

PROPOSED DEVELOPMENT

CLIENT: Terapale Pty Ltd
PROJECT NO: 23013



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REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23
	FOR FINAL REVIEW	PC	16.06.23

GENERAL NOTES:
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED.
CONFIRM THE SCALE OF HARDCOPY DRAWINGS BY USING THE ATTACHED SCALE BAR.
CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR BEFORE SET OUT.



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INDUSTRIAL & COMMERCIAL
STEEL BUILDING SPECIALISTS

DESIGNED:	DRAWN:	SCALE:
PC	PC	@ A1
APPROVED:	APPROVED DATE:	NORTH:
FS	16 JUNE 23'	
CLIENT:		
Terapale Pty Ltd		

PROJECT:
PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

TITLE:
COVER SHEET

PROJECT NUMBER:	SHEET NUMBER:	REV:
23013	A100	

PRELIMINARY ISSUE
NOT FOR CONSTRUCTION

300mm
200mm
100
50
10mm

300mm

200mm

100

50

10mm

GENERAL BUILDING NOTES

REGULATIONS AND STANDARDS

- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2009, THE NATIONAL CONSTRUCTION CODE 2019 VOLUME 1 (CLASS 2 TO 9) VOLUME 2 (CLASS 1 & 10), TIMBER QUEENSLAND LIMITED TIMBER FRAMING MANUALS, AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.

CONSTRUCTION PRACTICES

- ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA. WHERE AN ALTERNATIVE SOLUTION IS PROPOSED, THEN PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING CERTIFIER, AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA.

MATERIALS

- ALL MATERIALS SHALL BE NEW (UNO)
- MATERIALS SHALL BE STORED AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.
- PROVIDE PROTECTIVE COVERINGS, AND THE LIKE, TO ENSURE THE PROPER PERFORMANCE AND INTEGRITY OF MATERIALS THROUGHOUT THE CONSTRUCTION PHASE.

DRAWINGS & SPECIFICATION

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS, STRUCTURAL ENGINEERS DESIGNS AND COMPUTATIONS, GEOTECHNICAL REPORTS, AND ALL CONSULTANT DRAWINGS AND DETAILS.
- UNDER NO CIRCUMSTANCES MAY THE DRAWINGS, OR SPECIFICATION, BE DEPARTED FROM WITHOUT WRITTEN AUTHORIZATION OF THE ARCHITECT/DESIGNER OR BUILDING CERTIFIER.
- THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR THE ENTIRE BUILDING OR STRUCTURE, SHOULD CHANGES OR ALTERATIONS BE MADE TO ANY PART, PRIOR TO, OR DURING CONSTRUCTION WITHOUT PRIOR APPROVAL.

DIMENSIONS

- DO NOT SCALE FROM DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ARE IN MILLIMETRES.

BUILDING CONTRACTOR

- ANY PROPOSED BUILDING CONTRACTOR IS TO MAKE HIMSELF FULLY AWARE OF THE SITE, ITS LOCATION, CONDITIONS, AND THE EXTENT OF WORK, PRIOR TO TENDERING OF ANY CONSTRUCTION WORK ON SITE.

DISCREPANCIES

- ANY DISCREPANCIES FOUND BETWEEN THE ARCHITECTURAL AND OTHER CONSULTANT DRAWINGS, SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT / DESIGNER FOR RESOLUTION.

HIERACHY OF DOCUMENTATION

- THE HIERARCHY OF DOCUMENTATION IS;
- 1. THE BUILDING CONTRACT
- 2. WRITTEN SPECIFICATIONS (IF ANY)
- 3. REFERENCED DOCUMENTS
- 4. ENGINEER'S DRAWINGS
- 5. ARCHITECTURAL DRAWINGS
- 6. THESE GENERAL NOTES
- 7. SCHEDULES (IF ANY)
- 8. MANUFACTURER'S SPECIFICATIONS

DIMENSIONS, SET BACKS AND LEVELS

- THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS, SPECIFICATIONS, AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THE ARCHITECT / DESIGNER FOR CLARIFICATION.

WATER TIGHTNESS

- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.

THE CONSTRUCTION OF THE ROOF AND EXTERNAL WALLS WILL BE DONE IN A WAY THAT THEY WILL PREVENT THE PENETRATION OF WATER THAT COULD CAUSE UNHEALTHY OR DANGEROUS CONDITIONS OR LOSS OF AMENITY TO OCCUPANTS AND UNDUDE DAMPNESS OR DETERIORATION OF BUILDING ELEMENTS.

TO DEMONSTRATE THAT THE CONSTRUCTION OF THE ROOF AND EXTERNAL WALLS PREVENT THE PENETRATION OF WATER, EVIDENCE OF SUITABILITY UNDER BCA AS 2 WILL NEED TO BE PROVIDED VIA THE FOLLOWING METHODS;
- A CURRENT CODEMARK CERTIFICATE,
- A CURRENT CERTIFICATE OF ACCREDITATION,
- A REPORT ISSUED BY AN ACCREDITED TESTING LABORATORY, OR
- A CERTIFICATE OR REPORT FROM A PROFESSIONAL ENGINEER.
- OR A PERFORMANCE SOLUTION PREPARED BY A SUITABLY QUALIFIED CONSULTANT OR COMPANY.

EXISTING SERVICES

- THE BUILDER IS TO LOCATE AND VISUALLY HIGHLIGHT ANY UNDERGROUND /OVERGROUND SERVICES THAT MAY CLASH WITH PROPOSED BUILDING AND CONSTRUCTION WORKS AND PROPOSED PLANT MOVEMENTS, (1300 LOCATE)

SERVICES

- THE BUILDER AND SUBCONTRACTORS SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES, AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM FOOTING AND/OR SLAB EDGE BEAMS, SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING OR UNDERMINING OF THE BUILDING OR FOOTING SYSTEM.
- WHERE ANY FOOTINGS ARE TO BE CONSTRUCTED ADJACENT TO EASEMENTS, THESE FOOTINGS SHALL BE FOUNDED AT A DEPTH BELOW ANY ANGLE OF REPOSE FROM THE INVERT OF ANY SERVICE WITHIN THE EASEMENT (45 DEGREE FOR CLAY AND 30 DEGREE FOR SAND)
- ALL STORMWATER IS TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE AS DIRECTED BY THE RELEVANT AUTHORITY.

ENERGY RATING

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY ENERGY RATING (BASIX OR SEC. J REPORT), AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS, ENDORSED BY THE ACCREDITED THERMAL PERFORMANCE ASSESSOR WITHOUT ALTERATION.

TERMITE MANAGEMENT

- WHERE THE BUILDING IS LOCATED IN A TERMITE PRONE AREA, THE UNDERSIDE AND PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS3660.1-2014 TERMITE MANAGEMENT.
- TERMITE TREATMENT IS TO BE IN ACCORDANCE WITH ONE OR MORE METHODS SPECIFIED IN AS3660.1 AND THE NATIONAL CONSTRUCTION CODE

WATERPROOFING

- WATERPROOFING OF WET AREA, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE, SHALL BE PROVIDED IN ACCORDANCE WITH AS3470-2010 FOR WATERPROOFING OF DOMESTIC WET AREAS.

WINDOWS & GLAZING

- WINDOWS AND GLAZING TO BE PROVIDED IN ACCORDANCE WITH AS2047-2014 WINDOWS AND GLAZED DOORS IN BUILDINGS
- WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZES MAY VARY ACCORDING TO THE MANUFACTURER. ALL WINDOW SIZES ARE TO BE VERIFIED BY THE BUILDER PRIOR TO ORDERING.
WINDOWS ARE TO BE FLASHED ALL AROUND.
- GLAZING, INCLUDING SAFETY GLAZING, SHALL BE INSTALLED TO A SIZE, TYPE AND THICKNESS SO AS TO COMPLY WITH:
- NCC VOL 2 PART 3.6 FOR CLASS 1 & 10 BUILDINGS (DESIGN WIND SPEED NOT MORE THAN N3)
- NCC VOL 1 PART B1.4 FOR CLASS 2 TO 9 BUILDINGS

STAIRS

- TO BE INSTALLED AS PER AUSTRALIA STANDARDS & B.C.A
- STEP SIZES (OTHER THAN SPIRAL STAIRS) TO BE:
- RISERS (R) 190mm MAX & 115mm MIN
- GOING (G) 355mm MAX & 250mm MIN
- 2R + 1G = 700mm MAX & 550mm MIN
- CLOSED RISERS
- MINIMUM 2030mm CLEARANCE ABOVE STAIRS
ALL TREADS, LANDING AND THE LIKE ARE TO HAVE NON SLIP FINISH OR SUITABLE NON SKID STRIP NEAR EDGE OF NOSING.

ALL NOSING MUST ACHIEVE A SLIP RESISTANCE OF P3.

HANDRAILS

- HANDRAILS ARE TO BE LOCATED ON BOTH SIDES OF RAMPS AND STAIRWAYS IN REQUIRED EXITS (EXCLUDING FIRE ISOLATED STAIRWAYS) WITH A MINIMUM CLEAR WIDTH OF 1M, TO COMPLY WITH CLAUSE 12 OF AS1428.1-2009.

FLOOR FINISHES

NEW FLOOR LININGS/ FLOOR COVERINGS REQUIRE CRITICAL RADIANT FLUX NOT LESS THAN 2.2KWM2 & MAXIMUM SMOKE DEVELOPMENT RATE OF 750 PERCENT-MINUTES.

LUMINANCE CONTRAST

ALL DOORWAYS SHALL HAVE A MINIMUM LUMINANCE CONTRAST OF 30% PROVIDED BETWEEN:

A) DOOR LEAF AND DOOR JAMB;

(B) DOOR LEAF AND ADJACENT WALL;

(C) ARCHITRAVE AND WALL;

(D) DOOR LEAF AND ARCHITRAVE; OR

(E) DOOR JAMB AND ADJACENT WALL.

THE MINIMUM WIDTH OF THE AREA OF LUMINANCE CONTRAST SHALL BE 50mm.

ARTIFICIAL LIGHTING

ARTIFICIAL LIGHTING TO COMPLY WITH AS1680.1-2009 AND PART J6 OF THE BCA VOL. 1

ACCESS & MOBILITY

- FOR BUILDING CLASSES 2 TO 9, ACCESS AND MOBILITY REQUIREMENTS FOR DISABLED PEOPLES ARE TO BE APPLIED IN ACCORDANCE WITH AS1428.1-2009. THIS INCLUDES REQUIREMENTS FOR THE FOLLOWING:
- APPROPRIATE SIGNAGE
- TACTILE GROUND SURFACE INDICATORS (TGIS)
- WALKWAYS, RAMPS & LANDINGS
- STAIRWAYS
- HANDRAILS
- DOORWAYS, DOORS & CIRCULATION SPACE
- SWITCHES AND GPO'S
- SANITARY FACILITIES & COMPARTMENTS
- GRABRAILS
- ASSEMBLY BUILDINGS

TIMBER FRAMING, BRACING & TIE DOWNS

- ALL STRUCTURAL TIMBER FRAMING, BRACING & TIE DOWNS ARE TO BE IN ACCORDANCE WITH AS1684
- F5=PINE, F7=OREGON, F8=HARDWOOD, F17=SEASONED HARDWOOD

STRUCTURAL STEEL

- ALL STRUCTURAL SEEL IS TO BE PROTECTED FROM CORROSION IN MODERATE AND SEVERE ENVIRONMENTS, IN ACCORDANCE WITH RELEVANT STANDARDS.

MECHANICAL VENTILATION

- WHERE REQUIRED, MECHANICAL VENTILATION SHALL COMPLY WITH AS1668.2 AND NCC 2019 AMEND 1

- AIR-CONDITIONING TO COMPLY WITH PART J5 OF THE BCA VOL. 1

MARINE ENVIRONMENTS

- BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE ALL MASONRY UNITS, MORTAR AND BUILT IN COMPONENTS COMPLYING WITH TABLE 4.1 OF AS4773-2015.

FIRE SEPARATION

- FIRE SEPARATION OF BUILDINGS ON BOUNDRY ARE TO BE IN ACCORDANCE WITH NCC BCA Section C Volume 1 2019

STRUCTURAL ELEMENTS

- REFER TO ENGINEERING DRAWINGS FOR NOTES ON:
- DEMOLITION & CLEARING
- EARTHWORKS
- FOOTINGS
- BORED PIERS
- STRUCTURAL STEEL
- TIMBER
- CONCRETE
- REINFORCING
- REINFORCED CONCRETE MASONRY
- RETAINING WALLS
- BEAMS & BRACING
- FLOOR BEARERS & JOISTS

NOTE:

IT IS THE BUILDERS RESPONSIBILITY TO ENSURE ALL AUSTRALIA BUILDING CODES & STANDARDS ARE REFERRED TO AND COMPLIED WITH DURING CONSTRUCTION AT ALL TIMES.

GENERAL WORK HEALTH & SAFETY NOTES

1. FALLS, SLIPS, TRIPS
A) WORKING AT HEIGHTS
DURING CONSTRUCTION
WHEREVER POSSIBLE, COMPONENTS FOR THIS BUILDING SHOULD BE PREFABRICATED OFF-SITE OR AT GROUND LEVEL TO MINIMISE THE RISK OF WORKERS FALLING MORE THAN TWO METRES. HOWEVER, CONSTRUCTION OF THIS BUILDING WILL REQUIRE WORKERS TO BE WORKING AT HEIGHTS WHERE A FALL IN EXCESS OF TWO METRES IS POSSIBLE AND INJURY IS LIKELY TO RESULT FROM SUCH A FALL. THE BUILDER SHOULD PROVIDE A SUITABLE BARRIER WHEREVER A PERSON IS REQUIRED TO WORK IN A SITUATION WHERE FALLING MORE THAN TWO METRES IS A POSSIBILITY.

DURING OPERATION OR MAINTENANCE
FOR HOUSES OR OTHER LOW-RISE BUILDINGS WHERE SCAFFOLDING IS APPROPRIATE:
CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METRES IS POSSIBLE. WHERE THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, LADDERS OR TRESTLES SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION.
FOR BUILDINGS WHERE SCAFFOLD, LADDERS, TRESTLES ARE NOT APPROPRIATE: CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METRES IS POSSIBLE. WHERE THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, FALL BARRIERS OR PERSONAL PROTECTIVE EQUIPMENT (PPE) SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION.

B) SLIPPERY OR UNEVEN SURFACES
FLOOR FINISHES SPECIFIED
IF FINISHES HAVE BEEN SPECIFIED BY DESIGNER, THESE HAVE BEEN SELECTED TO MINIMISE THE RISK OF FLOORS AND PAVED AREAS BECOMING SLIPPERY WHEN WET OR WHEN WALKED ON WITH WET SHOES/FEET. ANY CHANGES TO THE SPECIFIED FINISH SHOULD BE MADE IN CONSULTATION WITH THE DESIGNER OR, IF THIS IS NOT PRACTICAL, SURFACES WITH AN EQUIVALENT OR BETTER SLIP RESISTANCE SHOULD BE CHOSEN.
FLOOR FINISHES BY OWNER
IF DESIGNER HAS NOT NOT BEEN INVOLVED IN THE SELECTION OF SURFACE FINISHES, THE OWNER IS RESPONSIBLE FOR THE SELECTION OF SURFACE FINISHES IN THE PEDESTRIAN TRAFFICABLE AREAS OF THIS BUILDING. SURFACES SHOULD BE SELECTED IN ACCORDANCE WITH AS HB 197:1999 AND AS/NZ 4586.
STEPS, LOOSE OBJECTS AND UNEVEN SURFACES
DUE TO DESIGN RESTRICTIONS FOR THIS BUILDING, STEPS AND/OR RAMPS ARE INCLUDED IN THE BUILDING WHICH MAY BE A HAZARD TO WORKERS CARRYING OBJECTS OR OTHERWISE OCCUPIED. STEPS SHOULD BE CLEARLY MARKED WITH BOTH VISUAL AND TACTILE WARNING DURING CONSTRUCTION. MAINTENANCE, DEMOLITION AND AT ALL TIMES WHEN THE BUILDING OPERATES AS A WORKPLACE. BUILDING OWNERS AND OCCUPIERS SHOULD MONITOR THE PEDESTRIAN ACCESS WAYS AND IN PARTICULAR ACCESS TO AREAS WHERE MAINTENANCE IS ROUTINELY CARRIED OUT TO ENSURE THAT SURFACES HAVE NOT MOVED OR CRACKED SO THAT THEY BECOME UNEVEN AND PRESENT A TRIP HAZARD. SPILLS, LOOSE MATERIAL, STRAY OBJECTS OR ANY OTHER MATTER THAT MAY CAUSE A SLIP OR TRIP HAZARD SHOULD BE CLEANED OR REMOVED FROM ACCESS WAYS.
CONTRACTORS SHOULD BE REQUIRED TO MAINTAIN A TIDY WORK SITE DURING CONSTRUCTION. MAINTENANCE OR DEMOLITION TO REDUCE THE RISK OF TRIPS AND FALLS IN THE WORKPLACE. MATERIALS FOR CONSTRUCTION OR MAINTENANCE SHOULD BE STORED IN DESIGNATED AREAS AWAY FROM ACCESS WAYS AND WORK AREAS.

2. FALLING OBJECTS
LOOSE MATERIALS OR SMALL OBJECTS
CONSTRUCTION, MAINTENANCE OR DEMOLITION WORK ON OR AROUND THIS BUILDING IS LIKELY TO INVOLVE PERSONS WORKING ABOVE GROUND LEVEL OR ABOVE FLOOR LEVELS. WHERE THIS OCCURS ONE OR MORE OF THE FOLLOWING MEASURES SHOULD BE TAKEN TO AVOID OBJECTS FALLING FROM THE AREA WHERE THE WORK IS BEING CARRIED OUT ONTO PERSONS BELOW.
1. PREVENT OR RESTRICT ACCESS TO AREAS BELOW WHERE THE WORK IS BEING CARRIED OUT.
2. PROVIDE TOEBOARDS TO SCAFFOLDING OR WORK PLATFORMS.
3. PROVIDE PROTECTIVE STRUCTURE BELOW THE WORK AREA.
4. ENSURE THAT ALL PERSONS BELOW THE WORK AREA HAVE PERSONAL PROTECTIVE EQUIPMENT (PPE).

BUILDING COMPONENTS
DURING CONSTRUCTION, RENOVATION OR DEMOLITION OF THIS BUILDING, PARTS OF THE STRUCTURE INCLUDING FABRICATED STEELWORK, HEAVY PANELS AND MANY OTHER COMPONENTS WILL REMAIN STANDING PRIOR TO OR AFTER SUPPORTING PARTS ARE IN PLACE. CONTRACTORS SHOULD ENSURE THAT TEMPORARY BRACING OR OTHER REQUIRED SUPPORT IS IN PLACE AT ALL TIMES WHEN COLLAPSE WHICH MAY INJURE PERSONS IN THE AREA IS A POSSIBILITY.

MECHANICAL LIFTING OF MATERIALS AND COMPONENTS DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION PRESENTS A RISK OF FALLING OBJECTS. CONTRACTORS SHOULD ENSURE THAT APPROPRIATE LIFTING DEVICES ARE USED. THAT LOADS ARE PROPERLY SECURED AND THAT ACCESS TO AREAS BELOW THE LOAD IS PREVENTED OR RESTRICTED.

3. TRAFFIC MANAGEMENT
FOR BUILDING ON A MAJOR ROAD, NARROW ROAD OR STEEPLY SLOPING ROAD: PARKING OF VEHICLES OR LOADING/UNLOADING OF VEHICLES ON THIS ROADWAY MAY CAUSE A TRAFFIC HAZARD. DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION OF THIS BUILDING DESIGNATED PARKING FOR WORKERS AND LOADING AREAS SHOULD BE PROVIDED. TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE RESPONSIBLE FOR THE SUPERVISION OF THESE AREAS. FOR BUILDING WHERE ON-SITE LOADING/UNLOADING IS RESTRICTED: CONSTRUCTION OF THIS BUILDING WILL REQUIRE LOADING AND UNLOADING OF MATERIALS ON THE ROADWAY. DELIVERIES SHOULD BE WELL PLANNED TO AVOID CONGESTION OF LOADING AREAS AND TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE USED TO SUPERVISE LOADING/UNLOADING AREAS.
FOR ALL BUILDINGS:
BUSY CONSTRUCTION AND DEMOLITION SITES PRESENT A RISK OF COLLISION WHERE DELIVERIES AND OTHER TRAFFIC ARE MOVING WITHIN THE SITE. A TRAFFIC MANAGEMENT PLAN SUPERVISED BY TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE ADOPTED FOR THE WORK SITE.

4. SERVICES

GENERAL
RUPTURE OF SERVICES DURING EXCAVATION OR OTHER ACTIVITY CREATES A VARIETY OF RISKS INCLUDING RELEASE OF HAZARDOUS MATERIAL. EXISTING SERVICES ARE LOCATED ON OR AROUND THIS SITE. WHERE KNOWN, THESE ARE IDENTIFIED ON THE PLANS BUT THE EXACT LOCATION AND EXTENT OF SERVICES MAY VARY FROM THAT INDICATED. SERVICES SHOULD BE LOCATED USING AN APPROPRIATE SERVICE (SUCH AS DIAL BEFORE YOU DIG), APPROPRIATE EXCAVATION PRACTICE SHOULD BE USED AND, WHERE NECESSARY, SPECIALIST CONTRACTORS SHOULD BE USED. LOCATIONS WITH UNDERGROUND POWER: UNDERGROUND POWER LINES MAY BE LOCATED IN OR AROUND THIS SITE. ALL UNDERGROUND POWER LINES MUST BE DISCONNECTED OR CAREFULLY LOCATED AND ADEQUATE WARNING SIGNS USED PRIOR TO ANY CONSTRUCTION, MAINTENANCE OR DEMOLITION COMMENCING. LOCATIONS WITH OVERHEAD POWER LINES: OVERHEAD POWER LINES MAY BE NEAR OR ON THIS SITE. THESE POSE A RISK OF ELECTROCUTION IF STRUCK OR APPROACHED BY LIFTING DEVICES OR OTHER PLANT AND PERSONS WORKING ABOVE GROUND LEVEL. WHERE THERE IS A DANGER OF THIS OCCURRING, POWER LINES SHOULD BE, WHERE PRACTICAL, DISCONNECTED OR RELOCATED. WHERE THIS IS NOT PRACTICAL, ADEQUATE WARNING IN THE FORM OF BRIGHT COLOURED TAPE OR SIGNAGE SHOULD BE.

5. MANUAL TASKS
COMPONENTS WITHIN THIS DESIGN WITH A MASS IN EXCESS OF 25KG SHOULD BE LIFTED BY TWO OR MORE WORKERS OR BY MECHANICAL LIFTING DEVICE. WHERE THIS IS NOT PRACTICAL, SUPPLIERS OR FABRICATORS SHOULD BE REQUIRED TO LIMIT THE COMPONENT MASS.
ALL MATERIAL PACKAGING, BUILDING AND MAINTENANCE COMPONENTS SHOULD CLEARLY SHOW THE TOTAL MASS OF PACKAGES AND WHERE PRACTICAL ALL ITEMS SHOULD BE STORED ON SITE IN A WAY WHICH MINIMISES BENDING BEFORE LIFTING. ADVICE SHOULD BE PROVIDED ON SAFE LIFTING METHODS IN ALL AREAS WHERE LIFTING MAY OCCUR. CONSTRUCTION, MAINTENANCE AND DEMOLITION OF THIS BUILDING WILL REQUIRE THE USE OF PORTABLE TOOLS AND EQUIPMENT. THESE SHOULD BE FULLY MAINTAINED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND NOT USED WHERE FAULTY OR (IN THE CASE OF ELECTRICAL EQUIPMENT) NOT CARRYING A CURRENT ELECTRICAL SAFETY TAG. ALL SAFETY GUARDS OR DEVICES SHOULD BE REGULARLY CHECKED AND PERSONAL PROTECTIVE EQUIPMENT SHOULD BE USED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.

6. HAZARDOUS SUBSTANCES

ASBESTOS
FOR ALTERATIONS TO A BUILDING CONSTRUCTED PRIOR TO 1990: IF THIS EXISTING BUILDING WAS CONSTRUCTED PRIOR TO 1990 - IT THEREFORE MAY CONTAIN ASBESTOS
1986 - IT THEREFORE IS LIKELY TO CONTAIN ASBESTOS
EITHER IN CLADDING MATERIAL OR IN FIRE RETARDANT INSULATION MATERIAL. IN EITHER CASE, THE BUILDER SHOULD CHECK AND, IF NECESSARY, TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.

POWDERED MATERIALS
MANY MATERIALS USED IN THE CONSTRUCTION OF THIS BUILDING CAN CAUSE HARM IF INHALED IN POWDERED FORM. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL, MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION WHILE USING POWDERED MATERIAL OR WHEN SANDING, DRILLING, CUTTING OR OTHERWISE DISTURBING OR CREATING POWDERED MATERIAL.

TREATED TIMBER

THE DESIGN OF THIS BUILDING MAY INCLUDE PROVISION FOR THE INCLUSION OF TREATED TIMBER WITHIN THE STRUCTURE. DUST OR FUMES FROM THIS MATERIAL CAN BE HARMFUL. PERSONS WORKING ON OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL, MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL WHEN SANDING, DRILLING, CUTTING OR USING TREATED TIMBER IN ANY WAY THAT MAY CAUSE HARMFUL MATERIAL TO BE RELEASED. DO NOT BURN TREATED TIMBER.

VOLATILE ORGANIC COMPOUNDS

MANY TYPES OF GLUE, SOLVENTS, SPRAY PACKS, PAINTS, VARNISHES AND SOME CLEANING MATERIALS AND DISINFECTANTS HAVE DANGEROUS EMISSIONS. AREAS WHERE THESE ARE USED SHOULD BE KEPT WELL VENTILATED WHILE THE MATERIAL IS BEING USED AND FOR A PERIOD AFTER INSTALLATION. PERSONAL PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURERS RECOMMENDATIONS FOR USE MUST BE CAREFULLY CONSIDERED AT ALL TIMES.

7. CONFINED SPACES

EXCAVATION
CONSTRUCTION OF THIS BUILDING AND SOME MAINTENANCE ON THE BUILDING WILL REQUIRE EXCAVATION AND INSTALLATION OF ITEMS WITHIN EXCAVATIONS. WHERE PRACTICAL, INSTALLATION SHOULD BE CARRIED OUT USING METHODS WHICH DO NOT REQUIRE WORKERS TO ENTER THE EXCAVATION. WHERE THIS IS NOT PRACTICAL, ADEQUATE SUPPORT FOR THE EXCAVATED AREA SHOULD BE PROVIDED TO PREVENT COLLAPSE. WARNING SIGNS AND BARRIERS TO PREVENT ACCIDENTAL OR UNAUTHORISED ACCESS TO ALL EXCAVATIONS SHOULD BE PROVIDED.

ENCLOSED SPACES

FOR BUILDINGS WITH ENCLOSED SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED:
ENCLOSED SPACES WITHIN THIS BUILDING MAY PRESENT A RISK TO PERSONS ENTERING FOR CONSTRUCTION, MAINTENANCE OR ANY OTHER PURPOSE. THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS. THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING. WHERE WORKERS ARE REQUIRED TO ENTER ENCLOSED SPACES, AIR TESTING EQUIPMENT AND PERSONAL PROTECTIVE EQUIPMENT SHOULD BE PROVIDED.

SMALL SPACES

FOR BUILDINGS WITH SMALL SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED:
SOME SMALL SPACES WITHIN THIS BUILDING WILL REQUIRE ACCESS BY CONSTRUCTION OR MAINTENANCE WORKERS. THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS. THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING. WHERE WORKERS ARE REQUIRED TO ENTER SMALL SPACES THEY SHOULD BE SCHEDULED SO THAT ACCESS IS FOR SHORT PERIODS. MANUAL LIFTING AND OTHER MANUAL ACTIVITY SHOULD BE RESTRICTED IN SMALL SPACES.

8. PUBLIC ACCESS

ALL ELECTRICAL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING ELECTRICAL RISKS AT THE WORKPLACE, AS/NZ 3012 AND ALL LICENSING REQUIREMENTS. ALL WORK USING PLANT SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING RISKS OF PLANT AT THE WORKPLACE. ALL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK. DUE TO THE HISTORY OF SERIOUS INCIDENTS IT IS RECOMMENDED THAT PARTICULAR CARE BE EXERCISED WHEN UNDERTAKING WORK INVOLVING STEEL CONSTRUCTION AND CONCRETE PLACEMENT. ALL THE ABOVE APPLIES.

9. OPERATIONAL USE OF BUILDING RESIDENTIAL BUILDINGS

THIS BUILDING HAS BEEN DESIGNED AS A RESIDENTIAL BUILDING. IF IT, AT A LATER DATE, IT IS USED OR INTENDED TO BE USED AS A WORKPLACE, THE PROVISIONS OF THE WORK HEALTH AND SAFETY ACT 2011 OR SUBSEQUENT REPLACEMENT ACT SHOULD BE APPLIED TO THE NEW USE.

10. OTHER HIGH RISK ACTIVITY
ALL ELECTRICAL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING ELECTRICAL RISKS AT THE WORKPLACE, AS/NZ 3012 AND ALL LICENSING REQUIREMENTS. ALL WORK USING PLANT SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING RISKS OF PLANT AT THE WORKPLACE. ALL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK. DUE TO THE HISTORY OF SERIOUS INCIDENTS IT IS RECOMMENDED THAT PARTICULAR CARE BE EXERCISED WHEN UNDERTAKING WORK INVOLVING STEEL CONSTRUCTION AND CONCRETE PLACEMENT. ALL THE ABOVE APPLIES.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT: THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINENORS, DEMOLISHERS.

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ALL FINISHES NOMINATED ON THESE ARCHITECTURAL PLANS ARE INDICATIVE ONLY

ARCHITECTURAL DRAWING SHEETS

SHEET	SHEET NAME
A100	COVER SHEET
A102	NOTES
A200	SITE PLAN
A201	EXISTING SITE PLAN
A300	OVERALL FLOOR PLAN
A301	UNIT 1 - 3 - GROUND FLOOR PLAN
A302	UNIT 4 - 7 - GROUND FLOOR PLAN
A303	UNIT 1 - 3 & 7 MEZZANINE FLOOR PLANS
A304	GROUND FLOOR REFLECTIVE CEILING PLAN
A305	MEZZANINE REFLECTIVE CEILING PLAN
A307	GROUND FLOOR - EXIT TRAVEL DISTANCE PLAN
A308	MEZZANINE - EXIT TRAVEL DISTANCE PLAN
A401	ROOF PLAN
A500	BUILDING ELEVATIONS
A501	BUILDING ELEVATIONS
A502	BUILDING ELEVATIONS
A503	SECTIONS
A504	SECTIONS
A600	ACCESSIBLE WC / SHR FLOOR PLAN, ELEVATIONS & 3D
A601	AMBULANT WC FLOOR PLAN, ELEVATIONS & 3D
A602	TYPICAL ACCESSIBLE SHR & WASHBASIN AMENITIES AS1428
A603	TYPICAL ACCESSIBLE WC AMENITIES
A604	TYPICAL ACCESSIBLE DOOR CIRCULATION SPACE DIAGRAMS
A605	TYPICAL STAIR DIAGRAMS
A700	TYPICAL KITCHEN PLANS
A701	EXTERNAL FEATURE CLADDING OPTIONS
A702	DOOR SCHEDULE
A703	WINDOW SCHEDULE

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23
	FOR FINAL REVIEW	PC	16.06.23

GENERAL NOTES:
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED.
CONFIRM THE SCALE OF HARDCOPY DRAWINGS BY USING THE ATTACHED SCALE BAR.
CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR BEFORE SET OUT.

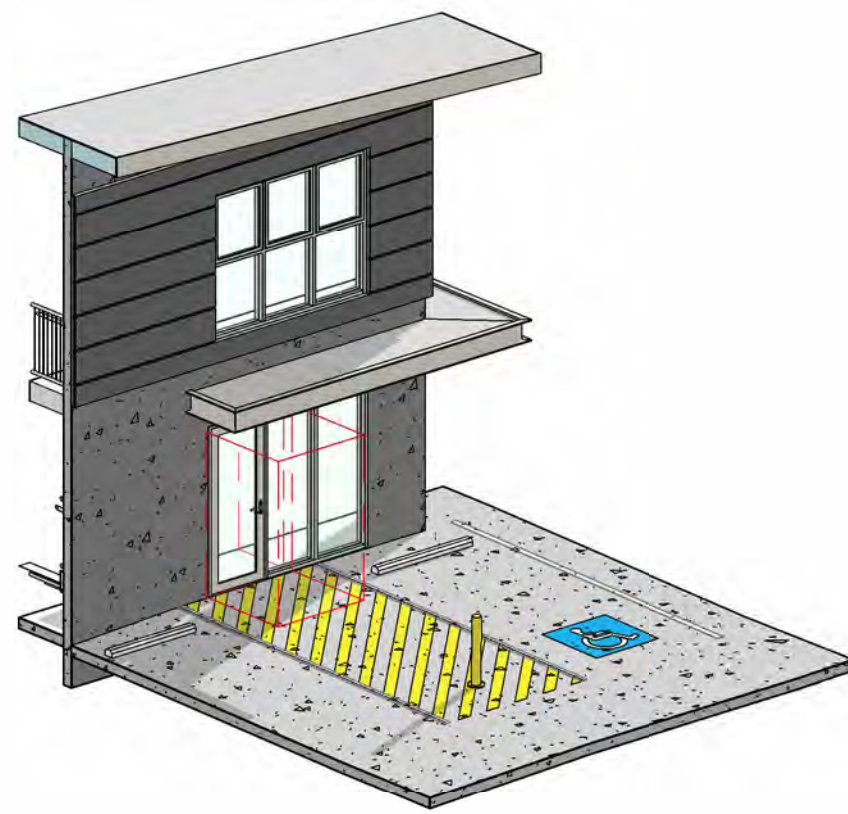


CONTACT DETAILS:
PO Box 111, TORONTO, 2283
MOBILE: 0416844524
ABN: 94 116 169 264 / ACN: 151 135 447
INDUSTRIAL & COMMERCIAL STEEL BUILDING SPECIALISTS

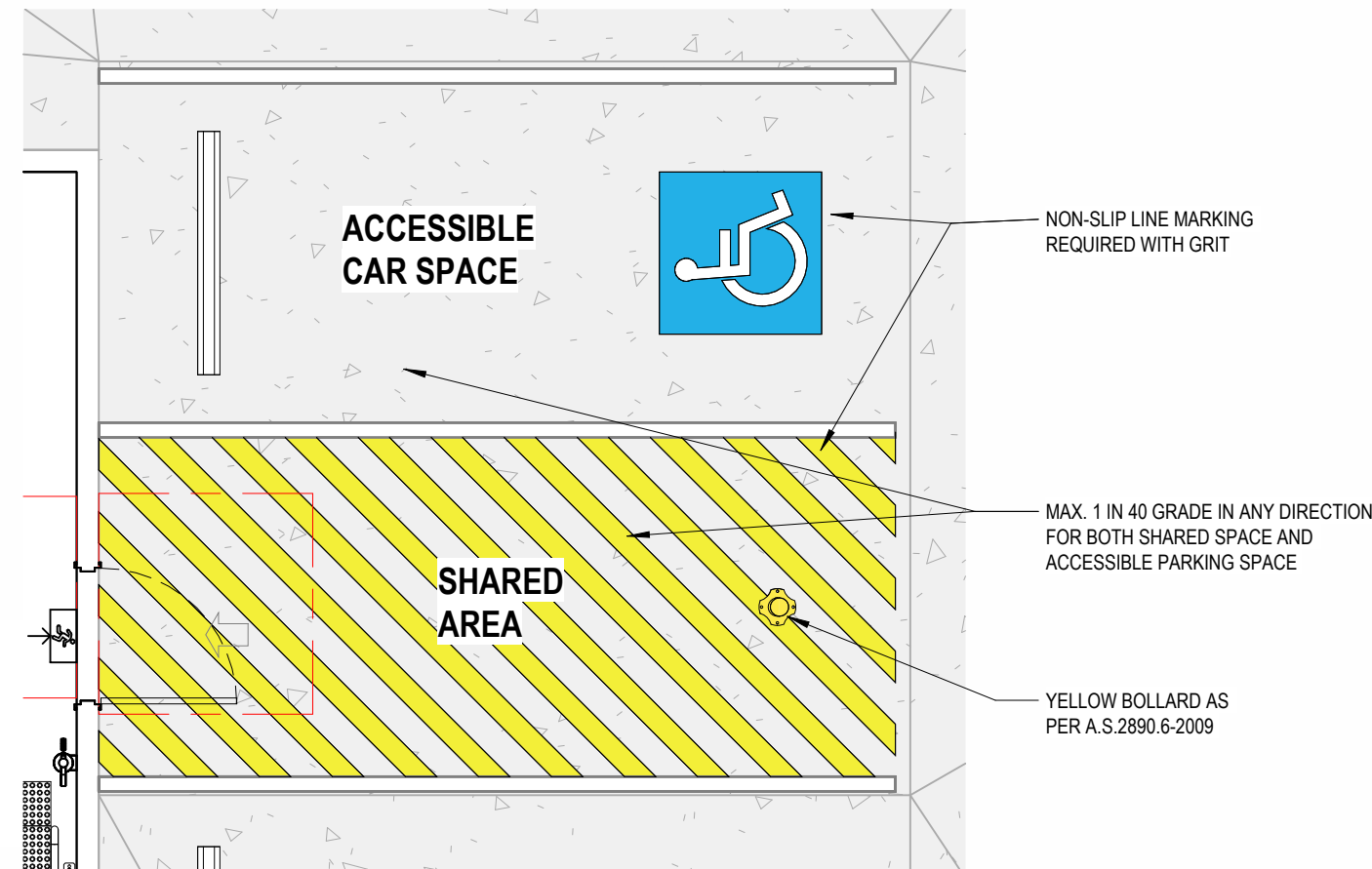
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PC	PC	1 : 1 @ A1
APPROVED:	APPROVED DATE:	NORTH:
CC	16 JUNE 23'	
CLIENT:	Terapale Pty Ltd	

PROJECT:		
PROPOSED DEVELOPMENT AT LOT 402, D.P.1278483, 20 BRODIE STREET, MORISSET, NSW, 2264		
TITLE:		
NOTES		
PROJECT NUMBER:	SHEET NUMBER:	REV:
23013	A102	

APPROVAL ISSUE
NOT FOR CONSTRUCTION



3 ACCESSIBLE PARKING SPACE 3D



ACCESSIBLE CAR PARKING SPACE
IN ACCORDANCE WITH AS2890.6

2 ACCESSIBLE PARKING SPACE
1:50

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**ACCESSIBLE CAR PARKING SPACE IN
ACCORDANCE WITH A.S. 2890.6**

SPACE IDENTIFICATION
EACH DEDICATED SPACE SHALL BE IDENTIFIED BY MEANS OF A WHITE SYMBOL OF ACCESS IN ACCORDANCE WITH AS 1428.1 BETWEEN 800mm AND 1000mm HIGH PLACED ON A BLUE RECTANGLE WITH NO SIDE MORE THAN 1200mm, PLACED AS A PAVEMENT MARKING IN THE CENTRE OF THE SPACE BETWEEN 500mm AND 600mm FROM ITS ENTRY POINT AS ILLUSTRATED

SPACE DELINEATION
PAVEMENT MARKINGS SPECIFIED IN ITEMS (A) AND (B) OF THIS CLAUSE SHALL BE YELLOW AND SHALL HAVE A SLIP RESISTANT SURFACE. RAISED PAVEMENT MARKERS SHALL NOT BE USED FOR SPACE DELINEATION. PAVEMENT MARKINGS SHALL BE PROVIDED AS FOLLOWS:

1. LINEMARKING

1.1. DEDICATED PARKING SPACES SHALL BE OUTLINED WITH UNBROKEN LINES 80 TO 100mm WIDE ON ALL SIDES EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL.

2. SHARED AREAS SHALL BE MARKED AS FOLLOWS:

2.1. WALKWAYS WITHIN OR PARTLY WITHIN A SHARED AREA SHALL BE MARKED WITH UNBROKEN LONGITUDINAL LINES ON BOTH SIDES OF THE WALKWAY EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL.
2.2. OTHER VACANT NON-TRAFFICKED AREAS, WHICH MAY BE INTENTIONALLY OR UNINTENTIONALLY OBSTRUCTED (E.G. BY UNINTENDED PARKING), SHALL BE OUTLINED WITH UNBROKEN LINES 80 TO 100mm WIDE ON ALL SIDES EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL, AND MARKED WITH DIAGONAL STRIPES 150 TO 200mm WIDE WITH SPACES 200mm TO 300mm BETWEEN STRIPES. THE STRIPES SHALL BE AT AN ANGLE OF 45 ± 10 DEGREES TO THE SIDE OF THE SPACE.
2.3. NO SHARED AREA MARKINGS SHALL BE PLACED IN TRAFFICKED AREAS.
2.4. ALL LINEMARKING MUST BE NON SLIP

3. BOLLARDS:

3.1. MINIMUM HEIGHT 1300mm
3.2. RECOMMENDED YELLOW BOLLARD AS PER A.S.2890.6-2009
3.3. RECOMMEND FLEXIBLE BOLLARDS TO REDUCE MOTOR VEHICLE DAMAGE

SITE NOTES

- REFER TO ENGINEERS DOCUMENTATION FOR ALL RETAINING WALL LOCATIONS & HEIGHTS, FINISHED LEVELS, & STORMWATER DETAILS.
- REFER TO LANDSCAPE PLAN BY OTHERS, FOR ALL LANDSCAPING REQUIREMENTS & SPECIFICATIONS.
- PROPOSED DEVELOPMENT TO BE SET OUT BY A REGISTERED SURVEYOR PRIOR TO ANY WORKS COMMENCING.

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23
	FOR FINAL REVIEW	PC	16.06.23

GENERAL NOTES:
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CHAPPELL
BUILDING SYSTEMS

CONTACT DETAILS:
PO Box 111, TORONTO, 2283
MOBILE: 0410644524
ABN: 94 116 169 264 / ACN: 151 135 447
INDUSTRIAL & COMMERCIAL
STEEL BUILDING SPECIALISTS

DESIGNED:	DRAWN:	SCALE:
PC	PC	As indicated @ A1
APPROVED:	APPROVED DATE:	NORTH:
FS	16 JUNE 23'	
CLIENT:	Terapale Pty Ltd	

PROJECT:
PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

TITLE:
SITE PLAN

PROJECT NUMBER:	SHEET NUMBER:	REV:
23013	A200	

APPROVAL ISSUE
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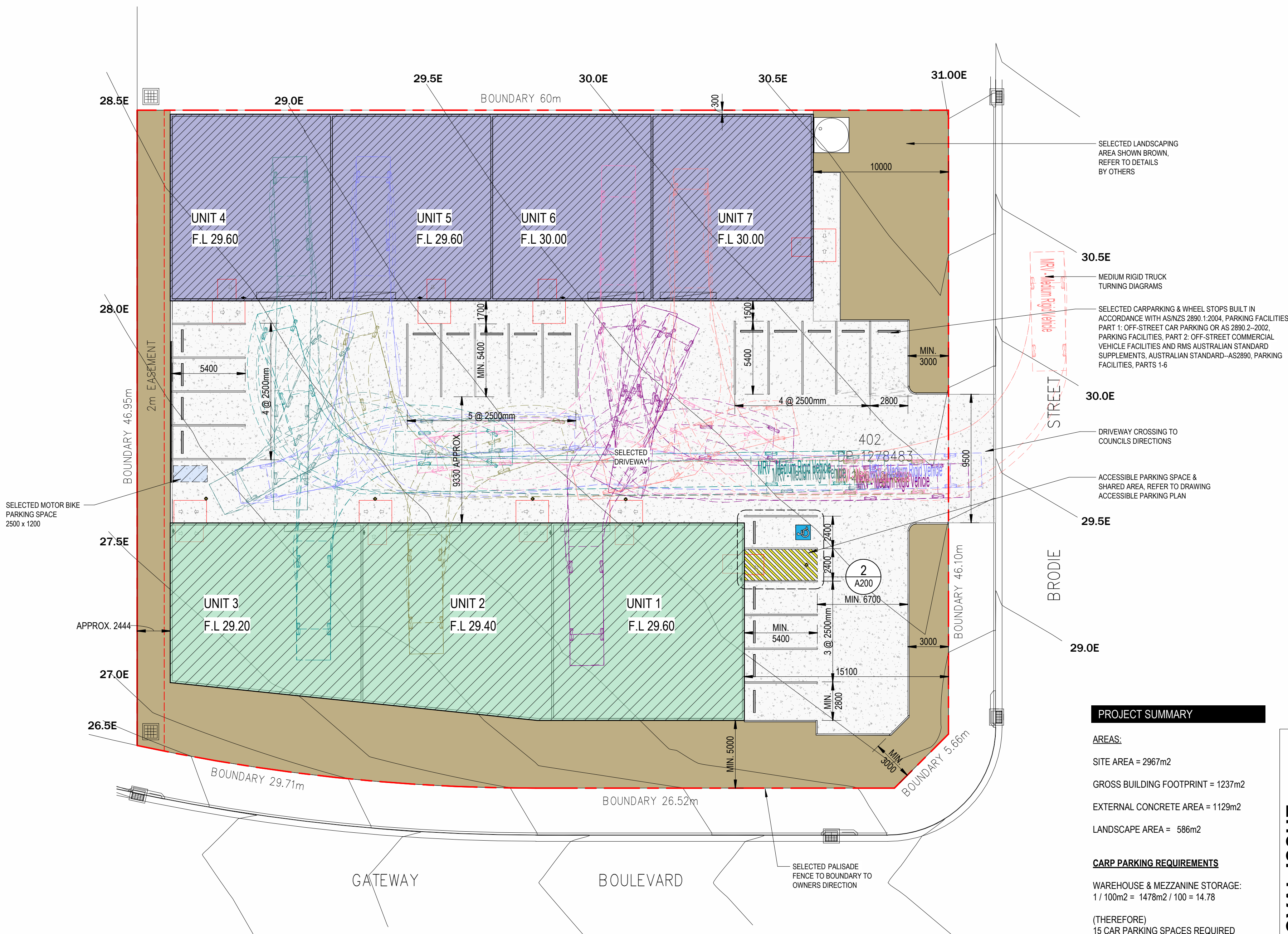
PROJECT SUMMARY

AREAS:

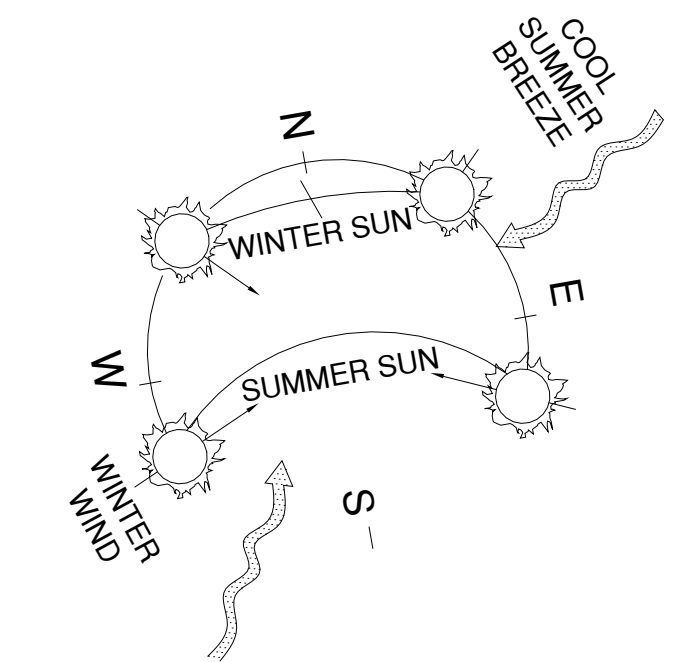
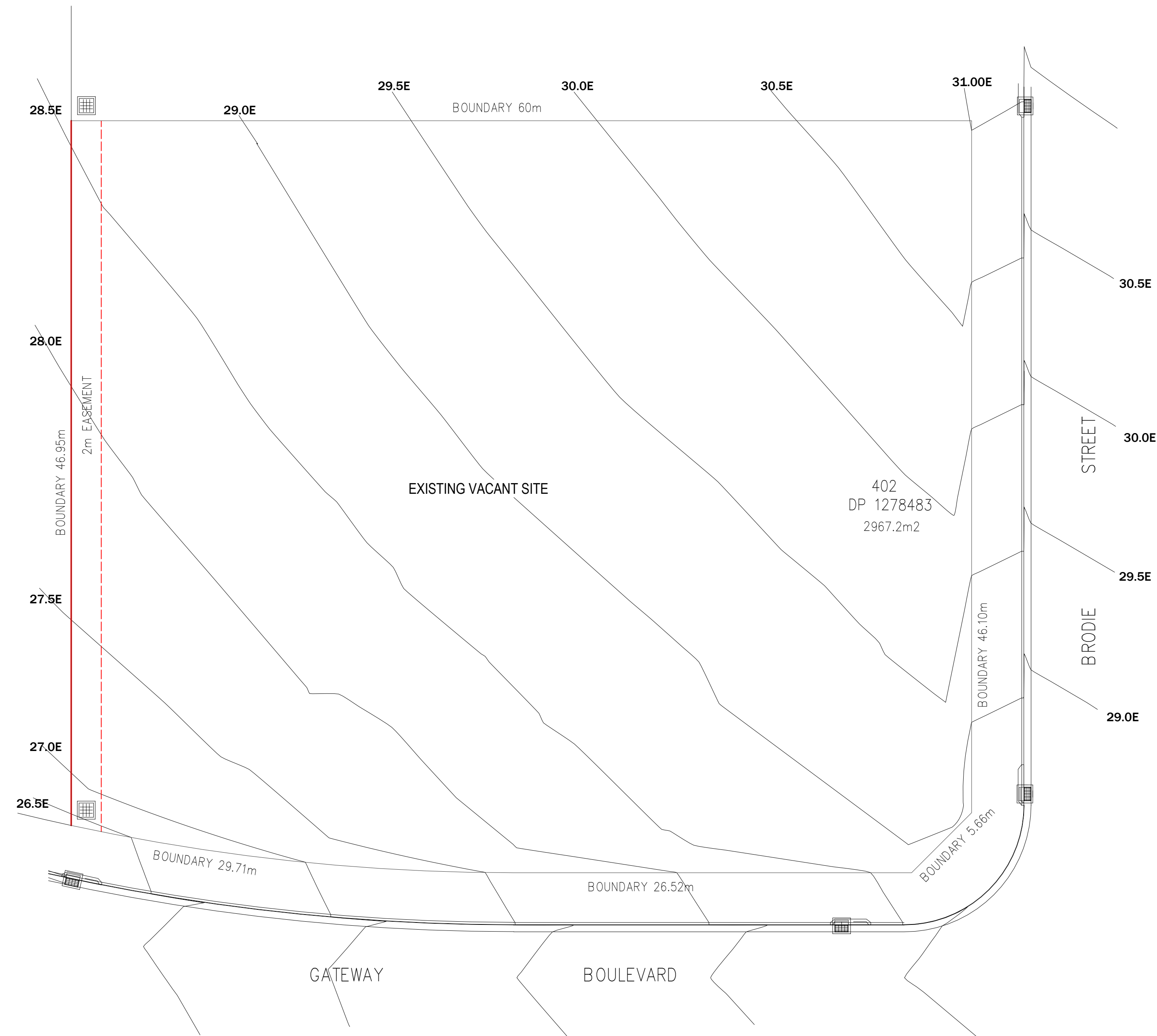
SITE AREA = 2967m²
GROSS BUILDING FOOTPRINT = 1237m²
EXTERNAL CONCRETE AREA = 1129m²
LANDSCAPE AREA = 586m²

CARP PARKING REQUIREMENTS

WAREHOUSE & MEZZANINE STORAGE:
1 / 100m² = 1478m² / 100 = 14.78
(THEREFORE)
15 CAR PARKING SPACES REQUIRED
TOTAL 19 CAR SPACES PROVIDED



1 SITE PLAN
1:200

[illegible]

GENERAL NOTES:


USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED.

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MOBILE: 0410644524	STEEL BUILDING SPECIALISTS
ABN: 94 116 169 264 / ACN: 151 135 447	

DESIGNED:	DRAWN:	SCALE:
PC	PC	As indicated @ A1
APPROVED:	APPROVED DATE:	NORTH:
CC	16 JUNE 23'	<p>NORTH</p> 
CLIENT:		
Terapale Pty Ltd		

PROJECT:

PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

TITLE:		
EXISTING SITE PLAN		
PROJECT NUMBER:	SHEET NUMBER:	REV:
23013	A201	

APPROVAL ISSUE
NOT FOR CONSTRUCTION

MEZZANINE	101 m ²
SHR	2 m ²
VAN	3 m ²
WC	2 m ²
	108 m ²

UNIT 3	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m ²
WAREHOUSE	162 m ²
	169 m ²
MEZZANINE	
MEZZANINE	53 m ²
	53 m ²

UNIT 5	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m ²
WAREHOUSE	150 m ²
	157 m ²

UNIT 7	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m ²
WAREHOUSE	150 m ²
	157 m ²

[illegible]

GENERAL NOTES:

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DESIGNED:	DRAWN:	SCALE:
PC	PC	1 : 200 @ A1
APPROVED:	APPROVED DATE:	NORTH:

PROJECT:
PROPOSED DEVELOPMENT
AT LOT 402, D.P. 1278483

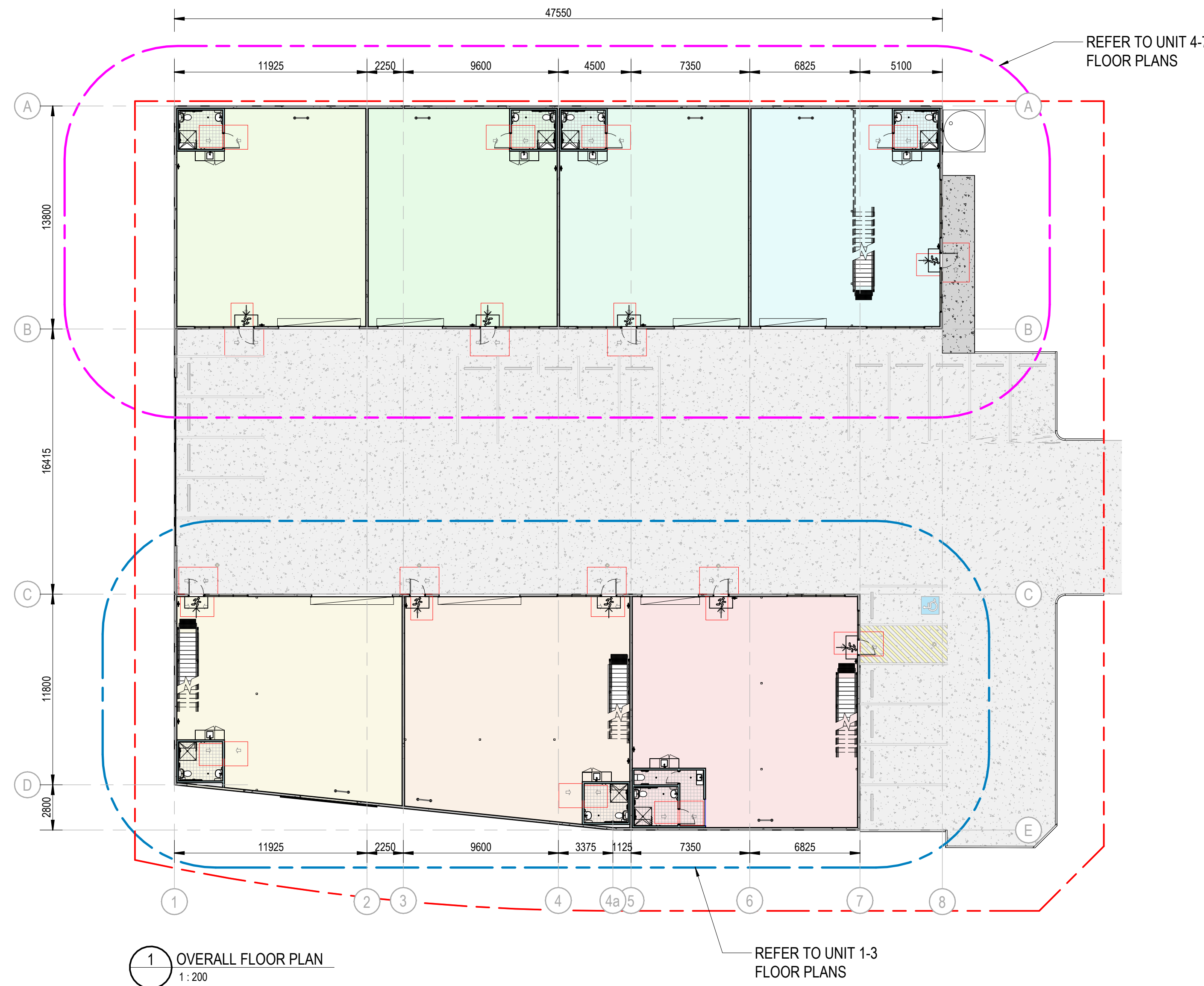
20 BRODIE STREET, MORISSET, NSW, 2264

TITLE:

OVERALL FLOOR PLAN

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APPROVAL ISSUE
NOT FOR CONSTRUCTION



UNITS BY COLOUR

- UNIT 1
UNIT 2
UNIT 3
UNIT 4
UNIT 5
UNIT 6
UNIT 7



AREA SCHEDULE

NAME	AREA (m ²)
UNIT 1	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m ²
AMBULANT WC	3 m ²
VAN	5 m ²
WAREHOUSE	183 m ²
	197 m ²
MEZZANINE	
MEZZANINE	101 m ²
SHR	2 m ²
VAN	3 m ²
WC	2 m ²
	108 m ²

UNIT 2	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m ²
WAREHOUSE	183 m ²
	189 m ²
MEZZANINE	
MEZZANINE	68 m ²
	68 m ²

UNIT 3	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m ²
WAREHOUSE	162 m ²
	169 m ²
MEZZANINE	
MEZZANINE	53 m ²
	53 m ²

UNIT 4	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m²
WAREHOUSE	150 m²
	157 m²

ACCESSIBLE WC / SHR	7 m²
WAREHOUSE	150 m²
	157 m²

ACCESSIBLE WC / SHR	7 m²
WAREHOUSE	150 m²
	157 m²

ACCESSIBLE WC / SHR	7 m²
WAREHOUSE	150 m²
	157 m²

MEZZANINE	68 m ²
	68 m ²
TOTAL	1481 m ²


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GENERAL NOTES

1. PROVIDE EXIT LIGHT AT EXTERNAL DOORS TO BCA E4.5, E4.6, E4.8 & ASINZS2293.1-2018, LOCATIONS SHOWN ON PLANS
2. EXIT SIGNS TO BE IN ACCORDANCE WITH BCA E4.2, E4.4 & ASINZS2293.1-2018.
3. FIRE EXTINGUISHERS TO BE INSTALLED IN ACCORDANCE WITH BCA E1.6 & AS2444-2001.
4. EMERGENCY LIGHTING, AT LOCATIONS REQUIRED TO MEET AS2293.1-2018
5. LIGHTING - THE MAXIMUM ILLUMINATION POWER DENSITY FOR THE ARTIFICIAL LIGHTING IN THE TENANCY IS 10W/M2, TO COMPLY WITH PART J.6 "ARTIFICIAL LIGHTING".
6. 'D' LEVER ACTION DOOR HARDWARE IS TO BE PROVIDED TO THE REQUIRED EXITS AND BE OPERABLE WITHOUT A KEY FROM THE SIDE THAT FACES A PERSON SEEKING EGRESS LOCATED BETWEEN 900mm AND 1.1m FROM THE FLOOR AND THE LEVER ACTION HARDWARE IS TO BE DESIGNED THAT A HAND OF A PERSON WHO CANNOT GRIP WILL NOT SLIP FROM THE HANDLE DURING OPERATION AND HAVE A CLEARANCE BETWEEN THE HANDLE AND BACK PLATE OR DOOR FACE OF THE HANDLE OR NOT LESS THAN 35mm AND NOT MORE THAN 45mm.
7. NEW FLOOR LININGS/ FLOOR COVERINGS REQUIRE CRITICAL RADIANT FLUX NOT LESS THAN 2.2KW/m2 & MAXIMUM SMOKE DEVELOPMENT RATE OF 750 PERCENT - MINUTES.

WALL LEGEND

 - 92mm METAL STUD WALL WITH PLASTERBOARD & VILLABOARD LININGS

 - 150mm THICK CONCRETE TILT UP PANEL

 - 150mm THICK CONCRETE TILT UP PANEL & METAL FURRING CHANNEL WITH LYSAGHT ENSEAM CLADDING OVER OR SIMILAR TO OWNERS REQUIREMENTS. INSTALLED TO MANUFACTURERS DETAIL & SPECIFICATIONS

KEYNOTE LEGEND

CODE	DESCRIPTION
F.BIK-01	BIKE RACK
F.FPE-03	FIRE EXTINGUISHER
T.TGS-01	TGSI
STA-02	INTERNAL STAIRS TO COMPLY WITH A.S. 1428
W.PA	WALLS - PARTITION
S.COL	STRUCTURAL COLUMN
S.WTC	CONCRETE WALL - TILT

TACTILE GROUND SURFACE INDICATORS (TGSIs)

TACTILE GROUND SURFACE INDICATORS TGSIs TO WARN PEOPLE OF HAZARDS SHALL BE IN ACCORDANCE WITH AS/NZS 1428.4.1

[illegible]

GENERAL NOTES


USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED.
CONFIRM THE SCALE OF HARDCOPY DRAWINGS BY USING THE ATTACHED SCALE BAR.
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CONTACT DETAILS

Po Box 111 , TORONTO, 2283
MOBILE: 0410644524
ABN: 94 116 169 264 / ACN: 151 135 447

**INDUSTRIAL & COMMERCIAL
STEEL BUILDING SPECIALISTS**

DESIGNED:	DRAWN:	SCALE:
PC	PC	As indicated @ A1
APPROVED:	APPROVED DATE:	NORTH:
FS	16 JUNE 23'	
CLIENT:		
Terapale Pty Ltd		

PROJECT

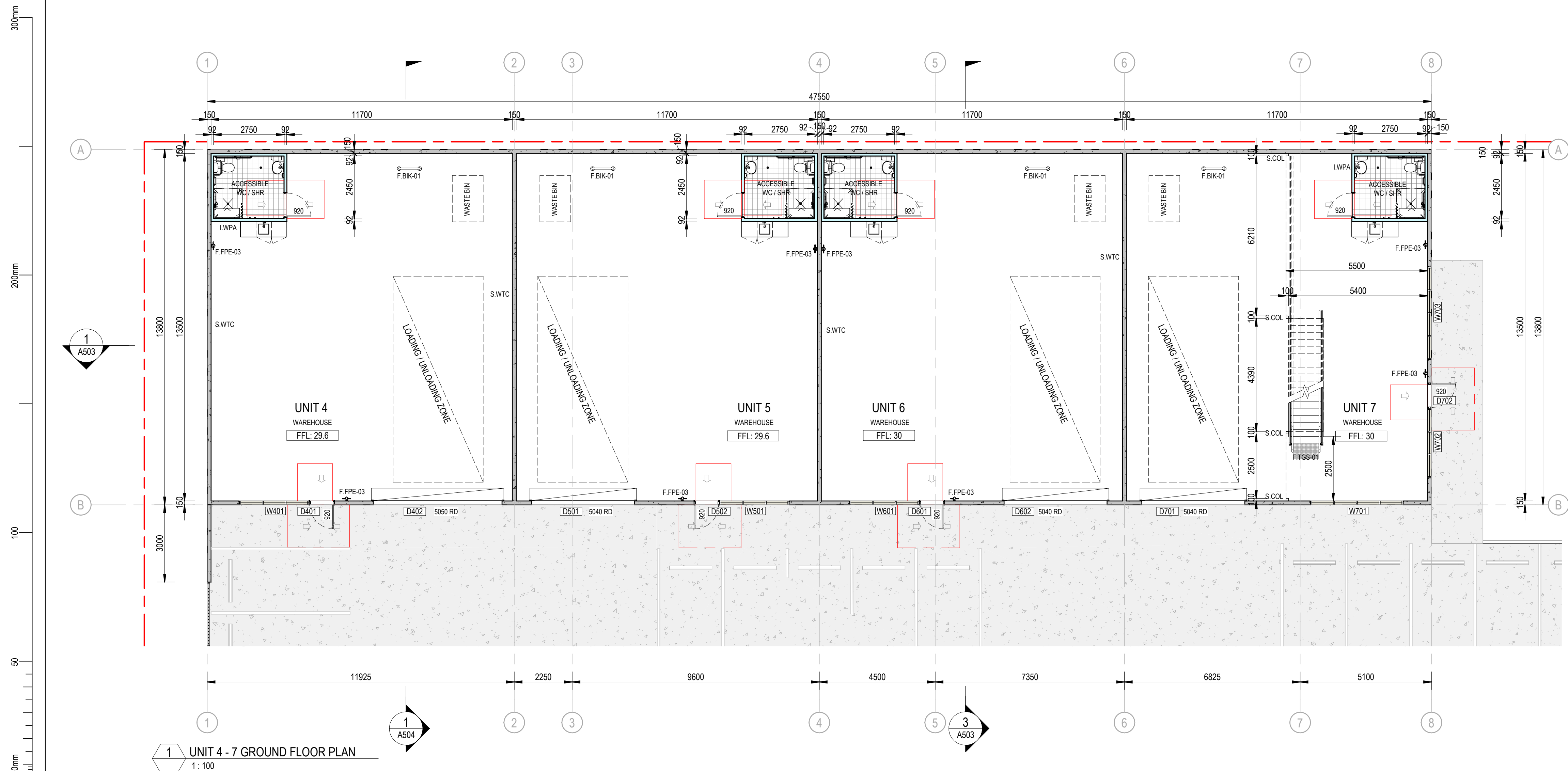
PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

TITLE

UNIT 1 - 3 - GROUND FLOOR PLAN

PROJECT NUMBER:	SHEET NUMBER:	REV:
23013	A301	

APPROVAL ISSUE
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AREA SCHEDULE

NAME	AREA (m ²)
UNIT 1	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m ²
AMBULANT WC	3 m ²
VAN	5 m ²
WAREHOUSE	183 m ²
	197 m ²
MEZZANINE	
MEZZANINE	101 m ²
SHR	2 m ²
VAN	3 m ²
WC	2 m ²
	108 m ²

UNIT 2	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m ²
WAREHOUSE	183 m ²
	189 m ²
MEZZANINE	
MEZZANINE	68 m ²
	68 m ²

UNIT 3	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m²
WAREHOUSE	162 m²
	169 m²
MEZZANINE	
MEZZANINE	53 m²
	53 m²

UNIT 4	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m ²
WAREHOUSE	150 m ²
	157 m ²

UNIT 5	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m²
WAREHOUSE	150 m²
	157 m²

UNIT 6	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m²
WAREHOUSE	150 m²
	157 m²

UNIT 7	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m ²
WAREHOUSE	150 m ²
	157 m ²

MEZZANINE	
MEZZANINE	68 m ²
	68 m ²
TOTAL	1481 m ²

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GENERAL NOTES

- PROVIDE EXIT LIGHT AT EXTERNAL DOORS TO BCA E4.5, E4.6, E4.8 & S/NZS2293.1-2018, LOCATIONS SHOWN ON PLANS
- EXIT SIGNS TO BE IN ACCORDANCE WITH BCA E4.2, E4.4 & S/NZS2293.1-2018.
- FIRE EXTINGUISHERS TO BE INSTALLED IN ACCORDANCE WITH BCA E1. AS2444-2001.
- EMERGENCY LIGHTING, AT LOCATIONS REQUIRED TO MEET S2293.1-2018
- THE LIGHTING - THE MAXIMUM ILLUMINATION POWER DENSITY FOR THE ARTIFICIAL LIGHTING IN THE TENANCY IS 10W/m2, TO COMPLY WITH PART 3.1 "ARTIFICIAL LIGHTING".
- 'D' LEVER ACTION DOOR HARDWARE IS TO BE PROVIDED TO THE REQUIRED EXITS AND BE OPENABLE WITHOUT A KEY FROM THE SIDE AND FACE A PERSON SEEKING EGRESS LOCATED BETWEEN 900mm AND 1.1m FROM THE FLOOR AND THE LEVER ACTION HARDWARE IS TO BE PROVIDED THAT A HAND OF A PERSON WHO CANNOT GRIP WILL NOT SLIP FROM THE HANDLE DURING OPERATION AND HAVE A CLEARANCE BETWEEN THE HANDLE AND BACK PLATE OR DOOR FACE OF THE HANDLE IS NOT LESS THAN 35mm AND NOT MORE THAN 45mm.
- NEW FLOOR LININGS/ FLOOR COVERINGS REQUIRE CRITICAL RADIANT FLUX NOT LESS THAN 2.2kW/m2 & MAXIMUM SMOKE DEVELOPMENT RATE OF 750 PERCENT - MINUTES.

WALL LEGEND

~ 92mm METAL STUD WALL WITH PLASTERBOARD & VILLABOARD LINING

~ 150mm THICK CONCRETE TILT UP PANEL

~ 150mm THICK CONCRETE TILT UP PANEL & METAL FURRING CHANNEL WITH 'LYSAGHT' 'ENSEAM' CLADDING OVER OF SIMILAR TO OWNERS REQUIREMENTS. INSTALLED TO MANUFACTURERS DETAILS & SPECIFICATIONS

KEYNOTE LEGEND

CODE	DESCRIPTION
BIK-01	BIKE RACK
FFPE-03	FIRE EXTINGUISHER
TGS-01	TGSI
WPA	WALLS - PARTITION
COL	STRUCTURAL COLUMN
WTC	CONCRETE WALL - TILT

TACTILE GROUND SURFACE INDICATORS (TGSIs)

ACTIVE GROUND SURFACE INDICATORS TGSIs TO WARN PEOPLE OF HAZARDS SHALL BE IN ACCORDANCE WITH AS/NZS 1428.4.1

[illegible]


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CONTACT DETAILS

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MOBILE: 0410644524
ABN: 94 116 169 264 / ACN: 151 135 447

DESIGNED:	DRAWN:	SCALE:
PC	PC	As indicated @ A1
APPROVED:	APPROVED DATE:	NORTH:
FS	17 APR. 23'	
CLIENT:		
Terapale Pty Ltd		

PROJECT

PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

TITLE: UNIT 4 - 7 - GROUND FLOOR PLAN

PROJECT NUMBER:	SHEET NUMBER:	REV:
23013	A302	



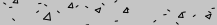
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GENERAL NOTES

1. PROVIDE EXIT LIGHT AT EXTERNAL DOORS TO BCA E4.5, E4.6, E4.8 & AS/NZS2293.1-2018, LOCATIONS SHOWN ON PLANS
2. EXIT SIGNS TO BE IN ACCORDANCE WITH BCA E2.4, E4.4 & AS/NZS2293.1-2018.
3. FIRE EXTINGUISHERS TO BE INSTALLED IN ACCORDANCE WITH BCA E1.6 & AS2444-2001.
4. EMERGENCY LIGHTING, AT LOCATIONS REQUIRED TO MEET AS2293.1-2018
5. LIGHTING - THE MAXIMUM ILLUMINATION POWER DENSITY FOR THE ARTIFICIAL LIGHTING IN THE TENANCY IS 10W/M², TO COMPLY WITH PART 1.6 "ARTIFICIAL LIGHTING".
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WALL LEGEND

- | | |
|---|--|
|  | - 92mm METAL STUD WALL WITH PLASTERBOARD & VILLABOARD LININGS |
|  | - 150mm THICK CONCRETE TILT UP PANEL |
|  | - 150mm THICK CONCRETE TILT UP PANEL & METAL FURRING CHANNEL WITH YLSAGHTI 'ENSEAM' CLADDING OVER OR SIMILAR TO OWNERS REQUIREMENTS. INSTALLED TO MANUFACTURERS DETAILS & SPECIFICATIONS |

KEYNOTE LEGEND

CODE	DESCRIPTION
F.FPE-03	FIRE EXTINGUISHER
F.TGS-01	TGS!
I.HRA-01	HANDRAIL & BALUSTRADE
I.STA-02	INTERNAL STAIRS TO COMPLY WITH A.S. 1428
S.WTC	CONCRETE WALL - TILT

[illegible]

GENERAL NOTES:


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CONFIRM THE SCALE OF HARDCOPY DRAWINGS BY USING THE ATTACHED SCALE BAR.

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BUILDING SYSTEMS

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MOBILE: 0410644524	STEEL BUILDING SPECIALISTS
ABN: 94 116 169 264 / ACN: 151 135 447	

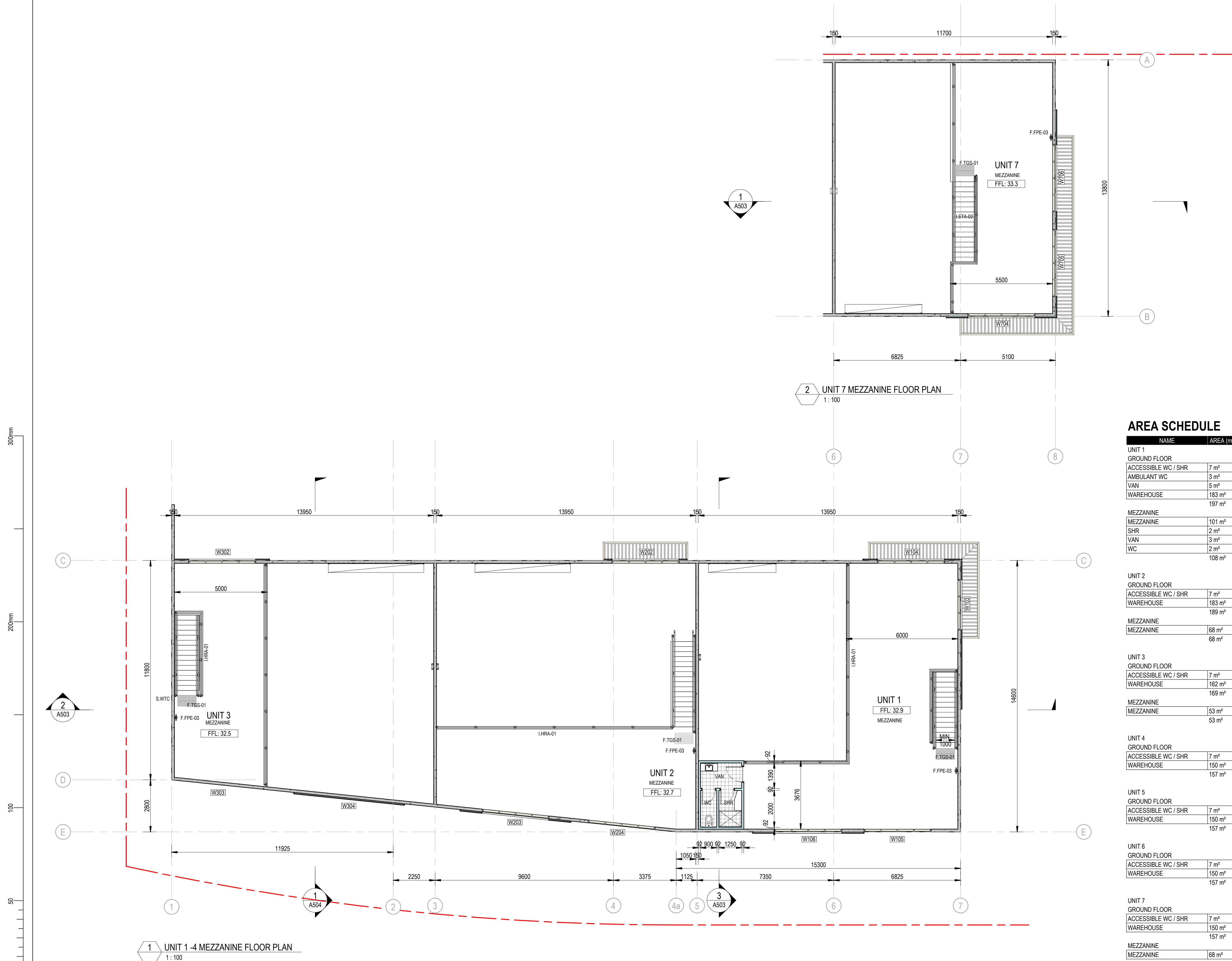
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PC	PC	As indicated @ A1
APPROVED:	APPROVED DATE:	NORTH:
FS	16 JUNE 23'	
CLIENT: Terapale Pty Ltd		

PROJECT:

PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

TITLE:
UNIT 1 - 3 & 7 MEZZANINE FLOOR PLANS

PROJECT NUMBER:	SHEET NUMBER:	REV:
23013	A303	



AREA SCHEDULE

NAME	AREA (m ²)
UNIT 1	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m ²
AMBULANT WC	3 m ²
VAN	5 m ²
WAREHOUSE	183 m ²
	197 m ²
MEZZANINE	
MEZZANINE	101 m ²
SHR	2 m ²
VAN	3 m ²
WC	2 m ²
	108 m ²

UNIT 2	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m ²
WAREHOUSE	183 m ²
	189 m ²
MEZZANINE	
MEZZANINE	68 m ²
	68 m ²

UNIT 3	
GROUND FLOOR	
ACCESSIBLE WC / SHR	7 m ²
WAREHOUSE	162 m ²
	169 m ²
MEZZANINE	
MEZZANINE	53 m ²
	53 m ²

ACCESSIBLE WC / SHR	7 m ²
WAREHOUSE	150 m ²
	157 m ²

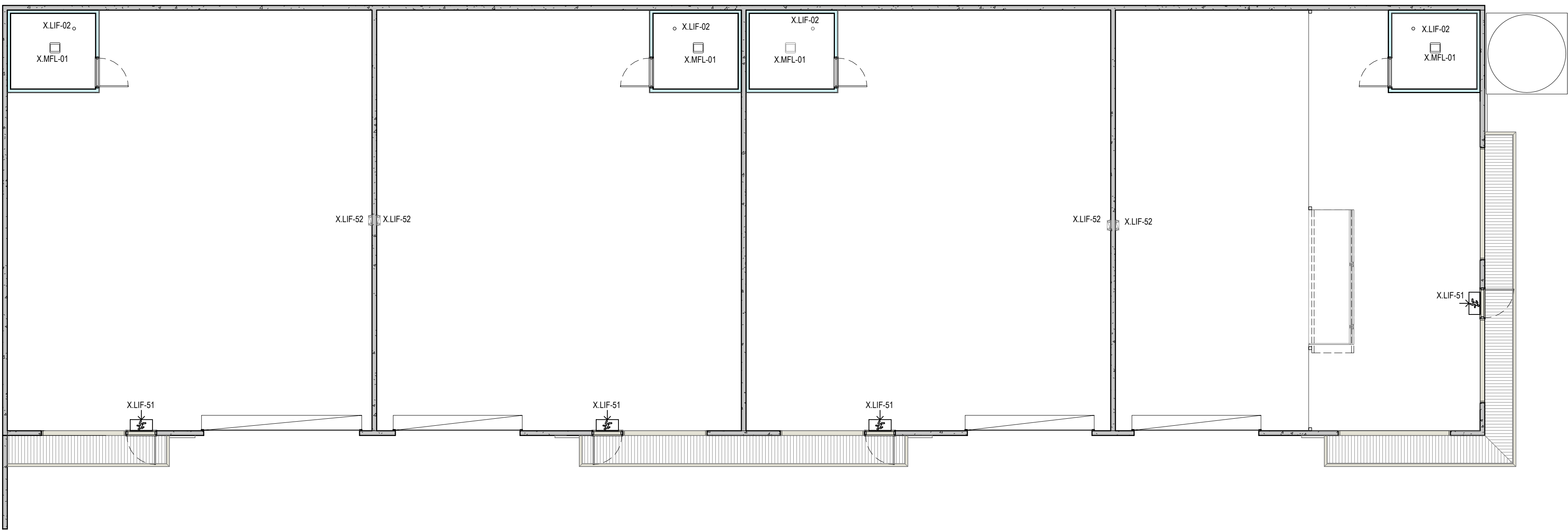
ACCESSIBLE WC / SHR	7 m ²
WAREHOUSE	150 m ²
	157 m ²

ACCESSIBLE WC / SHR	7 m ²
WAREHOUSE	150 m ²
	157 m ²

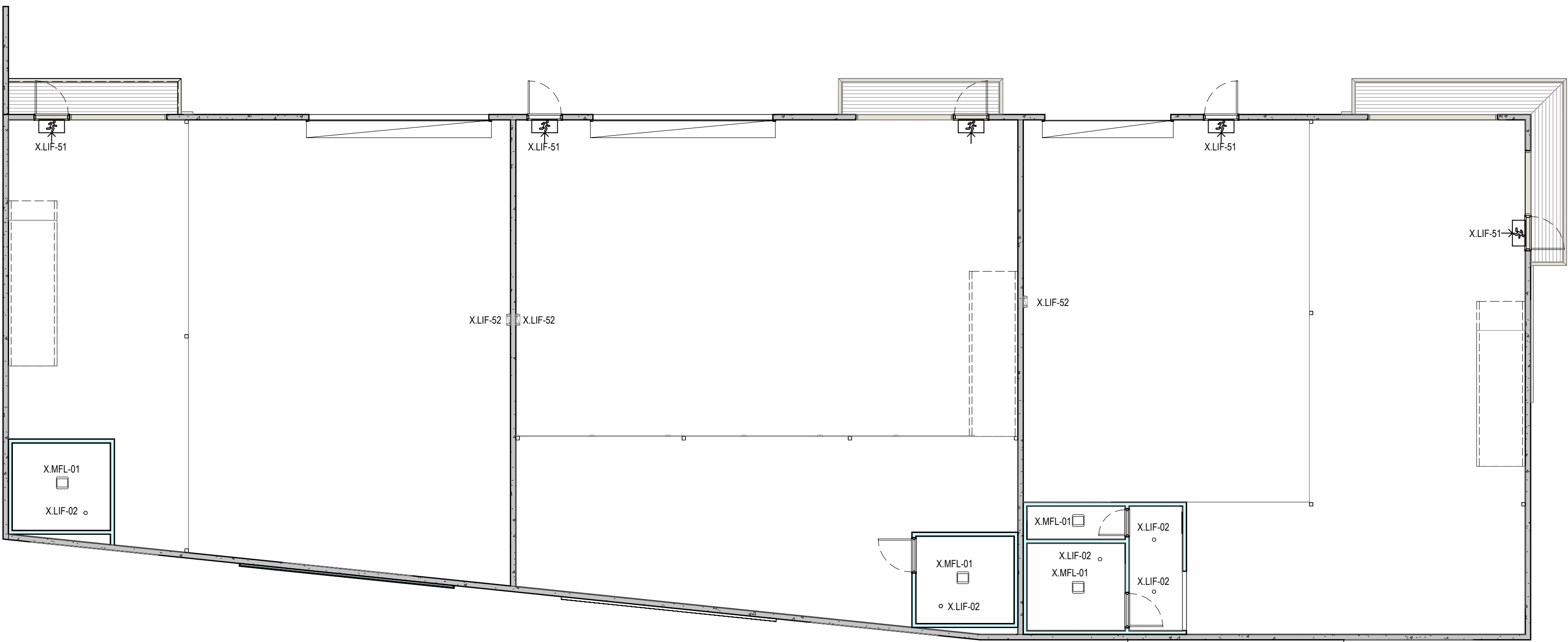
ACCESSIBLE WC / SHR	7 m ²
WAREHOUSE	150 m ²
	157 m ²

MEZZANINE	
MEZZANINE	68 m²
	68 m²
TOTAL	1481 m²

Original sheet size A1 (841x594)



2 UNIT 4 - 7 REFLECTED CEILING PLAN
1 : 100



1 UNIT 1 - 3 REFLECTED CEILING PLAN
1 : 100

KEYNOTE LEGEND

CODE	DESCRIPTION
X.LIF-02	LIGHTING FIXTURE - ROUND RECESSED
X.LIF-51	LIGHTING FIXTURE - EMERGENCY EXIT SIGN
X.MFL-01	MECHANICAL EX-HAUST FAN & LIGHT

- NOTE:
1. ALL LIGHTING TO BE CONFIRMED PRIOR TO WORKS COMMENCING.
 2. PROVIDE HIGH BAY LED LIGHTING TO WAREHOUSE AS REQUIRED.

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23

GENERAL NOTES:
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED.
CONFIRM THE SCALE OF HARDCOPY DRAWINGS BY USING THE ATTACHED SCALE BAR.
CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR BEFORE SET OUT.



CONTACT DETAILS:
PO Box 111, TORONTO, 2283
MOBILE: 0410644524
ABN: 94 116 169 264 / ACN: 151 135 447
INDUSTRIAL & COMMERCIAL
STEEL BUILDING SPECIALISTS

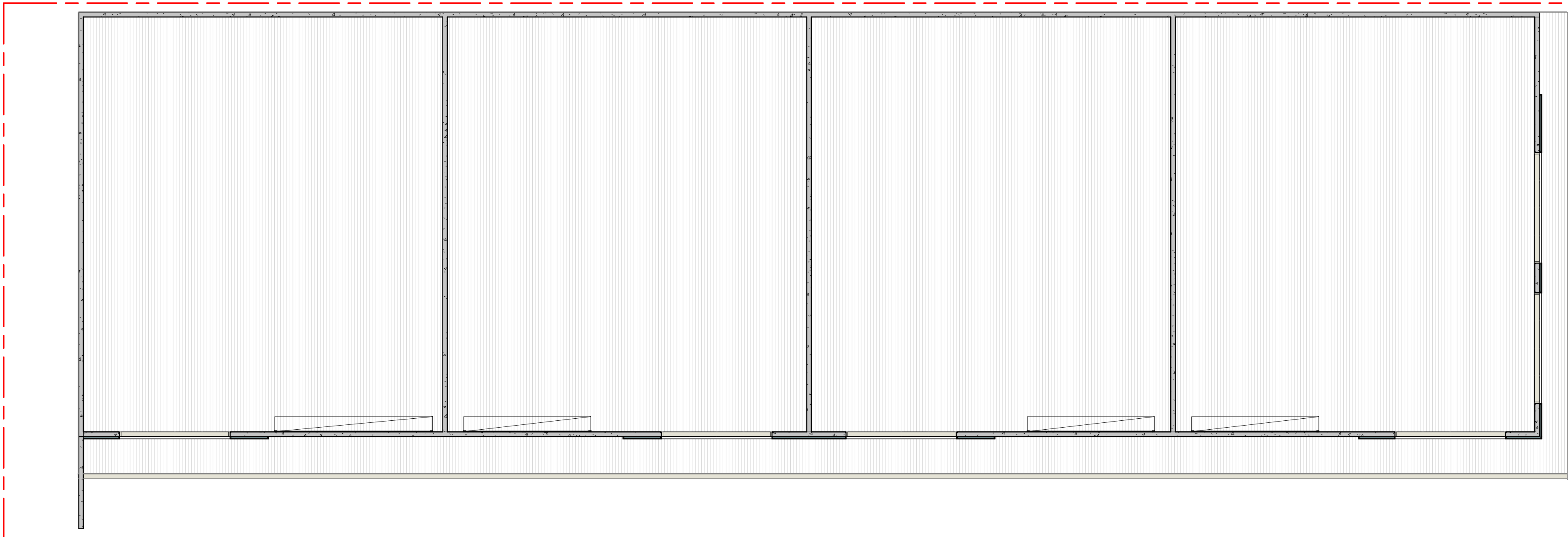
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PC	PC	1 : 100 @ A1
APPROVED:	APPROVED DATE:	NORTH:
CC	16 JUNE 23'	
CLIENT:	Terapale Pty Ltd	

PROJECT:
PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

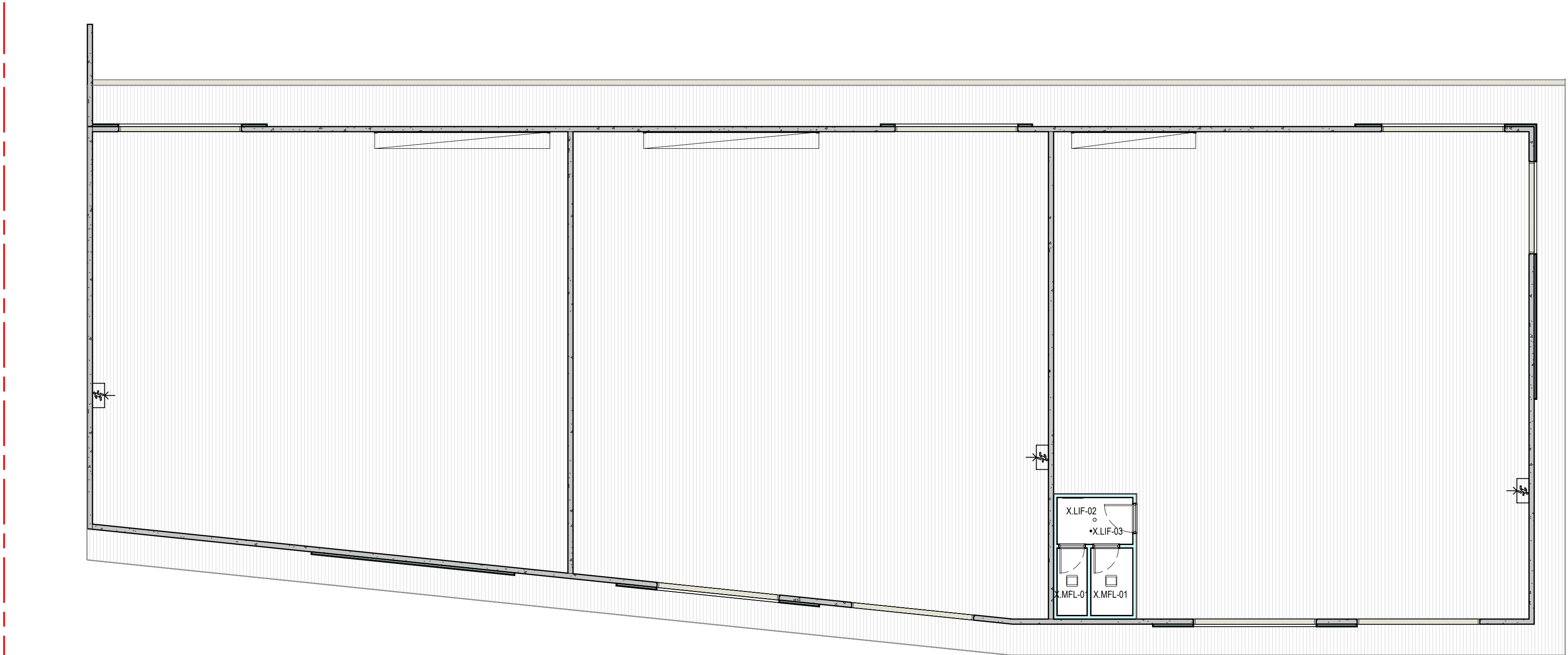
TITLE:
GROUND FLOOR REFLECTIVE
CEILING PLAN

PROJECT NUMBER:	SHEET NUMBER:	REV:
23013	A304	

APPROVAL ISSUE
NOT FOR CONSTRUCTION



2 UNIT 7 MEZZANINE REFLECTED CEILING PLAN
1:100



1 UNIT 1 MEZZANINE REFLECTED CEILING PLAN
1:100

KEYNOTE LEGEND

CODE	DESCRIPTION
X.LIF-02	LIGHTING FIXTURE - ROUND RECESSED
X.LIF-03	LIGHTING FIXTURE - ROUND RECESSED, EMERGENCY LIGHT
X.MFL-01	MECHANICAL EXHAUST FAN & LIGHT

NOTE:

1. ALL LIGHTING TO BE CONFIRMED PRIOR TO WORKS COMMENCING.
2. PROVIDE HIGH BAY LED LIGHTING TO WAREHOUSE AS REQUIRED.

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23

GENERAL NOTES:
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CONFIRM THE SCALE OF HARDCOPY DRAWINGS BY USING THE ATTACHED SCALE BAR.
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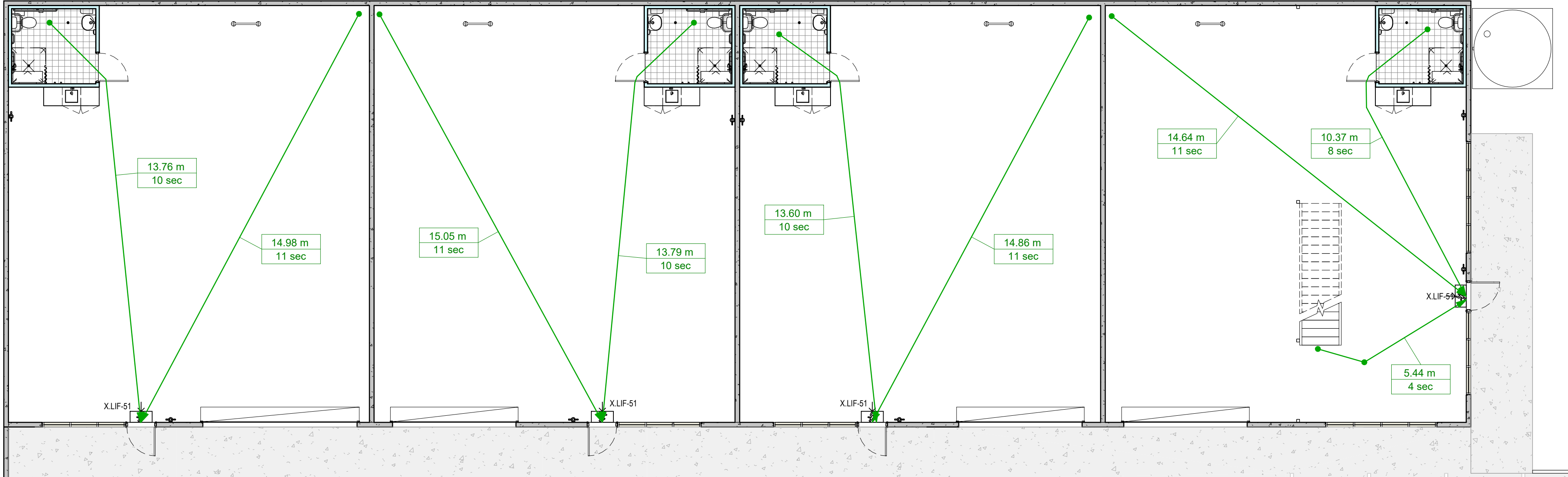
CONTACT DETAILS:		
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INDUSTRIAL & COMMERCIAL STEEL BUILDING SPECIALISTS		
DESIGNED:	DRAWN:	SCALE:
PC	PC	1 : 100 @ A1
APPROVED:	APPROVED DATE:	NORTH:
CC	16 JUNE 23'	
CLIENT:	Terapale Pty Ltd	

PROJECT:
PROPOSED DEVELOPMENT AT LOT 402, D.P.1278483, 20 BRODIE STREET, MORISSET, NSW, 2264

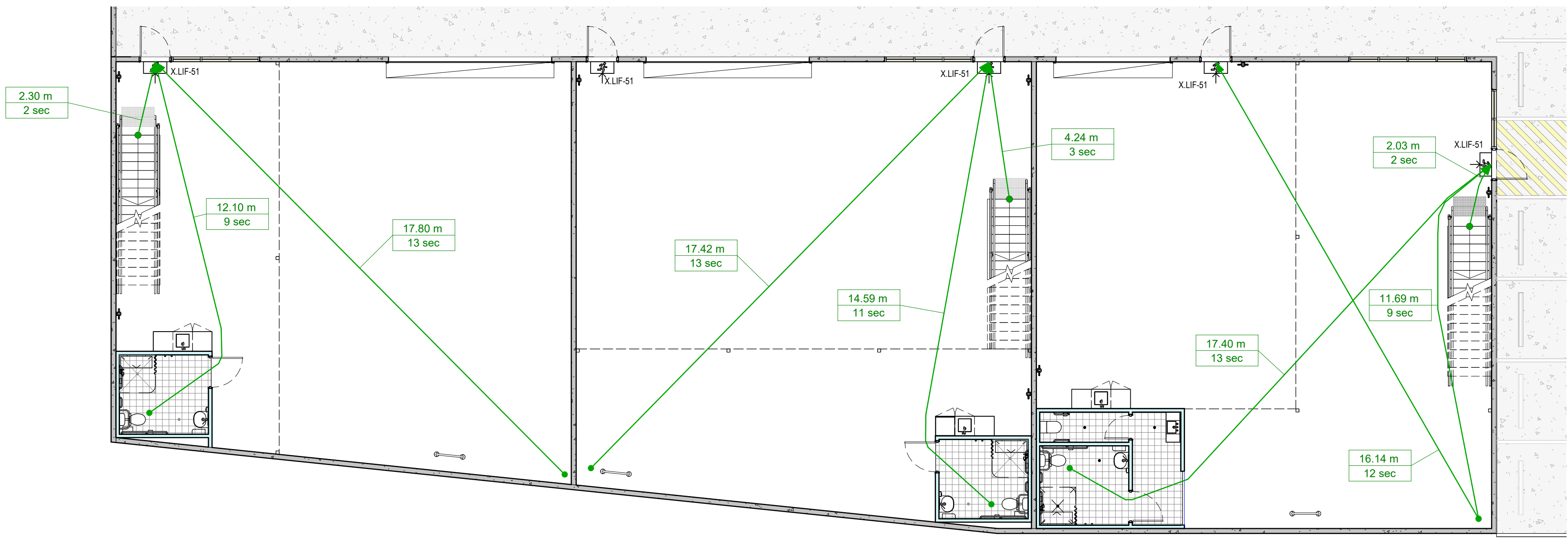
TITLE:
MEZZANINE REFLECTIVE CEILING PLAN

PROJECT NUMBER:	SHEET NUMBER:	REV:
23013	A305	

APPROVAL ISSUE
NOT FOR CONSTRUCTION



2 UNIT 4 - 7 GROUND FLOOR EMERGENCY EXIT
PLAN
1: 100



1 UNIT 1 - 3 - GROUND FLOOR EMERGENCY EXIT
PLAN
1: 100

KEYNOTE LEGEND

CODE	DESCRIPTION
XLIF-51	LIGHTING FIXTURE - EMERGENCY EXIT SIGN

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23

GENERAL NOTES:
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED.
CONFIRM THE SCALE OF HARDCOPY DRAWINGS BY USING THE ATTACHED SCALE BAR.
CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR BEFORE SET OUT.



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ABN: 94 116 169 264 / ACN: 151 135 447
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STEEL BUILDING SPECIALISTS

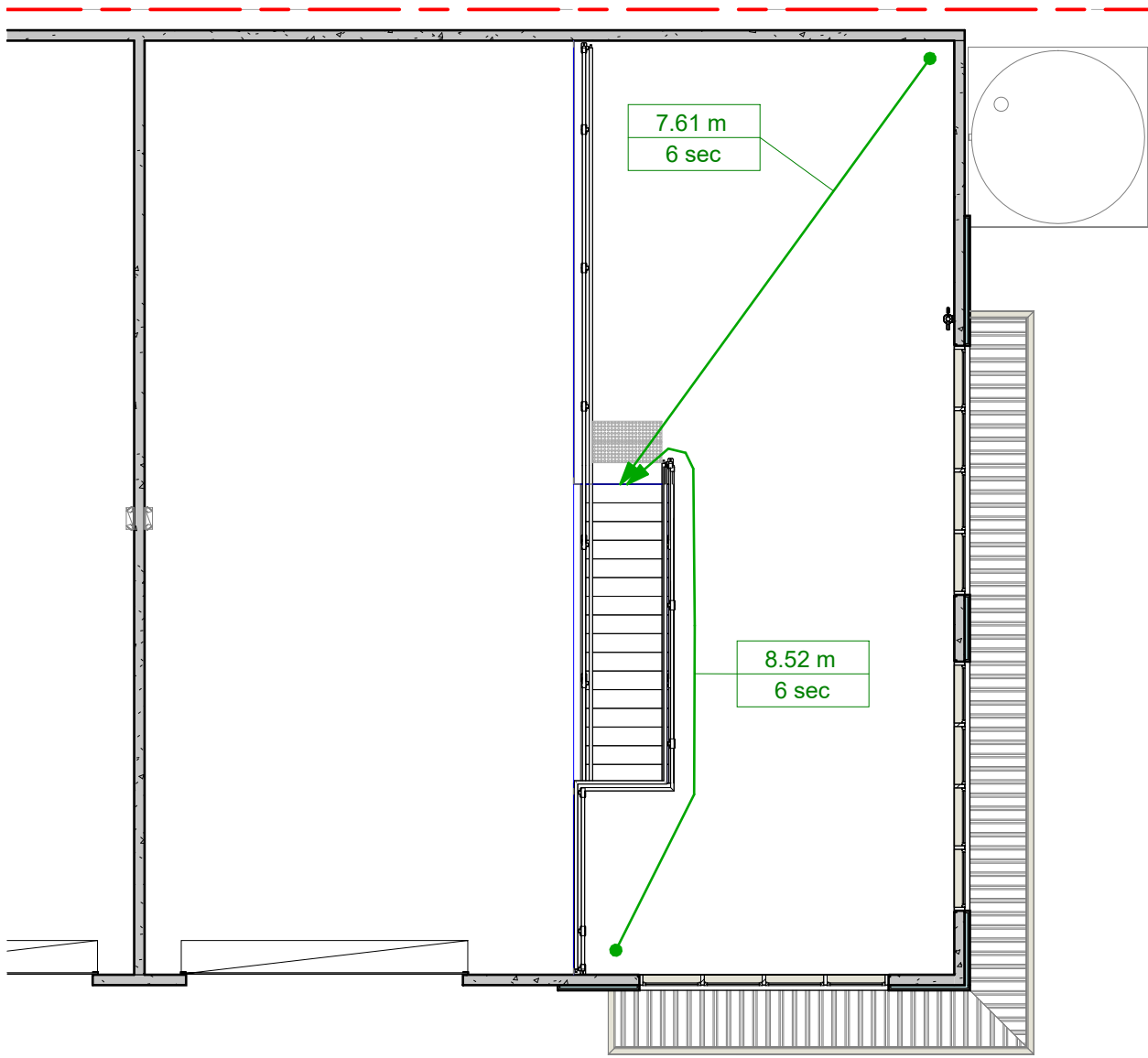
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PC	PC	1 : 100 @ A1
APPROVED:	APPROVED DATE:	NORTH:
CC	16 JUNE 23'	
CLIENT:	Terapale Pty Ltd	

PROJECT:
PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

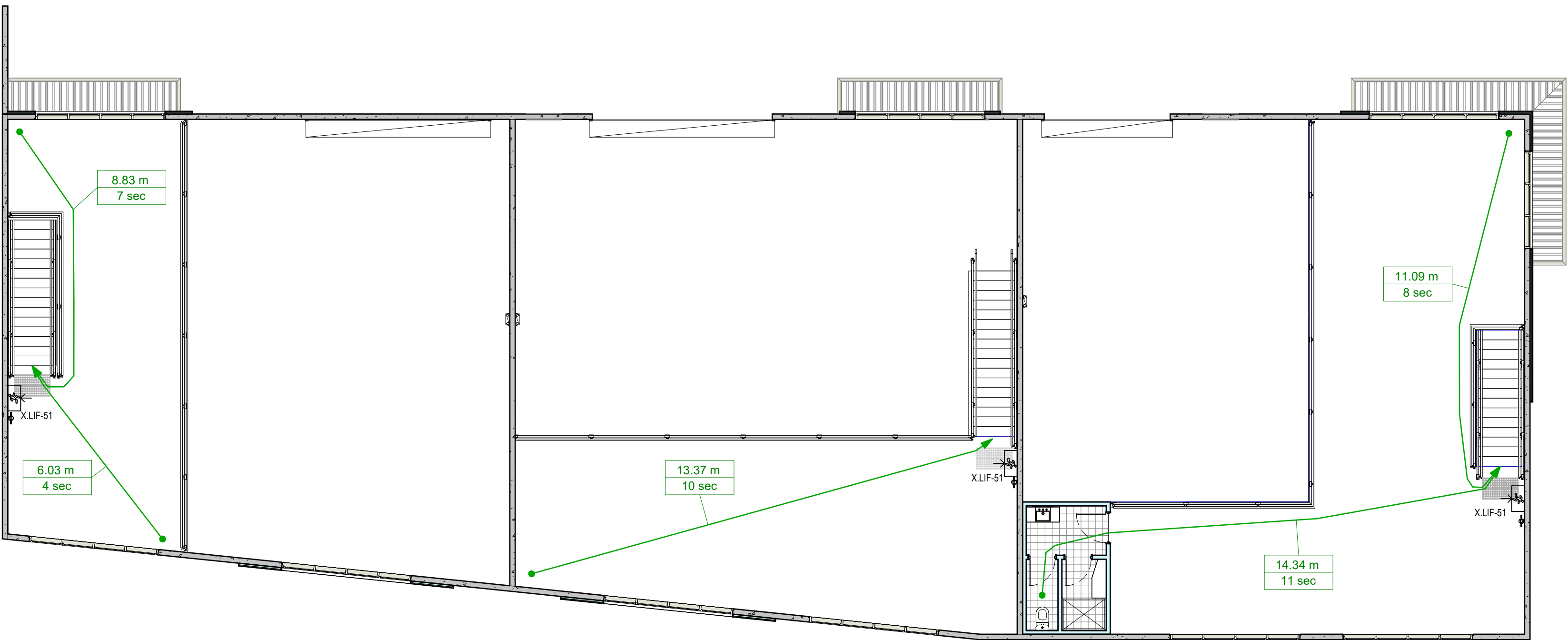
TITLE:
GROUND FLOOR - EXIT TRAVEL
DISTANCE PLAN

PROJECT NUMBER:	SHEET NUMBER:	REV:
23013	A307	

APPROVAL ISSUE
NOT FOR CONSTRUCTION



2 UNIT 7 MEZZANINE FLOOR EMERGENCY PLAN
1 : 100



1 UNIT 1-3 MEZZANINE EMERGENCY EXIT PLAN
1 : 100

KEYNOTE LEGEND

CODE	DESCRIPTION
XLIF-51	LIGHTING FIXTURE - EMERGENCY EXIT SIGN

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23

GENERAL NOTES:
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CONFIRM THE SCALE OF HARDCOPY DRAWINGS BY USING THE ATTACHED SCALE BAR.
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INDUSTRIAL & COMMERCIAL
STEEL BUILDING SPECIALISTS

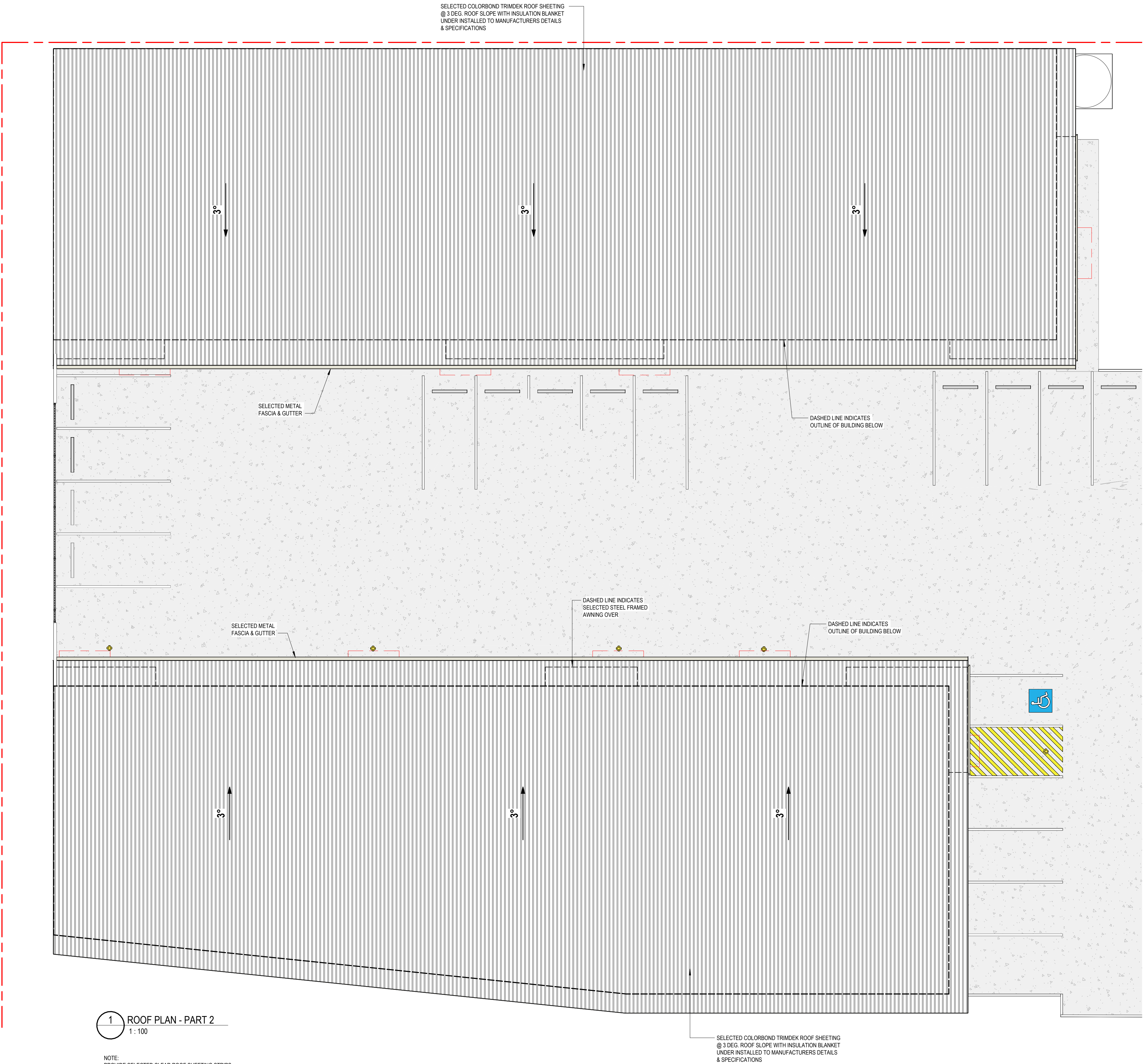
DESIGNED:	DRAWN:	SCALE:
PC	PC	1 : 100 @ A1
APPROVED:	APPROVED DATE:	NORTH:
CC	16 JUNE 23'	
CLIENT:	Terapale Pty Ltd	

PROJECT:
PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

TITLE:
**MEZZANINE - EXIT TRAVEL
DISTANCE PLAN**

PROJECT NUMBER:	SHEET NUMBER:	REV:
23013	A308	

APPROVAL ISSUE
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1 ROOF PLAN - PART 2
1 : 100

NOTE:
PROVIDE SELECTED CLEAR ROOF SHEETING STRIPS
FOR NATURAL LIGHT TO OWNERS DIRECTION AND
LOCATIONS

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23
	FOR FINAL REVIEW	PC	16.06.23

GENERAL NOTES:
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CONFIRM THE SCALE OF HARDCOPY DRAWINGS BY USING THE ATTACHED SCALE BAR.
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INDUSTRIAL & COMMERCIAL
STEEL BUILDING SPECIALISTS

DESIGNED:	DRAWN:	SCALE:
PC	PC	1 : 100 @ A1
APPROVED:	APPROVED DATE:	NORTH:
OWNER	16 JUNE 23'	
CLIENT:	Terapale Pty Ltd	

PROJECT:
PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

TITLE:
ROOF PLAN

PROJECT NUMBER:	SHEET NUMBER:	REV:
23013	A401	

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- GENERAL NOTE**
1. ALL GLAZING IN NORTH AND WEST ELEVATIONS ARE TO BE PROVIDED WITH SUN SHADING DEVICES, SCREENS OR CANOPIES.
 2. ALL GLAZING IS TO BE LOW REFLECTIVE GLASS.

VISUAL INDICATORS ON GLAZING
WHERE THERE IS NO CHAIR RAIL, HANDRAIL OR TRANSOM, ALL FRAMELESS OR FULLY GLAZED DOORS, SIDELIGHTS, INCLUDING ANY GLAZING CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING, SHALL BE CLEARLY MARKED FOR THEIR FULL WIDTH WITH A SOLID CONTRASTING LINE. THE CONTRASTING LINE SHALL BE NOT LESS THAN 75 MM WIDE AND SHALL EXTEND ACROSS THE FULL WIDTH OF THE GLAZING PANEL. THE LOWER EDGE OF THE CONTRASTING LINE SHALL BE LOCATED BETWEEN 900 MM AND 1000 MM ABOVE THE PLANE OF THE FINISHED FLOOR LEVEL.
ANY CONTRASTING LINE ON THE GLAZING SHALL PROVIDE A MINIMUM OF 30% LUMINANCE CONTRAST WHEN VIEWED AGAINST THE FLOOR SURFACE OR SURFACES WITHIN 2 M OF THE GLAZING ON THE OPPOSITE SIDE. NOTE: FOR METHOD OF TESTING LUMINANCE CONTRAST, SEE A.S. 1428.1.2009 APPENDIX B.

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23
	FOR FINAL REVIEW	PC	16.06.23

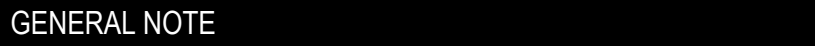
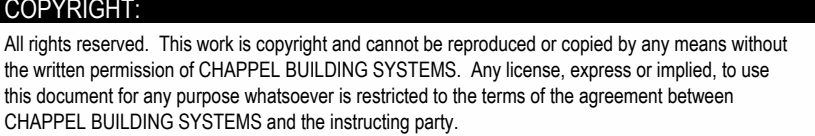
GENERAL NOTES:
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED.
CONFIRM THE SCALE OF HARD-COPY DRAWINGS BY USING THE ATTACHED SCALE BAR.
CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR BEFORE SET OUT.

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PO Box 111, TORONTO, 2283
MOBILE: 0410844324
ABN: 94 116 169 264 / ACN: 151 135 447

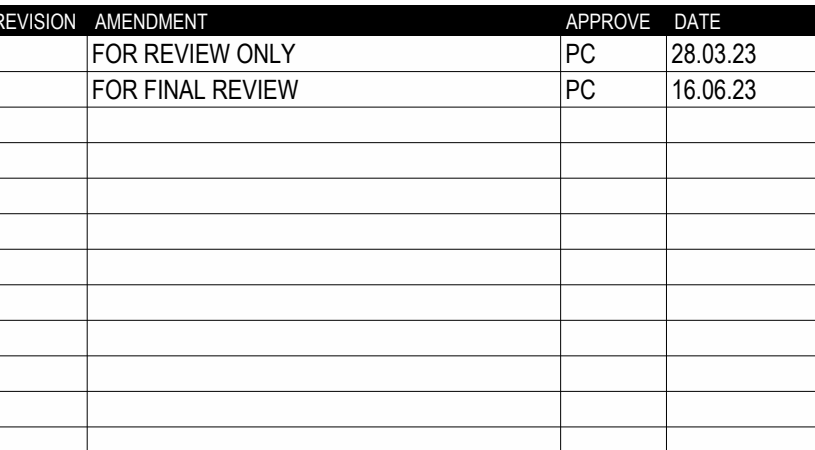
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DESIGNED:	DRAWN:	SCALE:
PC	PC	As indicated @ A1
APPROVED:	APPROVED DATE:	NORTH:
FS	16 JUNE 23'	
CLIENT:		
Terapale Pty Ltd		
PROJECT:		
PROPOSED DEVELOPMENT AT LOT 402, D.P.1278483, 20 BRODIE STREET, MORISSET, NSW, 2264		
TITLE:		
BUILDING ELEVATIONS		
PROJECT NUMBER:	SHEET NUMBER:	REV:
23013	A500	

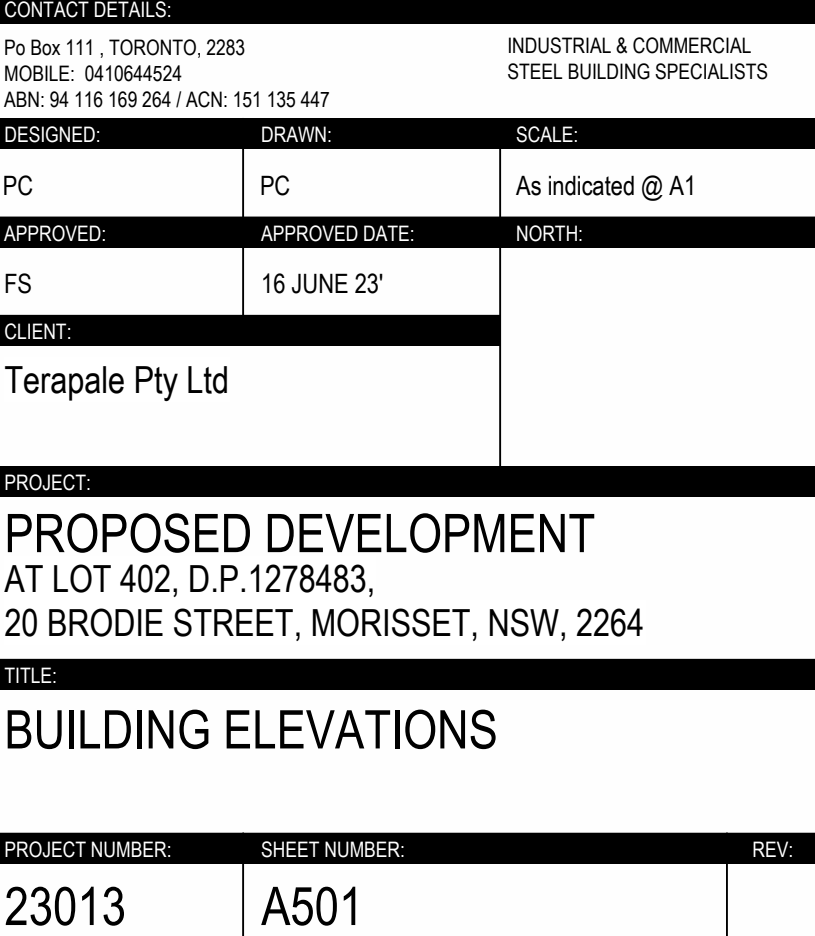
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- VISUAL INDICATORS ON GLAZING**
- WHERE THERE IS NO CHAIR RAIL, HANDRAIL OR TRANSOM, ALL FRAMELESS OR FULLY GLAZED DOORS, SIDELIGHTS, INCLUDING ANY GLAZING CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING, SHALL BE CLEARLY MARKED FOR THEIR FULL WIDTH WITH A SOLID CONTRASTING LINE. THE CONTRASTING LINE SHALL BE NOT LESS THAN 75 MM WIDE AND SHALL EXTEND ACROSS THE FULL WIDTH OF THE GLAZING PANEL. THE LOWER EDGE OF THE CONTRASTING LINE SHALL BE LOCATED BETWEEN 900 MM AND 1000 MM ABOVE THE PLANE OF THE FINISHED FLOOR LEVEL.
- ANY CONTRASTING LINE ON THE GLAZING SHALL PROVIDE A MINIMUM OF 10% LUMINANCE CONTRAST WHEN VIEWED AGAINST THE FLOOR SURFACE OR SURFACES WITHIN 2 M OF THE GLAZING ON THE OPPOSITE SIDE.
- NOTE: FOR METHOD OF TESTING LUMINANCE CONTRAST, SEE A.S. 428.1.2009 APPENDIX B.

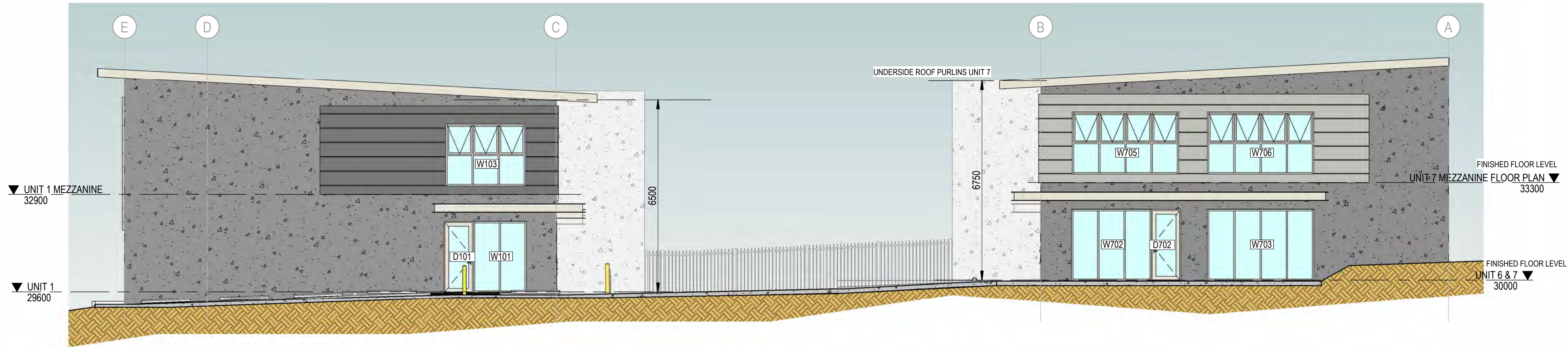


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1 UNIT 1 & 7 (EAST ELEVATION)
1 : 100

GENERAL NOTE

1. ALL GLAZING IN NORTH AND WEST ELEVATIONS ARE TO BE PROVIDED WITH SUN SHADING DEVICES, SCREENS OR CANOPIES.
2. ALL GLAZING IS TO BE LOW REFLECTIVE GLASS.

VISUAL INDICATORS ON GLAZING
WHERE THERE IS NO CHAIR RAIL, HANDRAIL OR TRANSOM, ALL FRAMELESS OR FULLY GLAZED DOORS, SIDELIGHTS, INCLUDING ANY GLAZING CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING, SHALL BE CLEARLY MARKED FOR THEIR FULL WIDTH WITH A SOLID CONTRASTING LINE. THE CONTRASTING LINE SHALL BE NOT LESS THAN 75 MM WIDE AND SHALL EXTEND ACROSS THE FULL WIDTH OF THE GLAZING PANEL. THE LOWER EDGE OF THE CONTRASTING LINE SHALL BE LOCATED BETWEEN 900 MM AND 1000 MM ABOVE THE PLANE OF THE FINISHED FLOOR LEVEL.
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NOTE: FOR METHOD OF TESTING LUMINANCE CONTRAST, SEE A.S. 1428.1.2009 APPENDIX B.

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23

GENERAL NOTES:
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED.
CONFIRM THE SCALE OF HARDCOPY DRAWINGS BY USING THE ATTACHED SCALE BAR.
CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR BEFORE SET OUT.



CONTACT DETAILS:
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MOBILE: 0410644624
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INDUSTRIAL & COMMERCIAL
STEEL BUILDING SPECIALISTS

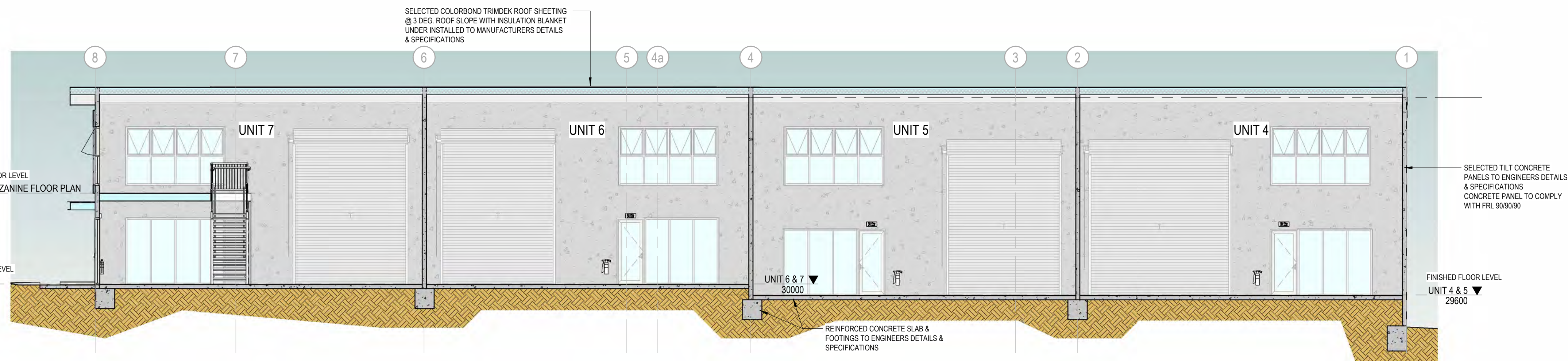
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APPROVED:	APPROVED DATE:	NORTH:
FS	16 JUNE 23'	
CLIENT:	Terapale Pty Ltd	

PROJECT:
PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

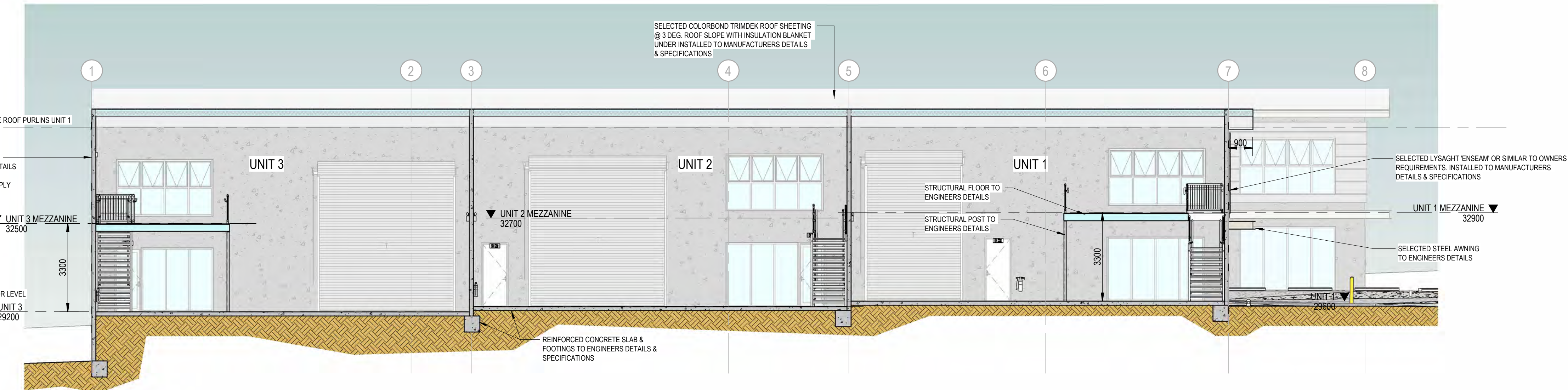
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BUILDING ELEVATIONS

PROJECT NUMBER:	SHEET NUMBER:	REV:
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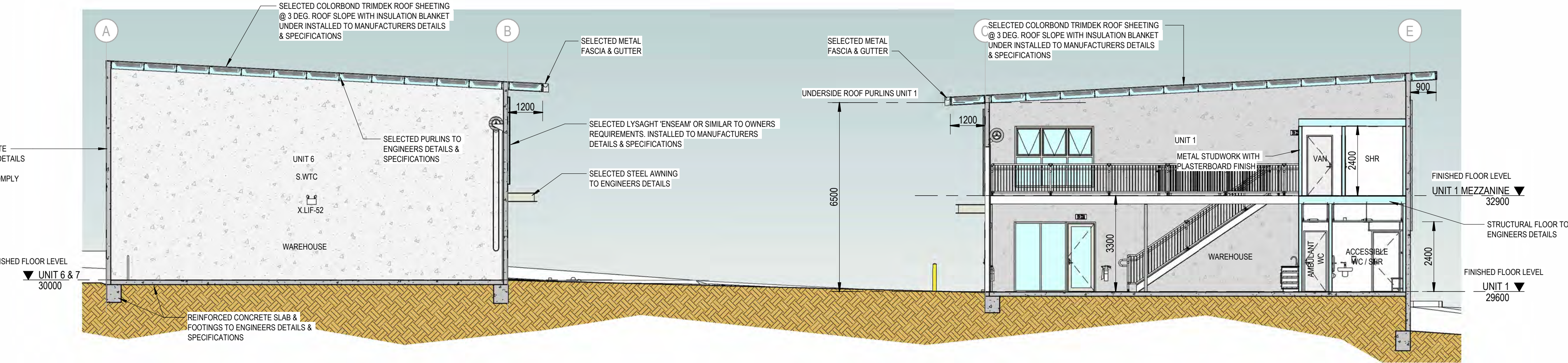
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1 SECTION 1
1: 100



2 SECTION 2
1: 100



3 SECTION 3
1: 100

KEYNOTE LEGEND

CODE	DESCRIPTION
S.WTC	CONCRETE WALL - TILT
X.LIF-52	LIGHTING FIXTURE - WALL, EMERGENCY LIGHT

GENERAL NOTE:

THE CONSTRUCTION OF THE ROOF AND EXTERNAL WALLS WILL BE DONE IN A WAY THAT THEY WILL PREVENT THE PENETRATION OF WATER THAT COULD CAUSE UNHEALTHY OR DANGEROUS CONDITIONS OR LOSS OF AMENITY TO OCCUPANTS AND UNDUE DAMPNESS OR DETERIORATION OF BUILDING ELEMENTS.

TO DEMONSTRATE THAT THE CONSTRUCTION OF THE ROOF AND EXTERNAL WALLS PREVENT THE PENETRATION OF WATER, EVIDENCE OF SUITABILITY UNDER BCA A5.2 WILL NEED TO BE PROVIDED VIA THE FOLLOWING METHODS:

- A CURRENT CODEMARK CERTIFICATE,
- A CURRENT CERTIFICATE OF ACCREDITATION,
- A REPORT ISSUED BY AN ACCREDITED TESTING LABORATORY, OR
- A CERTIFICATE OR REPORT FROM A PROFESSIONAL ENGINEER,
- OR A PERFORMANCE SOLUTION PREPARED BY A SUITABLY QUALIFIED CONSULTANT OR COMPANY.

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23

GENERAL NOTES:
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED.
CONFIRM THE SCALE OF HANDCOPY DRAWINGS BY USING THE ATTACHED SCALE BAR.
CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR BEFORE SET OUT.



CONTACT DETAILS:
PO Box 111, TORONTO, 2283
MOBILE: 0411644524
ABN: 94 116 169 264 / ACN: 151 135 447
INDUSTRIAL & COMMERCIAL
STEEL BUILDING SPECIALISTS

DESIGNED:	DRAWN:	SCALE:
PC	PC	As indicated @ A1
APPROVED:	APPROVED DATE:	NORTH:
CC	16 JUNE 23'	
CLIENT:	Terapale Pty Ltd	

PROJECT:
PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

TITLE:
SECTIONS

PROJECT NUMBER:	SHEET NUMBER:	REV:
23013	A503	

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KEYNOTE LEGEND

CODE	DESCRIPTION
S.WTC	CONCRETE WALL - TILT
X.LIF-52	LIGHTING FIXTURE - WALL, EMERGENCY LIGHT

GENERAL NOTE:

THE CONSTRUCTION OF THE ROOF AND EXTERNAL WALLS WILL BE DONE IN A WAY THAT THEY WILL PREVENT THE PENETRATION OF WATER THAT COULD CAUSE UNHEALTHY OR DANGEROUS CONDITIONS OR LOSS OF AMENITY TO OCCUPANTS AND UNDUE DAMPNESS OR DETERIORATION OF BUILDING ELEMENTS.

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· A CURRENT CODEMARK CERTIFICATE.
· A CURRENT CERTIFICATE OF ACCREDITATION.
· A REPORT ISSUED BY AN ACCREDITED TESTING LABORATORY, OR
· A CERTIFICATE OR REPORT FROM A PROFESSIONAL ENGINEER.
· OR A PERFORMANCE SOLUTION PREPARED BY A SUITABLY QUALIFIED CONSULTANT OR COMPANY.

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23

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INDUSTRIAL & COMMERCIAL
STEEL BUILDING SPECIALISTS

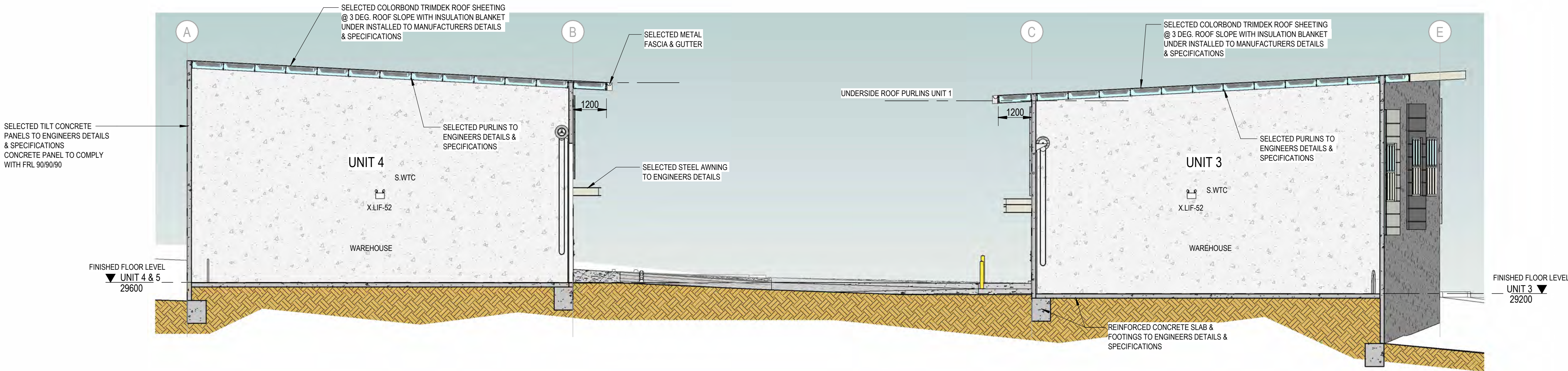
DESIGNED:	DRAWN:	SCALE:
PC	PC	As indicated @ A1
APPROVED:	APPROVED DATE:	NORTH:
CC	16 JUNE 23'	
CLIENT:	Terapale Pty Ltd	

PROJECT:
PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

TITLE:
SECTIONS

PROJECT NUMBER:	SHEET NUMBER:	REV:
23013	A504	

APPROVAL ISSUE
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**13 SANITARY COMPARTMENT FOR PEOPLE WITH
AMBULANT DISABILITIES (A.S. 1428.1.2021)**

13.1 GENERAL

13.1 GENERAL
SANITARY COMPARTMENT FOR PEOPLE WITH AMBULANT DISABILITIES SHALL BE IN ACCORDANCE WITH FIG. 52(A) AND 52(B).

WC SHALL HAVE A VERTICAL HEIGHT OF 460MM TO 480MM TO THE TOP OF THE SEAT AND BE INSTALLED WITH THE STANDARD PROJECTION FOR THE FRONT OF THE WC PAN.

NOTE WHEN SETTING OUT WORKS USING THE DIMENSIONS IN THIS SECTION, MAKE APPROPRIATE ALLOWANCES FOR THE CONSTRUCTION TOLERANCE (SEE SECTION 2).

13.2 GRABRAILS

13.2 GRABRAILS
GRABRAILS SHALL BE CONTINUOUS AND CONSIST OF A HORIZONTAL SECTION PLUS EITHER A VERTICAL SECTION OR AN UPWARD ANGLED SECTION AS SHOWN IN FIGURE 53A.

FOR FURTHER REQUIREMENTS ON GRABRAILS SEE SECTION 14

13.3 DOORS

13.3 DOORS
DOORS TO SANITARY COMPARTMENTS FOR PEOPLE WITH AMBULANT DISABILITIES SHALL HAVE OPENINGS WITH A MINIMUM CLEAR WIDTH OF 700MM AND BE IN ACCORDANCE WITH FIGURE 34 (B) AND FIGURE 53 (B)

DOORS SHALL BE PROVIDED WITH AN IN-USE INDICATOR AND A BOLT OR CATCH. WHERE A SNIB CATCH IS USED, THE SNIB HANDLE SHALL HAVE A MINIMUM LENGTH OF 45MM FROM THE CENTRE OF THE SPINDLE. IN AN EMERGENCY, THE LATCH MECHANISM SHALL BE OPENABLE FROM THE OUTSIDE.

13.4 SIGNAGE

13.4 SIGNAGE
SANITARY COMPARTMENTS FOR PEOPLE WITH AMBULANT DISABILITIES SHALL BE IDENTIFIED BY SYMBOLS AND WORDS, AS SPECIFIED IN CLAUSE 5 AND ILLUSTRATED IN FIGURE 9 (C).

13.5 CLOTHES HANGING DEVICE

13.5 CLOTHES HANGING DEVICE
A CLOTHES HANGING DEVICE SHALL BE PROVIDED WITHIN THE SANITARY COMPARTMENT AND AT A HEIGHT BETWEEN 1350MM 1500MM FROM THE FLOOR

REFER TO A.S. 1428: 2021 FOR MORE INFORMATION WHICH TAKES
PRECEDENCE OVER THESE PLANS

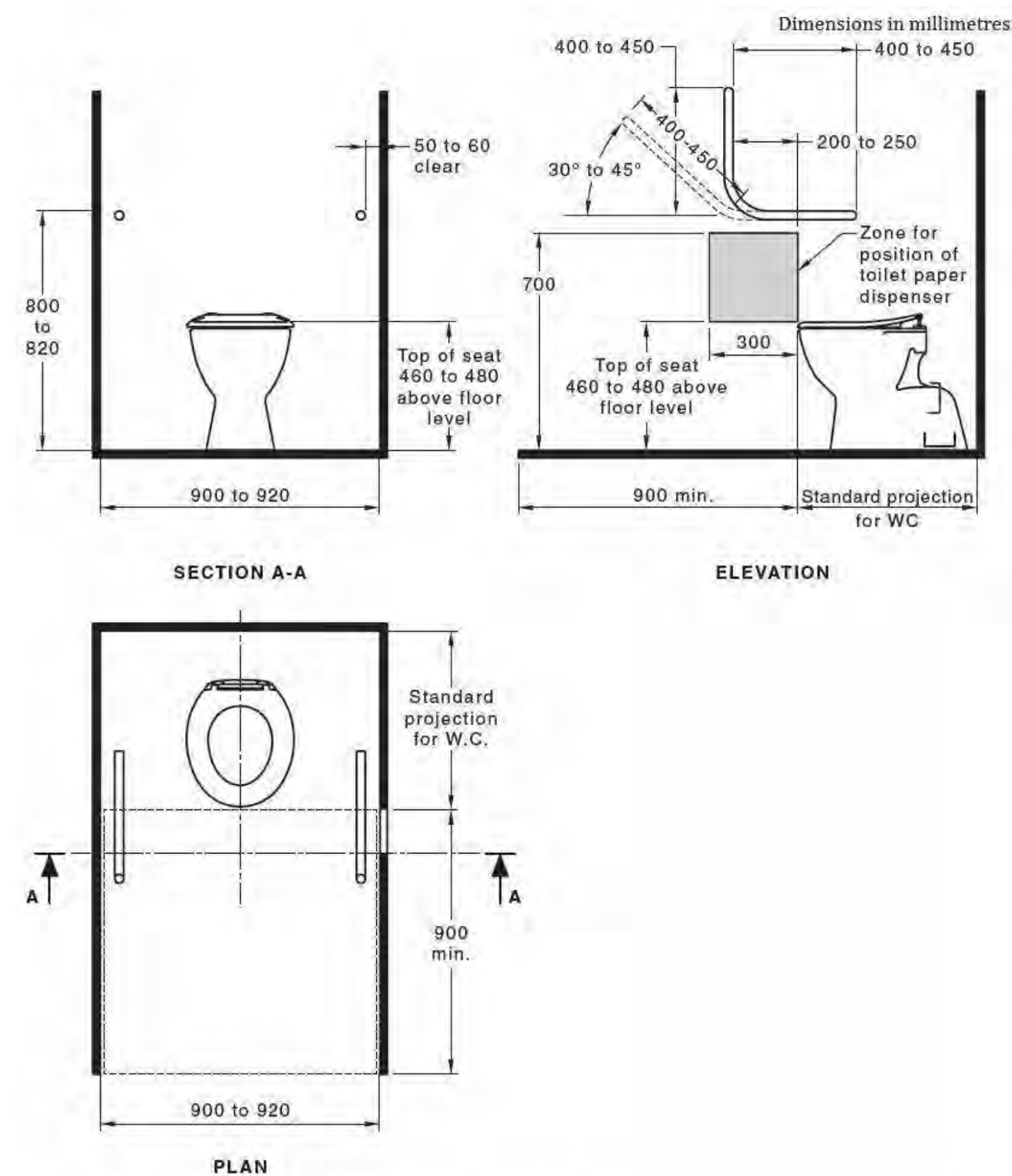
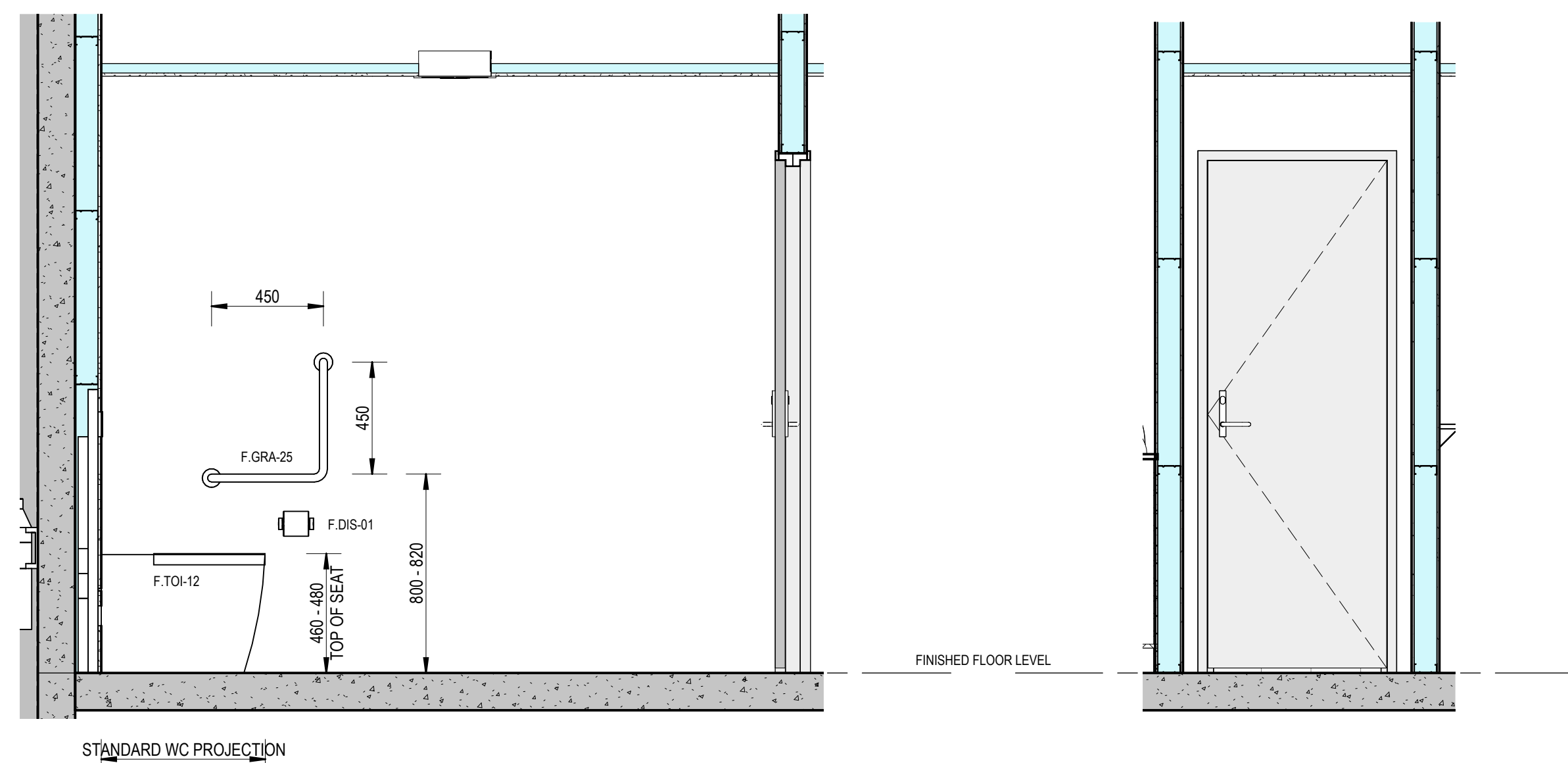
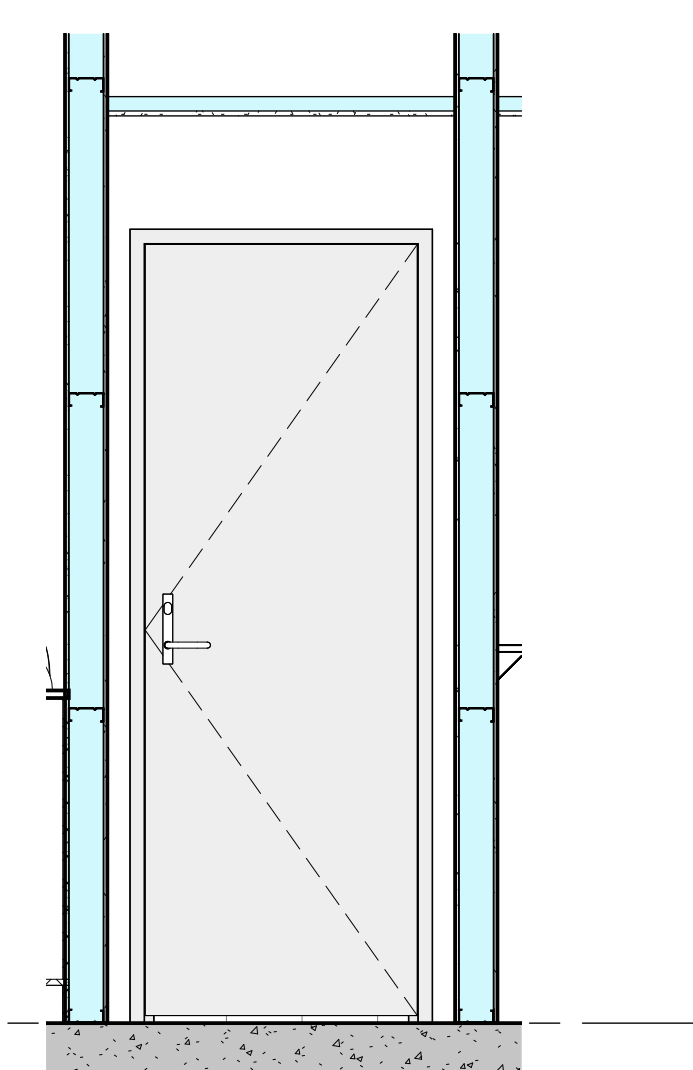


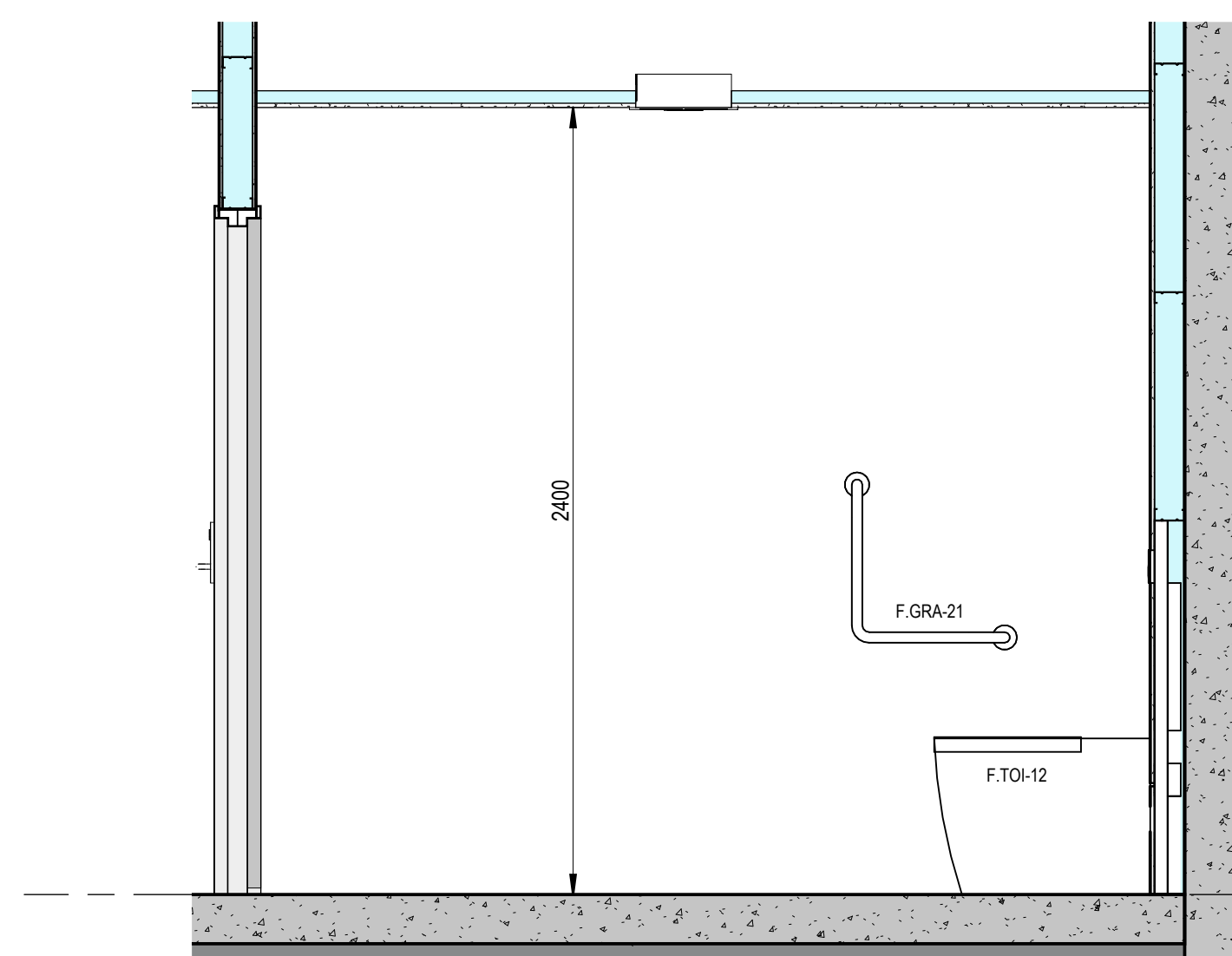
Figure 52(A) — Sanitary compartment for people with ambulant disabilities — Plan and elevation



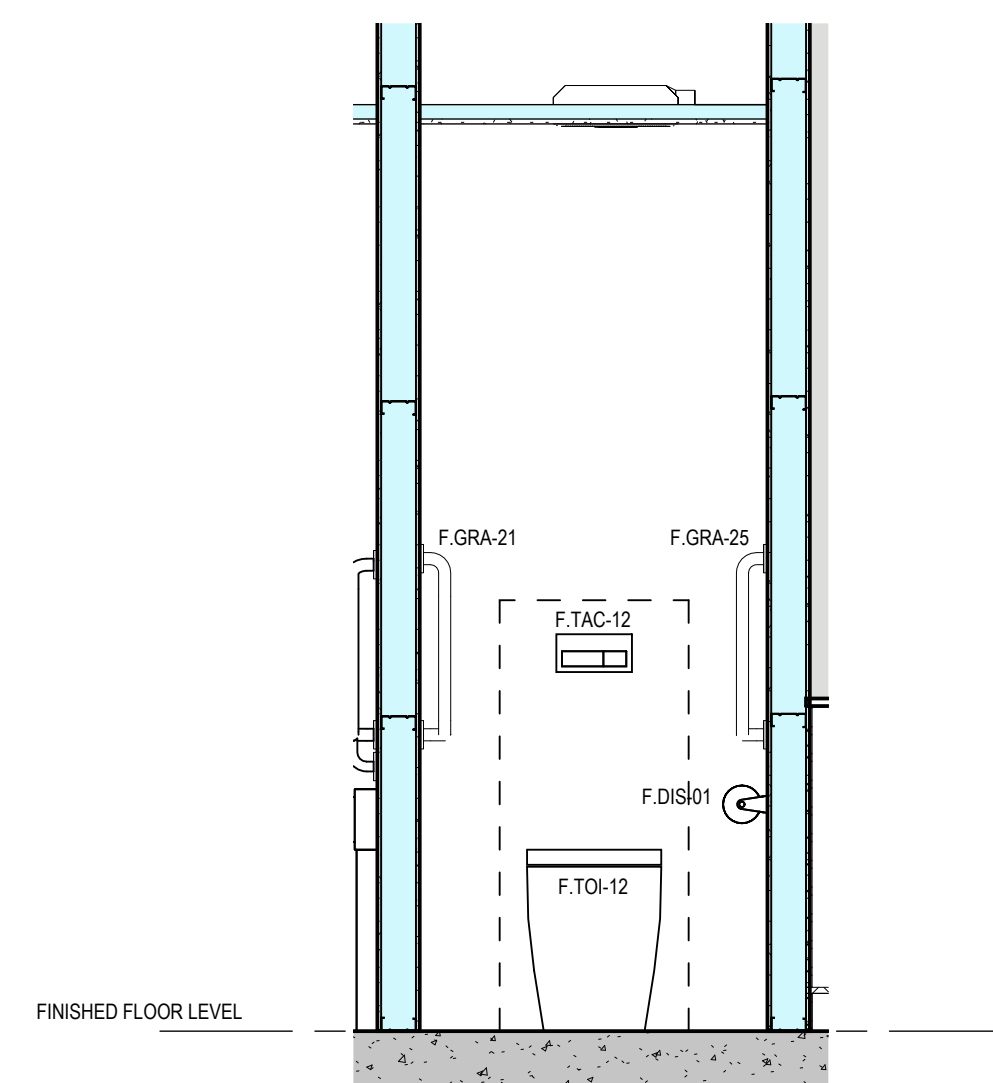
2 TYPICAL AMBULANT WC ELEVATION 1
1:20



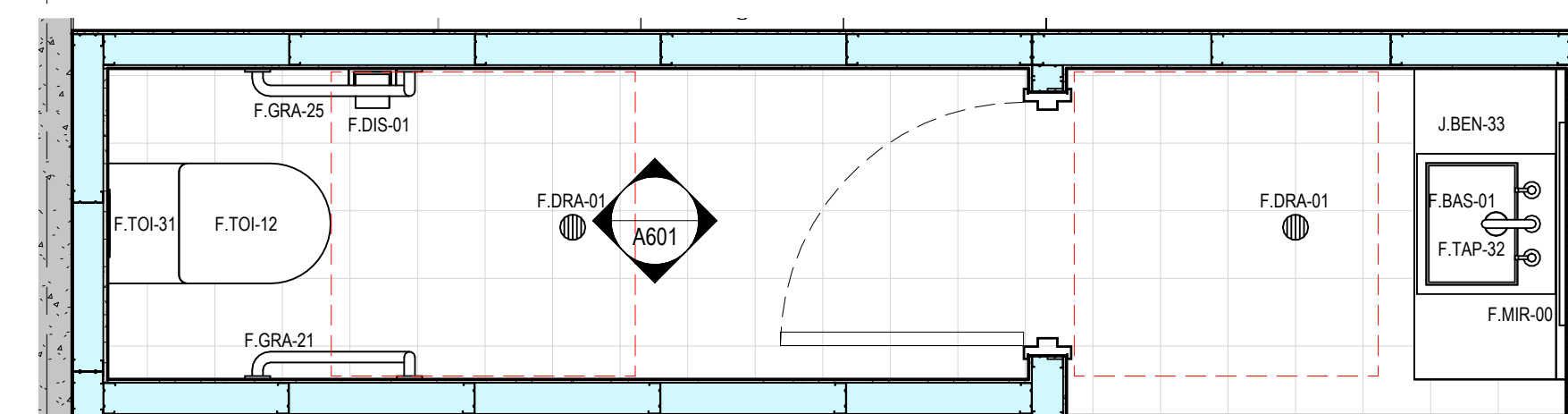
3 TYPICAL AMBULANT WC ELEVATION 2
1:20



4 TYPICAL AMBULANT WC ELEVATION 3
1:20



5 TYPICAL AMBULANT WC ELEVATION 4
1:20



5 1 AMBULANT WC PLAN
1:20

[illegible]

GENERAL NOTES:

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED.
CONFIRM THE SCALE OF HARDCOPY DRAWINGS BY USING THE ATTACHED SCALE BAR.
CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR BEFORE SET OUT.



CONTACT DETAILS:

CONTACT DETAILS:

Po Box 111, TORONTO, 2283	INDUSTRIAL & COMMERCIAL
MOBILE: 0410644524	STEEL BUILDING SPECIALISTS
ABN: 94 116 169 264 / ACN: 151 135 447	

DESIGNED:	DRAWN:	SCALE:
PC	PC	As indicated @ A1
APPROVED:	APPROVED DATE:	NORTH:
CC	16 JUNE 23'	
CLIENT:		
Terapale Pty Ltd		

PROJECT:

PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

TITLE:
AMBULANT WC FLOOR PLAN,
ELEVATIONS & 3D

PROJECT NUMBER:	SHEET NUMBER:	REVISION:
23013	A601	

APPROVAL ISSUE
NOT FOR CONSTRUCTION

12.1 GENERAL
THE FACILITIES DESCRIBED IN THIS CLAUSE MAY BE USED AS INDIVIDUAL MODULES, IN MIRROR IMAGE CONFIGURATIONS OR IN A COMBINED FORM, AS SPECIFIED IN A.S. 1428.1.2021 CLAUSE 12.6.

WATER TAPS SHALL COMPLY WITH THE FOLLOWING:

- (A) TAPS SHALL HAVE LEVER HANDLES, SENSOR PLATES, VOICE ACTIVATION OR OTHER SIMILAR CONTROLS.
- (B) LEVER HANDLES SHALL HAVE NOT LESS THAN 50 MM CLEARANCE FROM AN ADJACENT SURFACE.
- (C) WHERE SEPARATE TAPS ARE PROVIDED FOR HOT AND COLD WATER, THE HOT WATER TAP SHALL BE TO THE LEFT OF THE COLD WATER TAP FOR HORIZONTAL CONFIGURATIONS, OR ABOVE THE COLD WATER TAP FOR VERTICAL CONFIGURATIONS.
- (D) WHERE HOT WATER IS PROVIDED, THE WATER SHALL BE DELIVERED THROUGH A MIXING VALVE OUTLET.

WC PAN CLEARANCES, INCLUDING SET-OUT, SEAT HEIGHT AND SEAT WIDTH SHALL BE AS SHOWN IN FIGURE 38.

A TOILET SEAT SHALL BE PROVIDED ON ACCESSIBLE TOILETS. THE TOILET SEAT SHALL —

- (A) BE OF THE FULL-ROUND TYPE, (I.E., NOT OPEN FRONTED)
- (B) BE SECURELY FIXED IN POSITION WHEN IN USE;
- (C) HAVE SEAT FIXINGS THAT CREATE LATERAL STABILITY FOR THE SEAT WHEN IN USE;
- (D) BE LOAD-RATED TO 150 KG, AND
- (E) HAVE A MINIMUM LUMINANCE CONTRAST OF 30% WITH ONE OF THE FOLLOWING OPTIONS:
 - (I) SEAT AND PAN, OR
 - (II) SEAT AND WALL; OR
 - (III) SEAT AND FLOOR AGAINST WHEN FULLY RAISED
- (F) REMAIN IN THE UPRIGHT POSITION WHEN FULLY RAISED.

A BACKREST SHALL BE PROVIDED ON ACCESSIBLE TOILETS, INCLUDING THOSE IN ACCESSIBLE SOLE-OCCUPANCY UNITS.

THE BACKREST SHALL—

- (A) BE CAPABLE OF WITHSTANDING A FORCE IN ANY DIRECTION OF 1100 N;
- (B) AT ITS FACE, HAVE A VERTICAL HEIGHT OF 150 MM TO 200 MM AND WIDTH OF 350 TO 400MM, AS SHOWN IN FIGURE 39;
- (C) HAVE ITS FACE INCLINED TO 95 DEG. TO 100 DEG. TO THE HORIZONTAL; AND
- (D) BE CENTRED ON THE WC PAN CENTRE LINE; AND

BE LOCATED WITH THE LOWER EDGE OF THE CENTRE OF THE FACE 120 TO 150MM ABOVE THE WC SEAT AND 420 TO 495MM FROM THE FRONT OF THE WC PAN FIG. 39. AND

- (F) BE LOCATED TO ALLOW THE SEAT TO REMAIN IN THE RAISED POSITION; AND
- (G) IN AN ACCESSIBLE SOLE-OCCUPANCY UNIT, BE CAPABLE OF BEING REMOVED AND REFITTED.

FLUSHING CONTROLS SHALL BE USER ACTIVATED, HAND OPERATED, ELECTRONIC SENSOR OR AUTOMATIC. WHERE HAND-OPERATED FLUSHING CONTROLS ARE USED, THEY SHALL BE LOCATED WITHIN THE ZONE SHOWN IN FIGURE 40, OR CENTRED ON THE CENTRE-LINE OF THE TOILET, WHOLLY WITHIN THE VERTICAL LIMITS OF THAT ZONE. THE POSITION OF THE FLUSHING CONTROL WITHIN THIS ZONE SHALL NOT BE WITHIN THE AREA REQUIRED FOR ANY GRABRAILS OR BACKREST. THE FLUSHING CONTROL SHALL BE PROUD OF THE SURFACE AND SHALL ACTIVATE THE FLUSH BEFORE THE BUTTON BECOMES LEVEL WITH THE SURROUNDING SURFACE UNLESS PROVIDED WITH ELECTRONIC SENSOR(S) OPTION.

FLUSHING CONTROL SHALL NOT BE LOCATED WITHIN THE ZONE OF THE BACKREST OR WITHIN 50MM OR ANY GRAB RAIL.

THE OUTLET FOR THE TOILET PAPER DISPENSER SHALL BE LOCATED WITHIN THE ZONE SPECIFIED IN FIGURE 41.

THE TOILET PAPER DISPENSER SHALL NOT ENCR OACH UPON THE CLEARANCE SPACE REQUIRED AROUND THE GRABRAIL SPECIFIED IN CLAUSE 14.

TOILET ROLL SHALL NOT HAVE A PROJECTION FROM THE WALL OF MORE THAN 150MM.

GRABRAILS, AS SPECIFIED IN SECTION 14, SHALL BE PROVIDED ACROSS THE REAR WALL AND AT THE SIDE WALL NEAREST THE WC PAN, AS SHOWN IN FIGURE 42. WHERE THERE IS NO OBSTRUCTION, THE REAR WALL GRABRAIL MAY EXTEND ACROSS THE WALL TO THE SIDE WALL.

12.2.8.1 GENERAL

FOR EACH WC PAN THE UNOBSTRUCTED CIRCULATION SPACE FROM THE FINISHED FLOOR TO A HEIGHT OF NOT LESS THAN 2000 MM SHALL BE AS SHOWN IN FIGURE 43. THE ONLY FIXTURES OR FITTINGS THAT MAY ENCRATCH INTO THE CIRCULATION SPACE BELOW A HEIGHT OF 900MM ARE AS FOLLOWS:

- (A) THE TOILET PAPER DISPENSER (SEE CLAUSE 12.2.6);
- (B) GRABRAILS (SEE CLAUSE 12.2.7);
- (C) BACKREST (SEE CLAUSE 12.2.4)
- (D) PORTABLE SANITARY DISPOSAL UNIT AS SHOWN IN FIG. 50.
- (E) WASHBASIN / VANTY BENCH LIMITED TO 100MM ENCRATCHMENT AS SHOWN IN FIG. 43, 44, AND 45.
- (F) WHERE PROVIDED, WALL-MOUNTED TAPS & E. CLEANERS TAP (SEE FIG. 40).

WHERE PROVIDED, ADDITIONAL FITTINGS AND FIXTURES MAY ENCRATCH INTO THE WC PAN CIRCULATION SPACE UP TO A MAXIMUM OF 150MM BUT SHALL PROVIDE A MINIMUM OF 900MM CLEARANCE BELOW. SUCH FITTINGS AND FIXTURES INCLUDE THE FOLLOWING:

- (I) HAND DRYERS AND TOWEL DISPENSERS.
- (II) SOAP DISPENSERS (SEE CLAUSE 12.4.3)
- (III) SHELVES (SEE CLAUSE 12.4.2)
- (IV) WALL CABINETS
- (V) CLOTHES HANGING DEVICES (SEE CLAUSE 12.4.4)
- (VI) OTHER WALL MOUNTED FIXTURES, SUCH AS DISPENSING UNITS AND SHARPS DISPOSAL UNITS.

THE OVERLAPPING OF CIRCULATION SPACES SHALL BE IN ACCORDANCE WITH CLAUSE 12.6.

THE WC PAN CIRCULATION SPACE MAY OVERLAP OTHER CIRCULATION SPACES

WHERE INSTALLED, BABY CHANGE TABLES SHALL —

(A) NOT ENCOACH INTO THE CIRCULATION SPACE OF ANY OTHER TOILET FACILITY WHEN IN THE FOLDED POSITION; AND

(B) HAVE A MAXIMUM HEIGHT OF 820 MM AND A MINIMUM CLEARANCE UNDERNEATH OF 720 MM WHEN IN THE OPEN POSITION.

WC DOORS MAY BE EITHER HINGED OR SLIDING. WC DOORS SHALL COMPLY WITH THE FOLLOWING:

- (A) OUTWARD-OPENING DOORS SHALL HAVE A MECHANISM THAT HOLDS THE DOOR IN A CLOSED POSITION WITHOUT THE USE OF A LATCH.
- (B) DOORS SHALL BE PROVIDED WITH AN IN-USE INDICATOR AND A BOLT OR CATCH. WHERE A SNIB CATCH IS USED, THE SNIB HANDLE SHALL HAVE A MINIMUM LENGTH OF 45 MM FROM THE CENTRE OF THE SPINDLE. IN AN EMERGENCY, THE LATCH MECHANISM SHALL BE OPENABLE FROM THE OUTSIDE.
- (C) THE FORCE REQUIRED TO OPERATE THE DOOR SHALL BE IN ACCORDANCE WITH CLAUSE 10.4.2(E).
- (D) DOOR HANDLES AND HARDWARE SHALL BE IN ACCORDANCE WITH CLAUSE 10.4.

REFER TO A.S. 1428: 2021 FOR MORE INFORMATION WHICH TAKES
PRECEDENCE OVER THESE PLANS

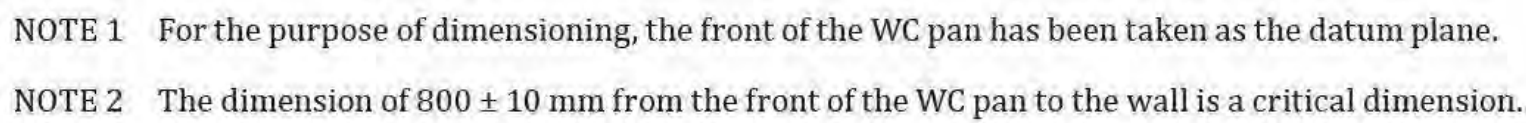
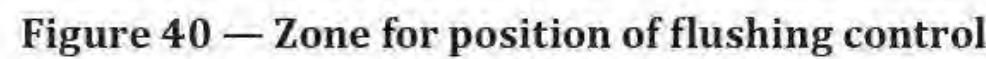
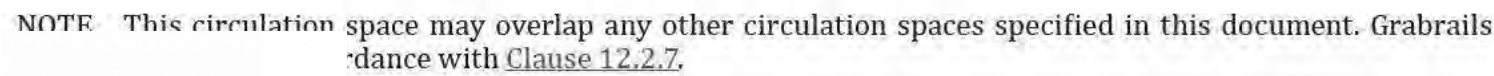
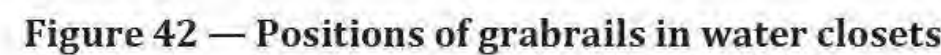
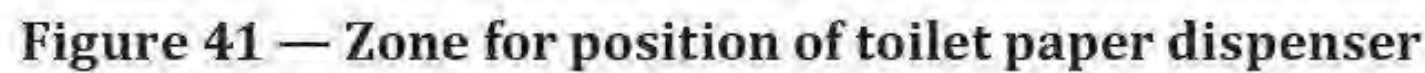


Figure 38 — Water closet pan clearances, seat height and seat width




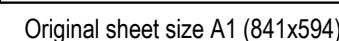
ulation space for WC pan — Right-hand transfer (left-hand transfer is mirror reversed)

other allowable encroachments.

[illegible]

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CONTACT DETAILS:			
Po Box 111, TORONTO, 2283 MOBILE: 0410644524 ADN: 94 116 199 264 / ADN: 151 135 447		INDUSTRIAL & COMMERCIAL STEEL BUILDING SPECIALISTS	
DESIGNED:	DRAWN:	SCALE:	
PC	PC	1 : 1 @ A1	
APPROVED:	APPROVED DATE:	NORTH:	
CC	16 JUNE 23'		
CLIENT:			
Terapade Pty Ltd			
PROJECT:			
PROPOSED DEVELOPMENT AT LOT 402, D.P. 1278483, 20 BRODIE STREET, MORISSET, NSW, 2264			
TITLE:			
TYPICAL ACCESSIBLE WC AMENITIES			
PROJECT NUMBER:		REV:	
23013		A603	



8.1. STAIR CONSTRUCTION

8.2 STAIRWAY HANDRAILS

9. HANDRAILS

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23
	FOR FINAL REVIEW	PC	16.06.23

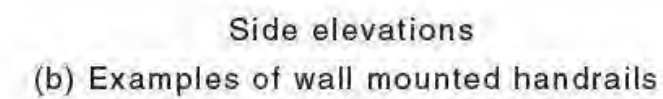
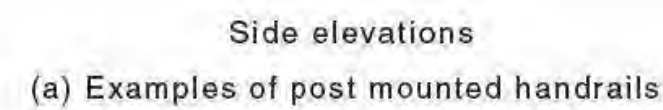
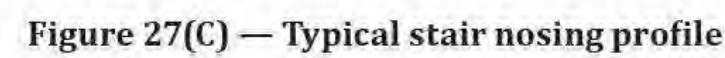
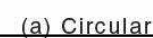
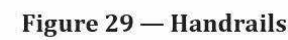
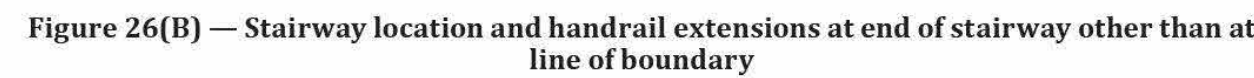
GENERAL NOTES:
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Po Box 111, TORONTO, 2283 MOBILE: 0410644524 ABN: 94 116 169 264 / ACN: 151 135 447	INDUSTRIAL & COMMERCIAL STEEL BUILDING SPECIALISTS

PROJECT:

PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

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Strip of one contrasting colour 50 to 75 wide

15 max. setback

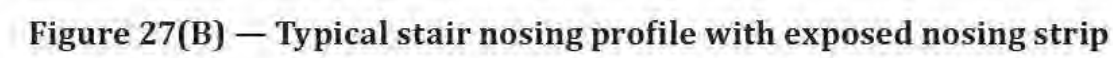
5 radius max.

25 max. splay

Risers to be opaque

NOTE A chamfered nosing 5 × 5 mm may be used.

Figure 27(A) — Typical stair nosing profile with nosing strip



(b) Side elevation

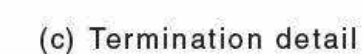
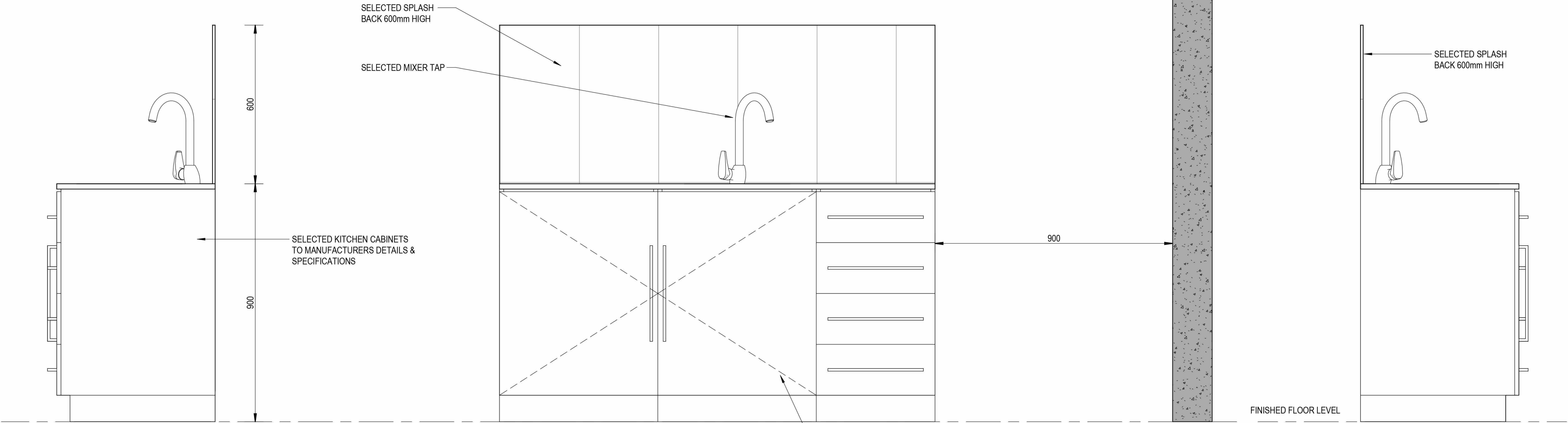


Figure 26(D) — Example of detail for handrails terminated by turning horizontally through 90° to the wall

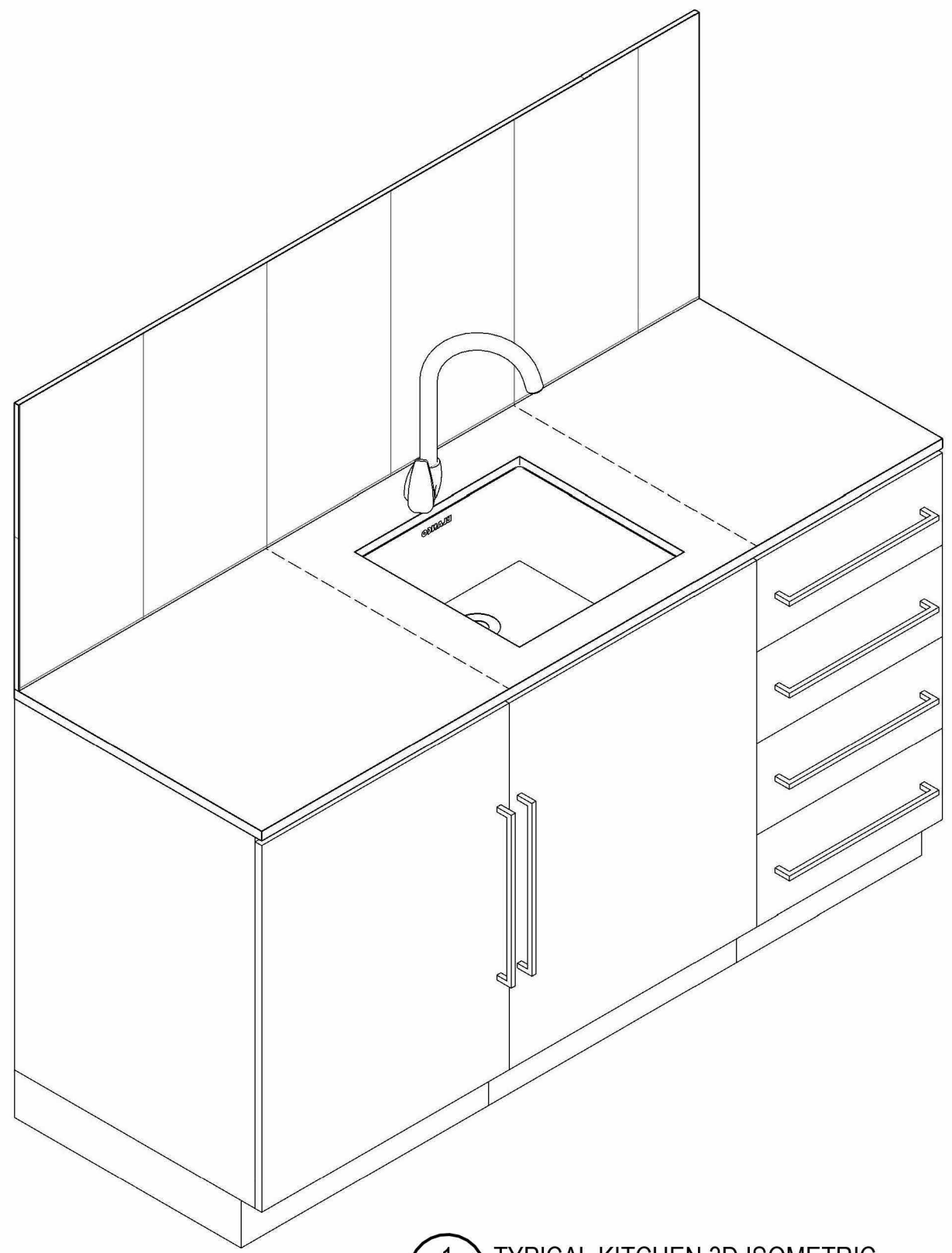
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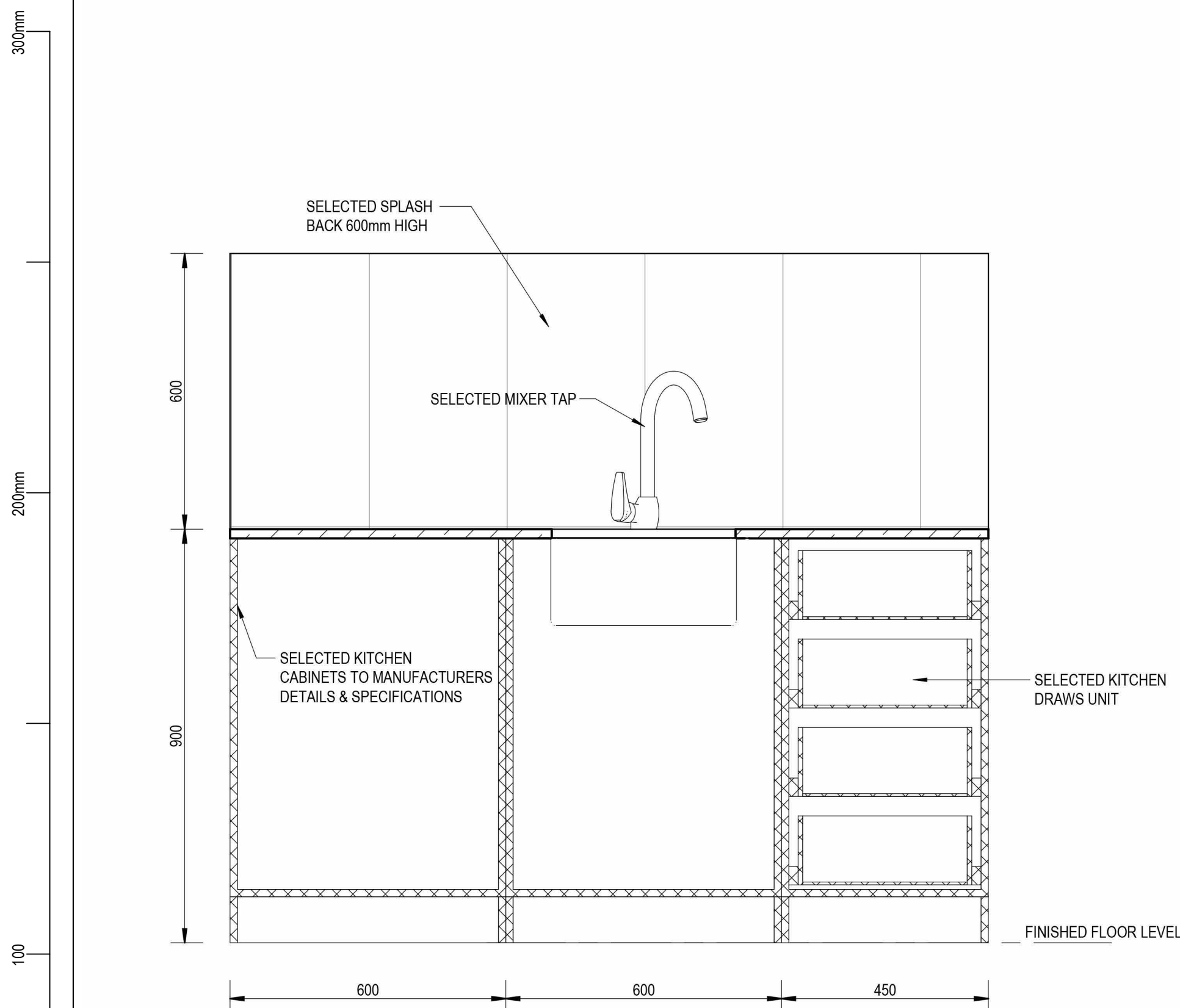
4 TYPICAL KITCHEN SDE ELEVATION 2
1:10

2 TYPICAL KITCHEN FRONT ELEVATION
1:10

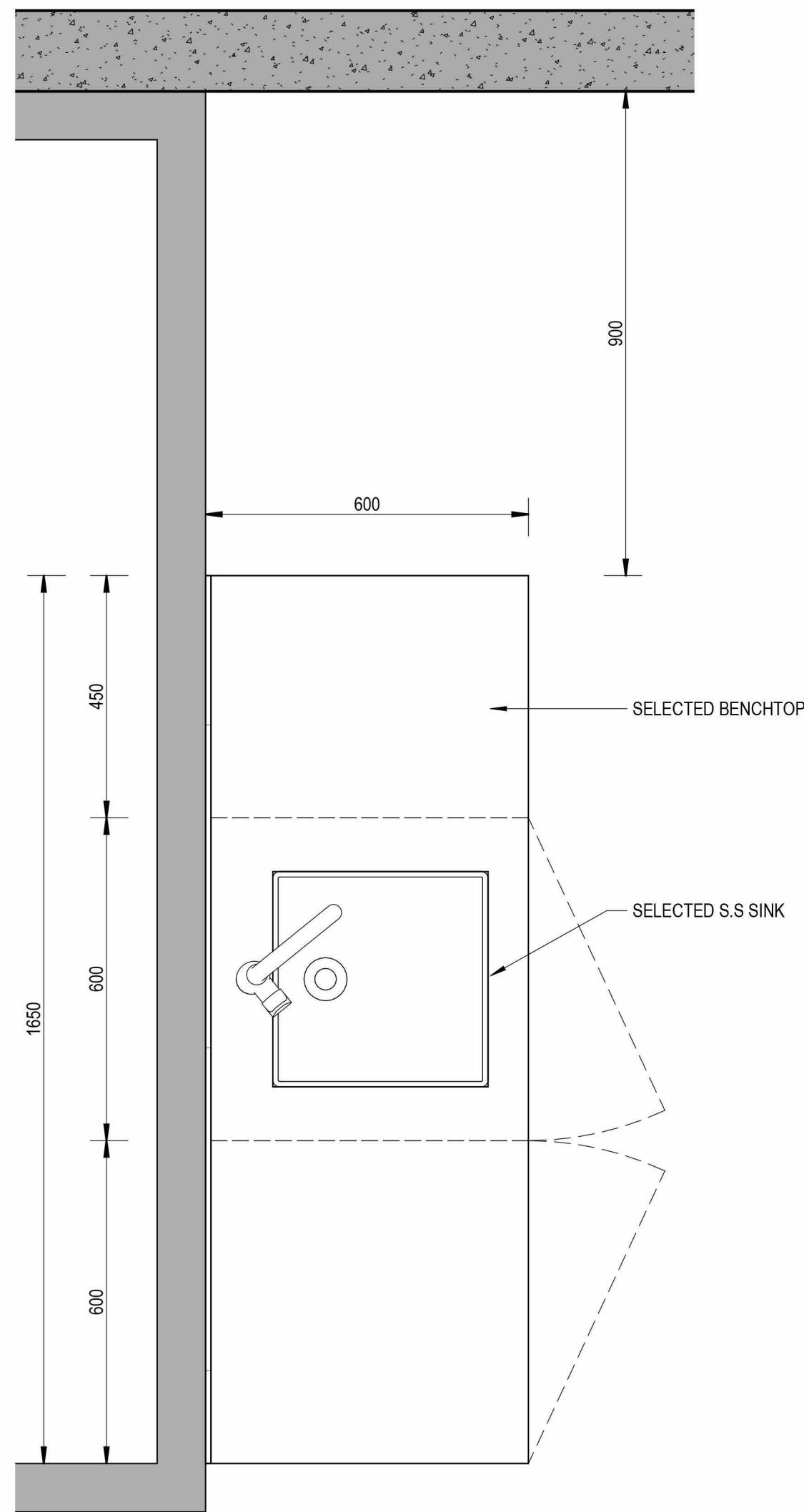
3 TYPICAL KITCHEN SDE ELEVATION 1
1:10



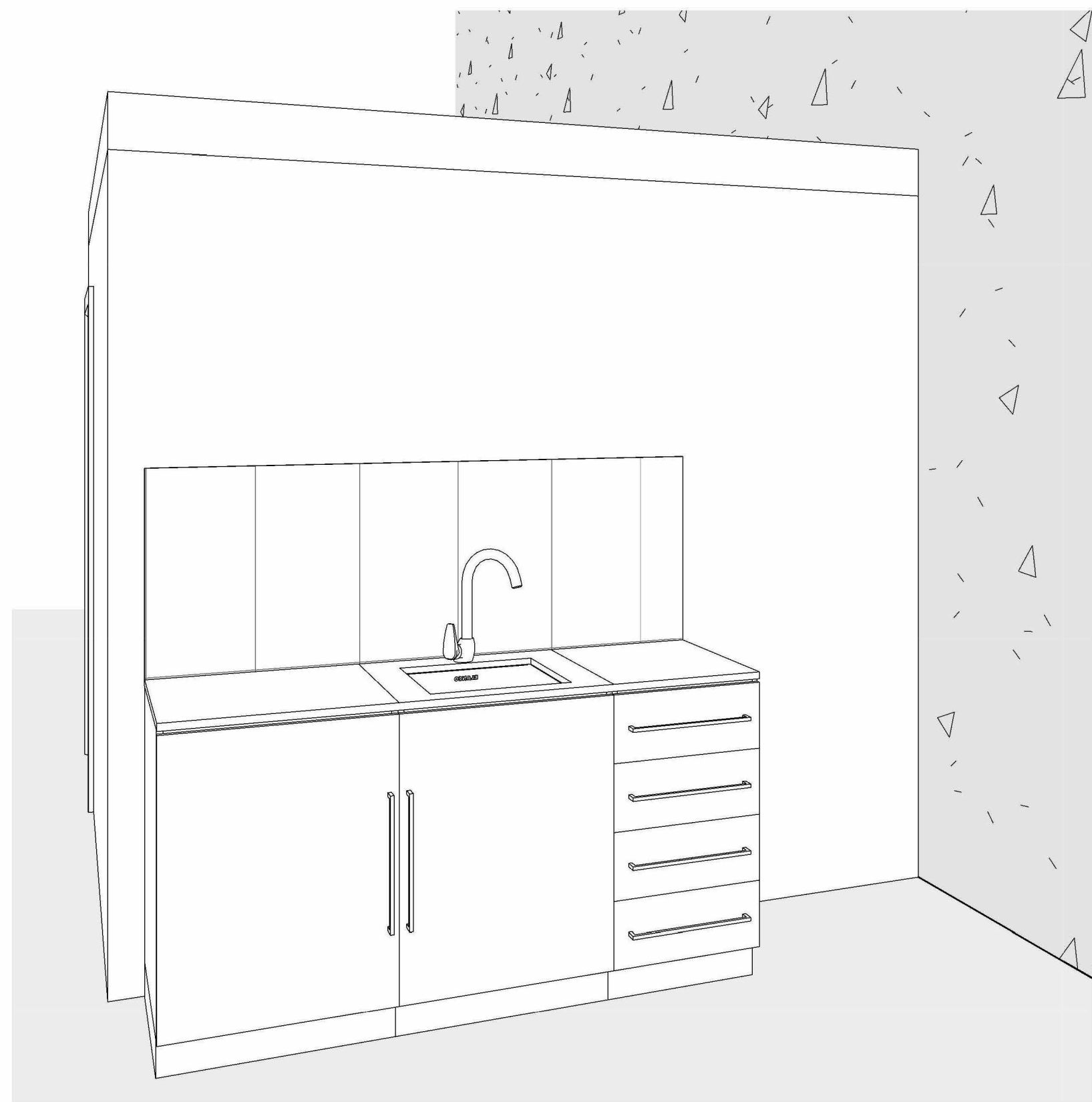
1 TYPICAL KITCHEN 3D ISOMETRIC



5 TYPICAL KITCHEN SECTION
1:10



6 TYPICAL KITCHEN TOP VIEW
1:10



7 TYPICAL KITCHEN 3D PERSPECTIVE

REVISION	AMENDMENT	APPROVE	DATE
	FOR REVIEW ONLY	PC	28.03.23
	FOR FINAL REVIEW	PC	16.06.23

GENERAL NOTES:
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CONFIRM THE SCALE OF HARDCOPY DRAWINGS BY USING THE ATTACHED SCALE BAR.
CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR BEFORE SET OUT.

CHAPPELL
BUILDING SYSTEMS

CONTACT DETAILS:
PO Box 111, TORONTO, 2283
MOBILE: 041064624
ABN: 94 116 169 264 / ACN: 151 135 447
INDUSTRIAL & COMMERCIAL
STEEL BUILDING SPECIALISTS

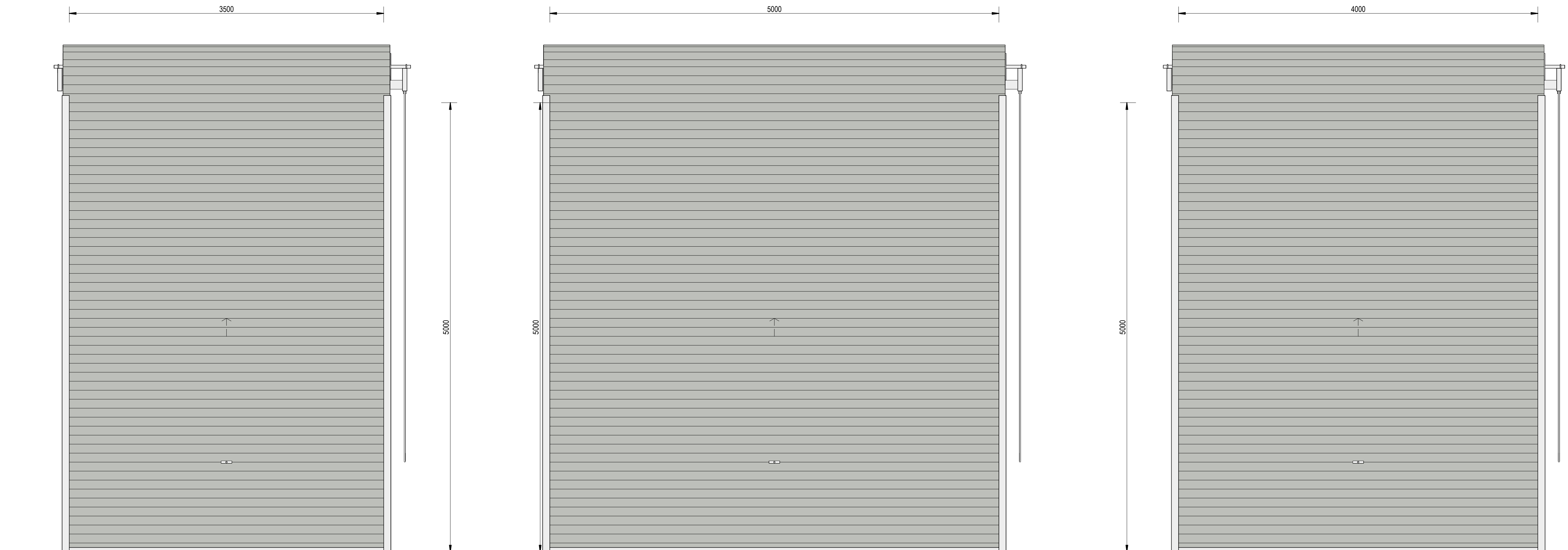
DESIGNED:	DRAWN:	SCALE:
PC	PC	@ A1
APPROVED:	APPROVED DATE:	NORTH:
CC	16 JUNE 23'	
CLIENT:	Terapale Pty Ltd	

PROJECT:
PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

TITLE:
TYPICAL KITCHEN PLANS

PROJECT NUMBER:	SHEET NUMBER:	REV:
23013	A700	

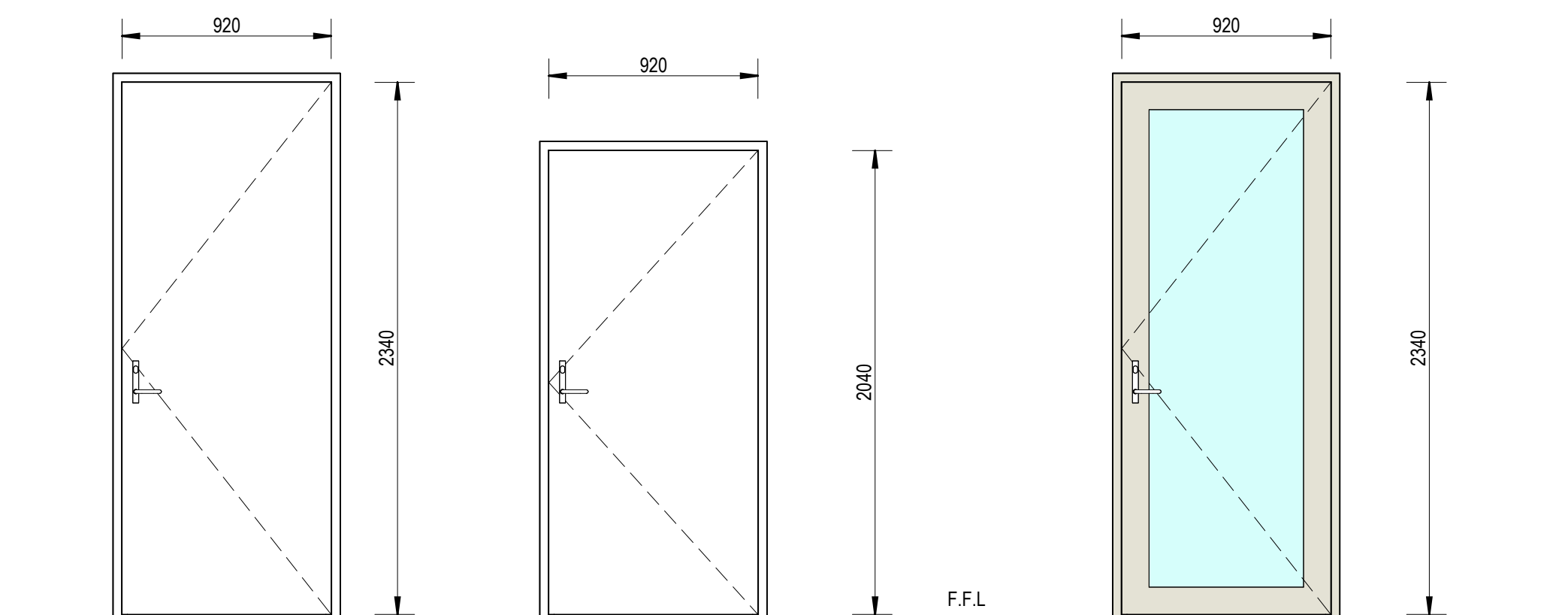
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DOOR
No. D103

DOOR
No. D202, D301, D402

DOOR
No. D501, D602, D701



DOOR
No. D102, D203

TYPICAL INTERNAL DOORS

DOOR
No. D101, D201, D302,
D401, D502, D601, D702

DOOR SCHEDULE						
NO.	DESCRIPTION	FRAME	DOOR DIMENSIONS		COLOUR	GLAZING SPEC.
		TYPE	HEIGHT	X WIDTH		
D101	GLASS ENTRY DOOR	ALUMINIUM FRAME	2340 x 920	T.B.C	REFER TO SEC. J REPORT	
D102	P.A. DOOR	METAL FRAME	2340 x 920	T.B.C		
D103	ROLLER SHUTTER DOOR	METAL FRAME	5000 x 3500	T.B.C	REFER TO SEC. J REPORT	
D201	GLASS ENTRY DOOR	ALUMINIUM FRAME	2340 x 920	T.B.C		
D202	ROLLER SHUTTER DOOR	METAL FRAME	5000 x 5000	T.B.C	REFER TO SEC. J REPORT	
D203	P.A. DOOR	METAL FRAME	2340 x 920	T.B.C		
D301	ROLLER SHUTTER DOOR	METAL FRAME	5000 x 5000	T.B.C	REFER TO SEC. J REPORT	
D302	GLASS ENTRY DOOR	ALUMINIUM FRAME	2340 x 920	T.B.C		
D401	GLASS ENTRY DOOR	ALUMINIUM FRAME	2340 x 920	T.B.C	REFER TO SEC. J REPORT	
D402	ROLLER SHUTTER DOOR	METAL FRAME	5000 x 5000	T.B.C		
D501	ROLLER SHUTTER DOOR	METAL FRAME	5000 x 4000	T.B.C	REFER TO SEC. J REPORT	
D502	GLASS ENTRY DOOR	ALUMINIUM FRAME	2340 x 920	T.B.C		
D601	GLASS ENTRY DOOR	ALUMINIUM FRAME	2340 x 920	T.B.C	REFER TO SEC. J REPORT	
D602	ROLLER SHUTTER DOOR	METAL FRAME	5000 x 4000	T.B.C		
D701	ROLLER SHUTTER DOOR	METAL FRAME	5000 x 4000	T.B.C	REFER TO SEC. J REPORT	
D702	GLASS ENTRY DOOR	ALUMINIUM FRAME	2340 x 920	T.B.C		

[illegible]

GENERAL NOTES:	
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CHAPPELL
BUILDING SYSTEMS

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Po Box 111, TORONTO, 2283	INDUSTRIAL & COMMERCIAL
MOBILE: 0410644524	STEEL BUILDING SPECIALISTS
ABN: 94 116 169 264 / ACN: 151 135 447	

DESIGNED:	DRAWN:	SCALE:
PC	PC	1:25 @ A1
APPROVED:	APPROVED DATE:	NORTH:
CC	16 JUNE 23'	
CLIENT:		
Terapale Pty Ltd		

PROJECT:

PROPOSED DEVELOPMENT
AT LOT 402, D.P.1278483,
20 BRODIE STREET, MORISSET, NSW, 2264

TITLE:	DOOR SCHEDULE
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PROJECT NUMBER:	SHEET NUMBER:	REV:
23013	A702	

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