703

APPROVAL ISSUE NOT FOR CONSTRUCTION