

Please find attached a Development Application for Material Change of Use (Extension to Educational Establishment- Student Car Park) at 17 Chamberlain Street, Ingham. Further details are provided in the attached cover letter.

I note that the applicant will pay the application fee directly to the Council. We would appreciate if you can provide an application reference number at your earliest convenience to allow payment of the application fee.

With thanks,



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APPLICATION FOR A DEVELOPMENT PERMIT  
for  
MATERIAL CHANGE OF USE FOR EXTENSION TO EDUCATIONAL  
ESTABLISHMENT (STUDENT CAR PARK)  
on land at  
15 & 17 CHAMBERLAIN STREET, INGHAM  
on land described as  
Lot 32 on RP709282 and Lot 3 on RP710637  
on behalf of  
GILROY SANTA MARIA COLLEGE



*Brazier Motti have prepared this report for the sole purposes of Gilroy Santa Maria College for the specific purpose of a Development Application seeking a Development Permit for Material Change of Use (Impact Assessment) at 15 and 17 Chamberlain Street, Ingham.*

*In preparing this report we have assumed that all information and documents provided to us by others, such as the client, other consultants acting on the client's behalf or government agencies, to be complete, accurate and current.*

*Signed on behalf of Brazier Motti Pty Ltd*

**ANNE ZAREH**  
*Senior Planner*

Prepared by



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Final: September 2020

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Job No. 42481-001-01



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## 1.0 INTRODUCTION

This town planning report has been prepared on behalf of the Applicant, Gilroy Santa Maria College, in support of a development application seeking a Development Permit for a Material Change of Use for an Extension to the Educational Establishment (student car park) on land at 15 Chamberlain Street, Ingham, being formally described Lot 32 on RP709282. This application deals with the development site (Lot 32), however Lot 3 on RP710637 (17 Chamberlain Street) has been included in the application for completeness.

The proposal results in the use of an additional parcel of land, adjacent to the school grounds, for the purpose of extra car parking. The layout incorporates 29 car parking spaces, including 1 disabled car park, 2 motorcycle bays and 5 bicycle racks. The new car parking area will support the growing demand for student car parking immediately adjacent to the school grounds.

To assist in Council's determination of this development application, this planning report covers the following matters:

- Section 2:- A site description including the site characteristics and its immediate surrounds.
- Section 3:- A detailed description of the development proposal.
- Section 4:- A review of the relevant legislative provisions.
- Section 5:- An assessment of the proposal against the relevant code provisions of the Hinchinbrook Shire Planning Scheme Plan 2017.

The development application is made in accordance with section 51 of the Planning Act 2016 and contains the mandatory supporting information specified in the applicable DA form, included in **Appendix A**. The application is subject to impact assessment and therefore public notification will be required.

## 2.0 THE SITE

The development site “subject site” is located at 15 Chamberlain Street and is formerly described as Lot 32 on RP709282. For the purpose of the report, the “subject site” refers to Lot 32 on RP709282 only, whilst the “campus site” refers to Lot 3 on RP710637. *Figure 1* below shows the extent of the subject site whilst *Figure 2* shows the subject site in context to the campus site which is located at 17 Chamberlain Street, Ingham, being formally described as Lot 3 on RP710637.

The subject site is prominently located opposite the intersection of Chamberlain Street and Atkinson Street and encompasses a total area of 1176m<sup>2</sup> and currently contains a dwelling house and ancillary structures. The subject site abuts the cane rail to the north, residential uses to the west and Chamberlain Street to the south-east.

The subject site is included within the General Residential zone and land surrounding is included within the General Residential zone and the Community Facilities zone.



Figure 1: Queensland Globe Aerial image of the subject site

The campus site encompasses a total land area of 11.19ha and contains the long-standing use, known as the Gilroy Santa Maria College. Although this application deals with the subject site, the entire campus site forms part of this application for completeness. The campus site is included within the Community Facilities zone. The Smart Maps for the subject and campus sites confirm the lot areas. Copies of the Smart Maps are included in **Appendix B**.





Figure 2: Queensland Globe Aerial image of the campus site and subject site

The certificates of title confirming ownership of the subject site and campus site by Nunzia Pavone and The Roman Catholic Trust Corporation for the Diocese of Townsville, respectively. The titles are included in **Appendix B** to this report. The land titles also identify that both sites are burdened by easements.

### 3.0 THE PROPOSAL

The applicant proposes to establish a car park to accommodate additional student car parking. *Figure 3* below shows the layout of the proposed car park and associated access. The proposed car park will provide 29 car parking spaces (including 1 PWD space), 2 motorcycle parking bays and a bicycle rack.

The proposed use is an extension to the existing college and the proposal is therefore defined as follows under the Hinchinbrook Shire Planning Scheme 2017:-

**Educational Establishment** - means the use of premises for—

- 1) training and instruction to impart knowledge and develop skills; or
- 2) student accommodation, before or after school care, or vacation care, if the use is ancillary to the use in paragraph (a)

Examples include pre-preparatory, preparatory and primary school, secondary school, special education, college, university, technical institute, outdoor education centres.

The development proposal is illustrated in detail on the following development plans which have been prepared by Dillon Architects, and are included in **Appendix C**.

Access to the car park will be via a new access off Chamberlain Street at the south-western section of the subject site. The location of the access has been determined to achieve minimal impact to the existing intersection, refer to Figure 3 below.

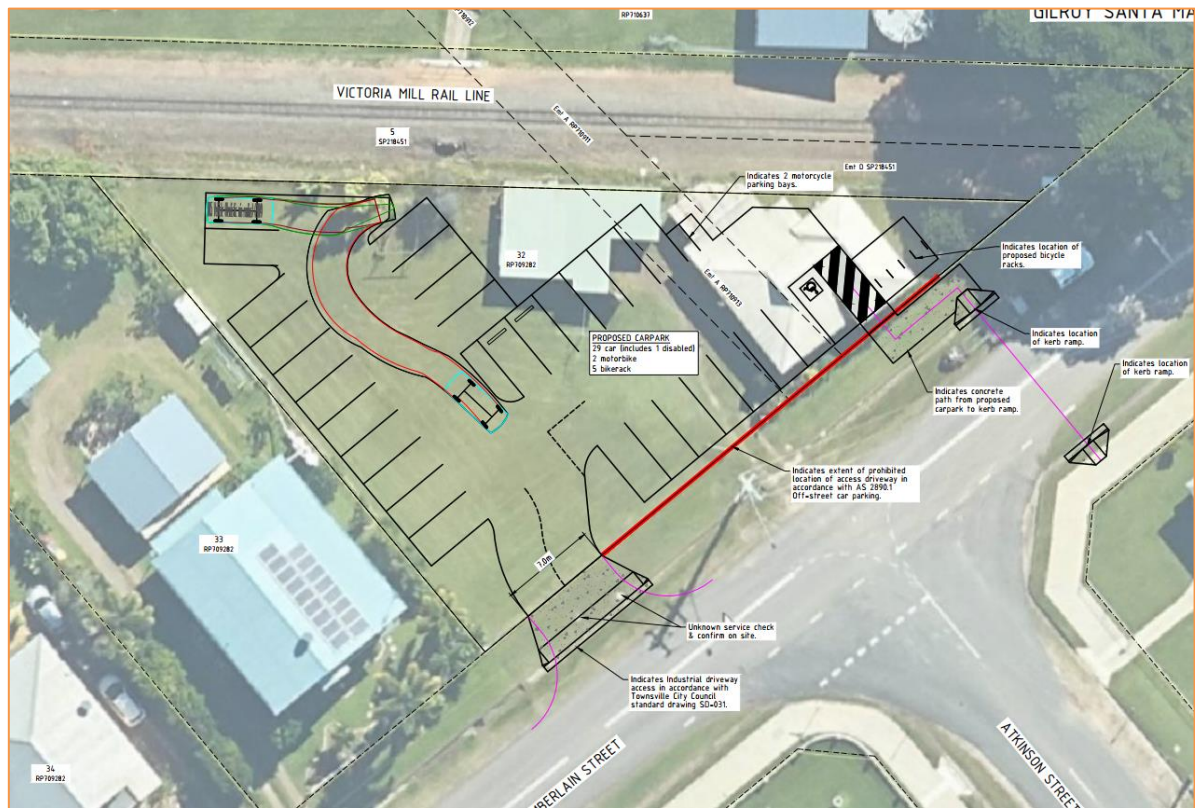


Figure 3: Extract of Carpark Layout Plan

A swept path analyses within the proposed car park confirms that the two-way circulation aisles will provide a suitable corridor to access and navigate the car park. The aisles will provide the opportunity for all users to enter and exit in a forward gear and enable queuing on-site if required during exit movements.

Pedestrian access is proposed at the eastern end of the car park. This access will link to the kerb ramp which directs pedestrians across Chamberlain Street to connect with the existing footpath network which continues on the school grounds.

The above aspects have been addressed in detail in the traffic movement study undertaken by Northern Consulting. The Traffic Movement Study is located in **Appendix D**.

## 4.0 RELEVANT LEGISLATION

### 4.1 COMMONWEALTH LEGISLATION

The application is not subject to assessment against Commonwealth legislation. It is not anticipated that development of this land will trigger assessment against the *Environmental Protection and Biodiversity Conservation Act 1999* (EPBC), as it is not anticipated that the development will significantly impact upon a matter of national environmental significance.

### 4.2 THE PLANNING ACT 2016

The *Planning Act 2016* provides the framework for coordinating local, regional and state planning. Given the nature of the development, the application requires assessment against this legislation.

### 4.3 STATE ASSESSMENT AND REFERRALS

The application does not trigger referral for any State matters.

### 4.4 STATE PLANNING POLICY

For the purposes of this development, we consider that separate assessment of the proposal against the provisions of the SPP is not required given that all relevant matters will be dealt with under the provisions of the planning scheme.

### 4.5 ASSESSMENT MANAGER AND PLANNING SCHEME

Hinchinbrook Shire Council is nominated as the assessment manager for the application. The applicable planning scheme is the *Hinchinbrook Shire Planning Scheme 2017*.

### 4.6 PUBLIC NOTIFICATION

The proposed development on the subject site **does** require public notification under the provisions of the Planning Act 2016. Public notification will be undertaken for a period of 15 business days.



## 5.0 THE PLANNING FRAMEWORK

### 5.1 PLANNING SCHEME DESIGNATIONS – HINCHINBROOK SHIRE PLANNING SCHEME 2017

In accordance with the Hinchinbrook Shire Planning Scheme 2017, the site is subject to the designations listed in Table 1. These designations will assist in determining which Tables of Assessment are applicable to the proposed development on the subject site and therefore assist in the determination of the Category of assessment and the codes applicable to the proposed development.

**Table 1: Planning Scheme Designation**

TYPE OF DESIGNATION	DESIGNATION
ZONE	General Residential Zone
ACID SULPHATE SOILS	Identified
BUSHFIRE HAZARD	Not Applicable
COASTAL HAZARD	Not applicable
ENVIRONMENTAL SIGNIFICANCE	Not applicable
EXTRACTIVE RESOURCES	Not Applicable
FLOOD HAZARD	Identified
CULTURAL HERITAGE	Not applicable

### 5.2 LEVEL OF ASSESSMENT, ASSESSABLE BENCHMARKS & APPLICABLE CODES

The subject land is designated within the *General Residential Zone*. The relevant table of assessment within the Hinchinbrook Shire Planning Scheme (2017) (Table 5.5.1) identifies the Material Change of Use for the extension to the Educational Establishment is impact assessable.

Furthermore, the Assessment Table identifies that an application for Material Change of Use requires assessment against the planning scheme and hence the following Codes:

- Strategic Framework;
- General Residential Zone Code;
- Infrastructure Services and Works Code;
- Landscaping Code;
- Parking and Access Code;
- Acid Sulphate Soils Code; and
- Flood Hazard Overlay Code.

A complete assessment of the proposal against the relevant provisions of the applicable Scheme provisions is discussed below:

### 5.3 STRATEGIC FRAMEWORK

The strategic framework sets the policy direction for the planning scheme and forms the basis for ensuring appropriate development occurs in the planning scheme area for the life of the planning scheme. The strategic framework is represented by the following four themes:

1. Economy;
2. Thriving Places;
3. Natural Hazards; and
4. Savvy Infrastructure.

The proposed development is an extension to an existing community asset which will improve the current car parking situation. It is not anticipated that a full assessment against the strategic framework is required. The function of the proposed use is to further support an existing community use and it is not anticipated that it will conflict with the strategic intent of the scheme. Whilst the subject site is designated for residential uses, the location of the site in proximity to the cane rail and existing school grounds allows other uses, and in particular a student car park, to be established without impact. The student car park will be utilised on school days only.

## 5.4 ZONE CODE PROVISIONS

### 5.4.1 General Residential Zone Code

In accordance with Hinchinbrook Shire Planning Scheme (2017) the site is contained within the General Residential Zone, where a Material Change of Use for an extension to the Educational Establishment is considered impact assessable.

***The purpose of the zone is to provide for residential uses and community uses, and small scale services, facilities and infrastructure, to support local residents.***

*The purpose of the zone will be achieved through the following overall outcomes—*

- (a) A range of residential dwelling choices is provided including dwelling houses, multiple dwellings and special needs accommodation.*
- (b) The scale and density of development is consistent with local housing needs.*
- (c) Development ensures a high level of amenity by minimising traffic, noise, dust, odour, glare and other local impacts.*
- (d) Development is reflective of, and responsive to, the environmental constraints of the land including those shown on the overlay maps.*
- (e) Development has access to infrastructure and services.*
- (f) Non-residential uses are only provided where they cater directly to community needs, where the character and residential amenity is maintained and where surrounding character of the area.*
- (g) High quality residential care facilities and retirement facilities are located on larger sites.*
- (h) Home based businesses are of a scale and intensity which is consistent with and subordinate to the residential use of the site and surrounds.*
- (i) Home based businesses do not adversely affect the amenity of the locality.*
- (j) Residential areas are protected from intrusive, incompatible land uses and built forms.*
- (k) Tourist accommodation does not intrude on residential amenity and is located in the Mixed use zone or Centre zone.*

### Response

The proposed extension to the existing school grounds is consistent with the outcomes for non-residential uses as the car park will be provided to improve the car parking situation for the college. This will satisfy a community need. Treatments will be implemented along the shared boundary to protect the residential amenity. It is noted that the subject site is already impacted by the abutting cane rail and it is considered that the use as a car park is more appropriate than for residential purposes. It is not expected that the redevelopment will have any adverse impacts on the amenity of adjoining properties as appropriate treatments will be established along the western boundary of the subject site.

A detailed assessment against the applicable performance outcomes is demonstrated below.

**Table 2: Zone Code Assessment**

Performance Outcomes	Acceptable Outcomes	Comments
<b>General</b>		
<b>PO1</b> The height of buildings and structures is: (a) in keeping with the amenity of adjoining premises; and (b) complimentary to the character of the area; and (c) sufficient to achieve resilience to flood and storm tide hazard.	<b>AO1</b> Buildings and structures are a maximum of 8.5m and 2 storeys in height.  Buildings and structures on land with frontage to Willow Street, or land on the western side of Allamanda Avenue, are a maximum of 11m in height.	<b>Not applicable</b> The proposed development is for the purpose of a car park and will not involve any building work.
<b>Development generally</b>		
<b>PO8</b> Development is consistent with the purpose and overall outcomes sought for the zone.	No acceptable outcome provided.	<b>Complies</b> As per response in section 5.4.1 the development is consistent with the outcomes for non-residential uses in the residential zone as it will support an existing community use.
<b>PO9</b> The location of a building or structure facilitates an acceptable streetscape.		<b>Not applicable</b> The proposed development is for the purpose of a car park and will not involve any building work.
<b>PO10</b> The site coverage of all buildings and structures is in keeping with the character and amenity of the area.	<b>AO10</b> Site coverage is not more than 50%.	<b>Not applicable</b> The proposed development is for the purpose of a car park and will not involve any building work.
<b>PO11</b> Non-residential uses: (a) serve the local community; and (b) provide for the day to day needs of the immediate residential community; and (c) are located with an appropriate level of access in the context of the transport infrastructure network; (d) are co-located with other similar uses; (e) do not detract from the role and function of centres; and (f) do not unduly detract from the amenity of nearby residences.	No acceptable outcome provided.	<b>Complies</b> As per response in section 5.4.1 the development is consistent with the outcomes for non-residential uses in the residential zone as it will support an existing community use. The proposed car park is strategically located in close proximity to the established school grounds and will improve the existing parking situation. A movement study has been undertaken by qualified engineers who established a suitable access location and car parking layout. The car park will be screened from the adjoining residential use (west).



<b>Landscaping and Recreation Areas</b>		
PO12 Landscaping and recreation space is provided on the premises, other than for dwelling houses, and is at an appropriate scale relative to the street and the height and bulk of buildings and structures on site	No acceptable outcome provided.	<b>Complies</b> Landscaping will be provided along the perimeter of the site.

## 5.5 OTHER DEVELOPMENT CODES

### 5.5.1 Infrastructure, Services and Works Code

The purpose of the infrastructure, services and works code is to ensure development is provided with a level of infrastructure which maintains or enhances community health, safety and amenity, and that works occur in a manner that does not adversely impact upon character and amenity, environmental values, and flooding and drainage.

Given the nature of the proposed use, water and sewer connections are not required. Stormwater drainage will be in accordance with Council's design requirements. Further, only minor earthworks are expected to allow for site preparation. These aspects will be further addressed in detail at future operational work stage.

### 5.5.2 Landscaping Code

The purpose of the Landscaping code is to ensure development is landscaped to enhance the appearance of the development, the amenity and environmental values of the site, the streetscape and the local environs.

**Table 3: Landscape Code Assessment**

Performance Outcomes	Acceptable Outcomes	Comments
<b>General</b>		
<b>PO1</b> Development provides areas for landscaping to create a quality landscape character for the site, street and local areas.	<b>AO1.1</b> A minimum 1m wide landscaped strip is provided to all property boundaries except where there is a building or structure. <b>AO1.2</b> A minimum 1m wide landscaped strip is provided between any access ways, driveways, vehicle manoeuvring areas and car parking and: (a) a road frontage excluding pedestrian and vehicle access; and (b) side and rear property boundaries. <b>AO1.3</b> For development in the Centre zone parking areas include a minimum of 1 shade tree for every 10 parking spaces.	<b>Complies.</b> A 1m wide landscape strip will be provided to all property boundaries. Indicative landscaping is shown on the site plan (Appendix C).

	<b>AO1.4</b> All landscaping areas are maintained to the reasonable satisfaction of Council for the life of the use.	
<b>PO2</b> Development maintains the conveyance of overland flow and does not act as barrier to debris.	<b>AO2</b> (a) Landscaping is used for screening in preference to fencing, to allow the overland flow of water; or (b) Where fencing is used it is i) constructed of open material such as aluminium pool fencing; and ii) includes a removable panel below the 1 in 100 ARI level.	<b>Complies.</b> Fencing is proposed along the western boundary to provide additional screening to the residential property. No further fencing is proposed. Fencing will be established in accordance with Council requirements.
<b>For assessable development</b>		
<b>PO3</b> Landscaping contributes to a sense of place, is functional to the surroundings and enhances the streetscape and visual appearance of the development	<b>AO3.1</b> Existing vegetation on site is retained and incorporated into the site design, wherever possible. <b>AO3.2</b> Where there is an existing landscape character in a street or locality which results from existing vegetation, similar species are incorporated into new development. <b>AO3.3</b> Plant species are selected with consideration to the scale and form of development, screening, buffering, streetscape, shading and the tropical locality.	<b>Complies</b> Landscaping will be provided as indicated on the site plan. Detailed design will be provided to Council prior to commencement of any landscaping works.

### 5.5.3 Parking and Access Code

The purpose of the Parking and access code is to ensure that parking and access infrastructure and loading/service and manoeuvring areas are provided to service the demand of the development.

**Table 4: Parking and Access Code Assessment**

Performance Outcomes	Acceptable Outcomes	Comments
<b>Parking rates and dimensions</b>		
<b>PO1</b> Sufficient parking spaces are provided on the site to accommodate the amount and type of vehicle traffic generated by the development of the site, having particular regard to: (a) the desired character of the area in which the premises is located; and (b) the nature and scale of the development; and (c) accessibility to the premises; and (d) the nature and frequency	<b>AO1.1</b> The minimum number of parking spaces provided is as prescribed in Table 9.4.3.4c –Parking rates for the particular development.  <b>OR</b> Where the use only involves the re-use of existing building and either: (a) no building work; or (b) minor building work only, it does not result in the loss of on-site carparking.	<b>Complies.</b> The proposed development is to provide additional car parking spaces to improve the current parking situation. The extension will provide 29 car parking bays (including 1 PWD space) and 2 motorcycle parking bays. Access to the parking area will be via a new crossover at the south-western corner of the site. Vehicles can enter and exit the car park in a forward gear.

<p>of public transport serving the area; and</p> <p>(e) whether or not the development involves the retention of an existing building, particularly an identified historic building, and the previous requirements for car parking for the building; and</p> <p>(f) whether or not the use involves the retention of other cultural heritage features or significant vegetation; and</p> <p>(g) the different types of vehicles that visit the premises are adequately accommodated.</p>		
<b>Parking, loading and manoeuvring areas</b>		
<p><b>PO2</b></p> <p>Parking, loading and manoeuvring areas are designed and constructed to allow efficient, safe and convenient access.</p>	<p><b>AO2.1</b></p> <p>Vehicle parking spaces are designed in accordance with Australian Standard:</p> <ul style="list-style-type: none"> <li>(a) AS2890.1 off-street car parking; or</li> <li>(b) AS2890.6 Parking facilities - Off-street parking for people with disabilities.</li> </ul> <p><b>AO2.2</b></p> <p>Parking, loading and manoeuvring areas are drained, line marked.</p> <p><b>AO2.3</b></p> <p>All parking, loading and manoeuvring areas are:</p> <ul style="list-style-type: none"> <li>(a) located to the side or rear of the building; and</li> <li>(b) have sufficient manoeuvring areas to allow vehicles to exit the site in a forward direction; and</li> <li>(c) kept and used exclusively for parking and loading; and</li> <li>(d) maintained in a suitable condition for parking and circulation of vehicles.</li> </ul> <p><b>AO2.5</b></p> <p>In the Industry zone, parking, loading and manoeuvring areas may be finished with a dust free compacted surface.</p>	<p><b>Complies</b></p> <p>All car parking spaces will be designed in accordance with the Australian Standard (refer to the Traffic Movement Study in Appendix D). Further, a swept path analysis has been undertaken to confirm that vehicles can navigate the parking area and enter and exit in a forward gear.</p>

Access and queuing		
<p><b>PO3</b></p> <p>Access points are located, designed and constructed:</p> <ul style="list-style-type: none"> <li>(a) to operate safely and efficiently; and</li> <li>(b) to accommodate the anticipated type and volume of vehicles; and</li> <li>(c) to provide for shared vehicle (including cyclists) and pedestrian use, where appropriate; and</li> <li>(d) so that they do not impede traffic or pedestrian movement on the adjacent road area; and</li> <li>(e) so that they do not adversely impact upon existing intersections or future road or intersection improvements; and</li> <li>(f) so that they do not adversely impact current and future on-street parking arrangements; and</li> <li>(g) so that they do not adversely impact upon existing services within the road reserve adjacent to the site</li> </ul>	<p><b>A03.1</b></p> <p>Access is a minimum of</p> <ul style="list-style-type: none"> <li>(a) 3.5m wide in a residential zone; or</li> <li>(b) 8.0m in all other zones.</li> </ul> <p><b>A03.2</b></p> <p>The location of the access points is in accordance with the provisions of Australian Standards AS 2890.1 and AS 2890.2.</p> <p><b>A03.3</b></p> <p>Access is located as far a practical from the intersection.</p>	<p><b>Complies</b></p> <p>A swept path analysis has been undertaken to confirm that the two-way circulation aisles will provide a suitable corridor to access and navigate the car park. The aisles will provide the opportunity for all users to enter and access in a forward gear and enable queuing on-site if required during exit movements. As users of the proposed car park will enter and exit via Chamberlain Street in a forward gear and will utilise the footpath network to access the school grounds, any traffic generated by the extension will not significantly impact the vehicle movements within the existing college car park and drop off zone.</p>
<p><b>PO4</b></p> <p>Sufficient queuing and set down areas are provided to accommodate the demand generated by the development.</p>	<p><b>A04.1</b></p> <p>Queuing and set down areas are designed and constructed in accordance with Australian Standard AS2890.1.</p> <p><b>A04.2</b></p> <p>Development provides adequate area for onsite vehicle queuing to accommodate the demand generated by the development where drive through facilities or drop-off/pick-up services are proposed as part of the use, including but not limited to the following land uses:</p> <ul style="list-style-type: none"> <li>(a) car wash; or</li> <li>(b) child care centre; or</li> <li>(c) educational establishment; or</li> <li>(d) a drive-through facility for any use including food and drink outlet; hardware and trade supplies; hotel; or</li> <li>(e) service station.</li> </ul>	<p><b>Complies</b></p> <p>As per above</p>

On-street parking		
<b>PO5</b> On-street parking supplements off-street parking areas, and: (a) creates activity on the street; and (b) provides an appropriate level of parking, relative to demand; and (c) provides for enhanced landscaping of the verge or carriageway.	<b>AO5.1</b> Where more than 2 parking spaces are required for the development, on-street parking located within the immediate frontage of the site, can be counted as part of the parking provision.	<b>Not applicable</b> No on-street parking is proposed.
Transport impact		
<b>PO6</b> The development is located on roads that are appropriate for the nature of traffic generated, having regard to the safety and efficiency of the transport network, and the functions and characteristics of the elements of the network. The transport network is shown on OM-10.0 – OM-10.1 – Transport network overlay.	No acceptable outcome is nominated.	<b>Complies</b> Refer to <i>Appendix D</i> .

## 5.6 OVERLAY CODES

### 5.6.1 Acid Sulfate Soils Overlay Code

The purpose of the Acid sulfate soils overlay is to ensure that development which occurs on a site containing or potentially containing acid sulfate soils is undertaken so that the potential risks to the natural and built environment or human health associated with disturbing acid sulfate soils are identified and addressed through avoidance or mitigation.

Only minor works will be required for site preparation. These works are not expected to disturb any ASS. Detailed design will be

### 5.6.2 Flood Hazard Overlay Code

The purpose of the Flood hazard overlay is to ensure that development avoids unacceptable exposure of people to flood hazard, minimises damage to property and the environment from flooding and does not increase the potential for flood damage on-site or to other properties.

## 6.0 CONCLUSION

This proposal details a development application to Hinchinbrook Shire Council seeking a Development Permit for a Material Change of Use (Educational Establishment Extension), on land described as Lot 32 on RP709282, located at 15 Chamberlain Street, Ingham.

In summary, the proposed development is recommended for approval based on the following reasons:

- The proposal enhances a long-standing use that is known to the community and operates without impact.
- The proposal results in the extension of the existing college incorporating a new student car park and improving and enhancing the school grounds by providing parking to meet the demand of the staff and students.
- The proposed development is located in an area appropriate for the nature of the use and traffic generated by it.
- The proposal is consistent with the Strategic Framework as it provides an extension to an existing use which results in an improvement of the overall parking situation and therefore satisfies a community need.
- The proposal complies with the codes nominated by the planning scheme as being relevant to the assessment of a proposal of this nature.
- The intended use is a logical expansion of the existing use on land adjacent to it.
- The potential impacts on amenity are manageable.
- Car park users will enter and exit the car park via Chamberlain Street in a forward gear and will utilise the footpath network to access the college and therefore any traffic generated by the extension will not impact the vehicle movements within the existing college car park and drop-off zone.

# APPENDIX A – DA FORM 1

## AND OWNERS CONSENT

# DA Form 1 – Development application details

Approved form (version 1.2 effective 7 February 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Gilroy Santa Maria College C/- Brazier Motti
Contact name (only applicable for companies)	Anne Zareh
Postal address (P.O. Box or street address)	595 Flinders Street
Suburb	Townsville
State	QLD
Postcode	4810
Country	
Contact number	07 4772 1144
Email address (non-mandatory)	anne.zareh@braziermotti.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	42481-001-01

### 2) Owner's consent

#### 2.1) Is written consent of the owner required for this development application?

- ☒ Yes – the written consent of the owner(s) is attached to this development application
- ☐ No – proceed to 3)



## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

#### 3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**  
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		15	Chamberlain Street	Ingham
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
		32	RP709282	Hinchinbrook
b)	Unit No.	Street No.	Street Name and Type	Suburb
		17	Chamberlain Street	Ingham
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
		3	RP710637	Hinchinbrook

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

#### 3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application  
☒ Not required

#### 4) Identify any of the following that apply to the premises and provide any relevant details

<input type="checkbox"/> In or adjacent to a water body or watercourse or in or above an aquifer
Name of water body, watercourse or aquifer:
<input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>
Lot on plan description of strategic port land:
Name of port authority for the lot:
<input type="checkbox"/> In a tidal area
Name of local government for the tidal area (if applicable):
Name of port authority for tidal area (if applicable):
<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

**5) Are there any existing easements over the premises?**

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

- ☒ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

#### 6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use    ☐ Reconfiguring a lot    ☐ Operational work    ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit    ☐ Preliminary approval    ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment    ☒ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Material Change of Use (Extension to Educational Establishment- Student Car Park)

e) Relevant plans

**Note:** *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

#### 6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use    ☐ Reconfiguring a lot    ☐ Operational work    ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit    ☐ Preliminary approval    ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment    ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

**Note:** *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

#### 6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

## Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

### Division 1 – Material change of use

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)
Extension to Educational Establishment (Student Car Park)	Extension to Educational Establishment		
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input type="checkbox"/> Yes			
<input checked="" type="checkbox"/> No			

### Division 2 – Reconfiguring a lot

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:

Number of parts created			

## 12) Boundary realignment

### 12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )

### 12.2) What is the reason for the boundary realignment?

--

## 13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

## Division 3 – Operational work

**Note:** This division is only required to be completed if any part of the development application involves operational work.

### 14.1) What is the nature of the operational work?

- |  |                                     |  |
|--|-------------------------------------|--|
| <input type="checkbox"/> Road work   | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure  |
| <input type="checkbox"/> Drainage work   | <input type="checkbox"/> Earthworks | <input type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping   | <input type="checkbox"/> Signage    | <input type="checkbox"/> Clearing vegetation   |
| <input checked="" type="checkbox"/> Other – please specify: Prescribed tidal works- water replacement main |                                     |  |

### 14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

☐ Yes – specify number of new lots:

☒ No

### 14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$ 893,200

## PART 4 – ASSESSMENT MANAGER DETAILS

### 15) Identify the assessment manager(s) who will be assessing this development application

Hinchinbrook Shire Council

### 16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

## PART 5 – REFERRAL DETAILS

### 17) Does this development application include any aspects that have any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the *Planning Act 2016***:

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the **local government**:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)
- ☐ Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

- ☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual

☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council**:

☐ Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the *Transport Infrastructure Act 1994***:

☐ Ports – Brisbane core port land (*where inconsistent with the Brisbane port LUP for transport reasons*)

☐ Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator:

☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)

Matters requiring referral to the **Chief Executive of the relevant port authority**:

☐ Ports – Land within limits of another port (*below high-water mark*)

Matters requiring referral to the **Gold Coast Waterways Authority**:

☐ Tidal works or work in a coastal management district (*in Gold Coast waters*)

Matters requiring referral to the **Queensland Fire and Emergency Service**:

☐ Tidal works or work in a coastal management district (*involving a marina (more than six vessel berths)*)

**18) Has any referral agency provided a referral response for this development application?**

☐ Yes – referral response(s) received and listed below are attached to this development application

☐ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (*if applicable*).

## PART 6 – INFORMATION REQUEST

**19) Information request under Part 3 of the DA Rules**

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

## PART 7 – FURTHER DETAILS

<b>20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)</b>			
<input type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input checked="" type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

<b>21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)</b>		
<input type="checkbox"/> Yes – a copy of the receipted QLeave form is attached to this development application <input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

<b>22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?</b>
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No

<b>23) Further legislative requirements</b>			
<b><u>Environmentally relevant activities</u></b>			
<b>23.1) Is this development application also taken to be an application for an environmental authority for an Environmentally Relevant Activity (ERA) under section 115 of the <i>Environmental Protection Act 1994</i>?</b>			
<input type="checkbox"/> Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below <input checked="" type="checkbox"/> No <b>Note:</b> Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at <a href="http://www.qld.gov.au">www.qld.gov.au</a> . An ERA requires an environmental authority to operate. See <a href="http://www.business.qld.gov.au">www.business.qld.gov.au</a> for further information.			
Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			
<input type="checkbox"/> Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.			
<b><u>Hazardous chemical facilities</u></b>			
<b>23.2) Is this development application for a hazardous chemical facility?</b>			
<input type="checkbox"/> Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application <input checked="" type="checkbox"/> No <b>Note:</b> See <a href="http://www.business.qld.gov.au">www.business.qld.gov.au</a> for further information about hazardous chemical notifications.			

### **Clearing native vegetation**

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.  
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### **Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### **Koala habitat in SEQ Region**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Water resources**

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

- ☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- ☒ No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### **Waterway barrier works**

23.7) Does this application involve **waterway barrier works**?

- ☐ Yes – the relevant template is completed and attached to this development application
- ☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### **Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- ☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- ☒ No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.



### **Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development  
☒ No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

### **Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development  
☒ No

**Note:** Contact the Department of Environment and Science at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application  
☒ No

**Note:** See guidance materials at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - ☐ A certificate of title
- ☒ No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below  
☒ No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
-----------------------------	--	-----------	--

### **Brothels**

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*  
☒ No

### **Decision under section 62 of the Transport Infrastructure Act 1994**

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)  
☒ No

## PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist	
I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 <i>Note: See the Planning Regulation 2017 for referral requirements</i>	<input checked="" type="checkbox"/> Yes
If building work is associated with the proposed development, Parts 4 to 6 of <a href="#">DA Form 2 – Building work details</a> have been completed and attached to this development application	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with the development application <i>Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see <a href="#">DA Forms Guide: Planning Report Template</a>.</i>	<input checked="" type="checkbox"/> Yes
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

25) Applicant declaration	
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>	
<p><b>Privacy</b> – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.</p> <p>Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, Planning Regulation 2017 and the DA Rules except where:</p> <ul style="list-style-type: none"> <li>• such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the Planning Regulation 2017, and the access rules made under the <i>Planning Act 2016</i> and Planning Regulation 2017; or</li> <li>• required by other legislation (including the <i>Right to Information Act 2009</i>); or</li> <li>• otherwise required by law.</li> </ul> <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>	

## PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:  Reference number(s):

### Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

### QLeave notification and payment

*Note: For completion by assessment manager if applicable*

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

Owner's consent to the making of a development application under the  
*Planning Act 2016*

I, Nunzia Pavone

as owner(s) of premises identified as follows:

15 Chamberlain Street, Ingham (Lot 32 on RP709282)

consent to the making of a development application under the *Planning Act* by

**Brazier Motti Pty Ltd**

on the premises described above for the purposes of

Material Change of Use for Extension of Educational Establishment (Car Park)

Nunzia Pavone

[signature(s)]

signed on the 10th day of September 2020



brazier motti

Owner's consent to the making of a development application under the  
*Planning Act 2016*

The Roman Catholic Trust Corporation for the Diocese of Townsville

as owner(s) of premises identified as follows:

17 Chamberlain Street, Ingham (Lot 3 on RP710637)


consent to the making of a development application under the *Planning Act* by

**Brazier Motti Pty Ltd**

on the premises described above for the purposes of

Material Change of Use for Extension of Educational Establishment (Car Park)

Robert Ian Witty  
Secretary

  
THE ROMAN CATHOLIC TRUST CORPORATION  
FOR THE DIOCESE OF TOWNSVILLE

[signature(s)]

signed on the 10th day of September 2020



brazier motti

## APPENDIX B — CERTIFICATES OF TITLE AND SMART MAPS

# CURRENT TITLE SEARCH

## NATURAL RESOURCES, MINES AND ENERGY, QUEENSLAND

Request No: 34860065

Search Date: 04/09/2020 09:42

Title Reference: 20379167

Date Created: 21/01/1946

Previous Title: 20260209

### REGISTERED OWNER

THE ROMAN CATHOLIC TRUST CORPORATION FOR THE DIOCESE OF  
TOWNSVILLE

### ESTATE AND LAND

Estate in Fee Simple

LOT 3            REGISTERED PLAN 710637  
                  Local Government: HINCHINBROOK

### EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by  
Deed of Grant No. 20118149 (POR 18N)
2. EASEMENT No 601442654 (N230742) 06/05/1942  
BURDENING THE LAND  
TO RESUB 1 OF SUB 1 OF SEL 3  
OVER SUB A OF THE WITHIN LAND
3. EASEMENT IN GROSS No 715440036 20/11/2013 at 16:07  
burdening the land  
ERGON ENERGY CORPORATION LIMITED A.C.N. 087 646 062  
over  
EASEMENT B ON SP262289
4. LEASE No 715946323 11/08/2014 at 14:21  
HINCHINBROOK SHIRE COUNCIL  
LEASE A ON SP218452  
TERM: 22/03/2007 TO 21/03/2037 OPTION NIL

ADMINISTRATIVE ADVICES - NIL

UNREGISTERED DEALINGS - NIL

Caution - Charges do not necessarily appear in order of priority

\*\* End of Current Title Search \*\*

COPYRIGHT THE STATE OF QUEENSLAND (NATURAL RESOURCES, MINES AND ENERGY) [2020]  
Requested By: D-ENQ GLOBALX

# CURRENT TITLE SEARCH

## NATURAL RESOURCES, MINES AND ENERGY, QUEENSLAND

Request No: 34396677

Search Date: 14/07/2020 13:53

Title Reference: 20395123

Date Created: 10/06/1947

Previous Title: 20260208

### REGISTERED OWNER

Dealing No: 700686111 06/06/1995

NUNZIA PAVONE

### ESTATE AND LAND

Estate in Fee Simple

LOT 32 REGISTERED PLAN 709282  
Local Government: HINCHINBROOK

### EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by  
Deed of Grant No. 20118149 (POR 18N)
2. EASEMENT No 601442654 (N230742) 06/05/1942  
BURDENING THE LAND  
TO RESUB 1 OF SUB 1 OF SEL 3  
OVER SUB A OF THE WITHIN LAND
3. MORTGAGE No 708376241 19/01/2005 at 16:22  
NATIONAL AUSTRALIA BANK LIMITED A.B.N. 12 004 044 937

ADMINISTRATIVE ADVICES - NIL

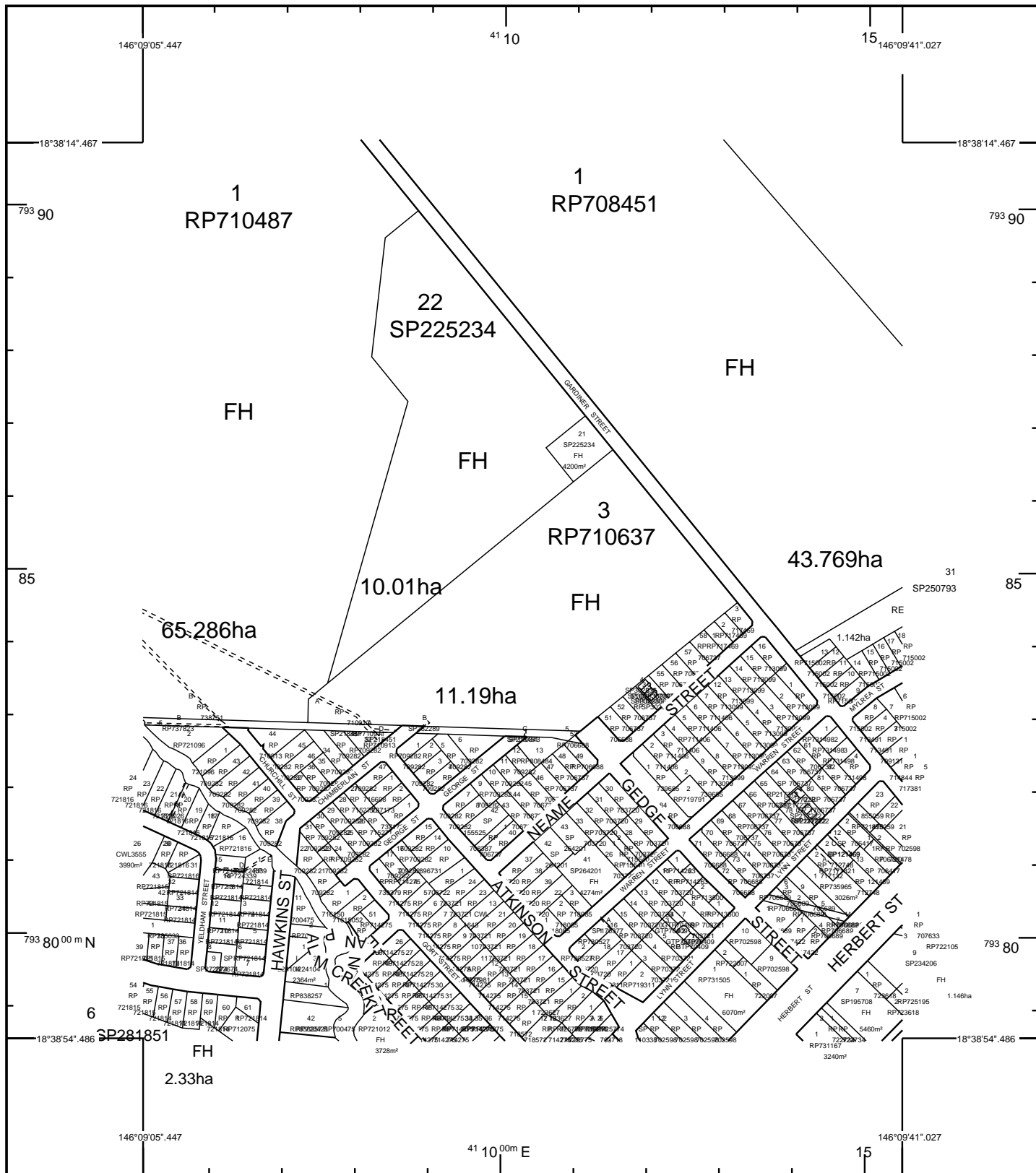
UNREGISTERED DEALINGS - NIL

Caution - Charges do not necessarily appear in order of priority

\*\* End of Current Title Search \*\*

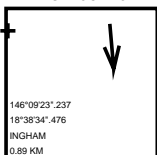
COPYRIGHT THE STATE OF QUEENSLAND (NATURAL RESOURCES, MINES AND ENERGY) [2020]  
Requested By: D-ENQ GLOBALX





STANDARD MAP NUMBER  
8160-42413

MAP WINDOW POSITION &  
NEAREST LOCATION



#### SUBJECT PARCEL DESCRIPTION

DCDB  
Lot/Plan 3/RP710637  
Area/Volume 11.19ha  
Tenure FREEHOLD  
Local Government HINCHINBROOK SHIRE  
Locality INGHAM  
Segment/Parcel 39625/39

#### CLIENT SERVICE STANDARDS

PRINTED (dd/mm/yyyy) 04/09/2020

DCDB 03/09/2020

Users of the information recorded in this document (the Information) accept all responsibility and risk associated with the use of the Information and should seek independent professional advice in relation to dealings with property.

Despite Department of Natural Resources, Mines and Energy (DNRME)'s best efforts, DNRME makes no representations or warranties in relation to the Information, and, to the extent permitted by law, exclude or limit all warranties relating to correctness, accuracy, reliability, completeness or currency and all liability for any direct, indirect and consequential costs, losses, damages and expenses incurred in any way (including but not limited to that arising from negligence) in connection with any use of or reliance on the Information.

For further information on SmartMap products visit  
<https://www.qld.gov.au/housing/buying-owning-home/property-land-valuations/smartmaps>

**SmartMap**

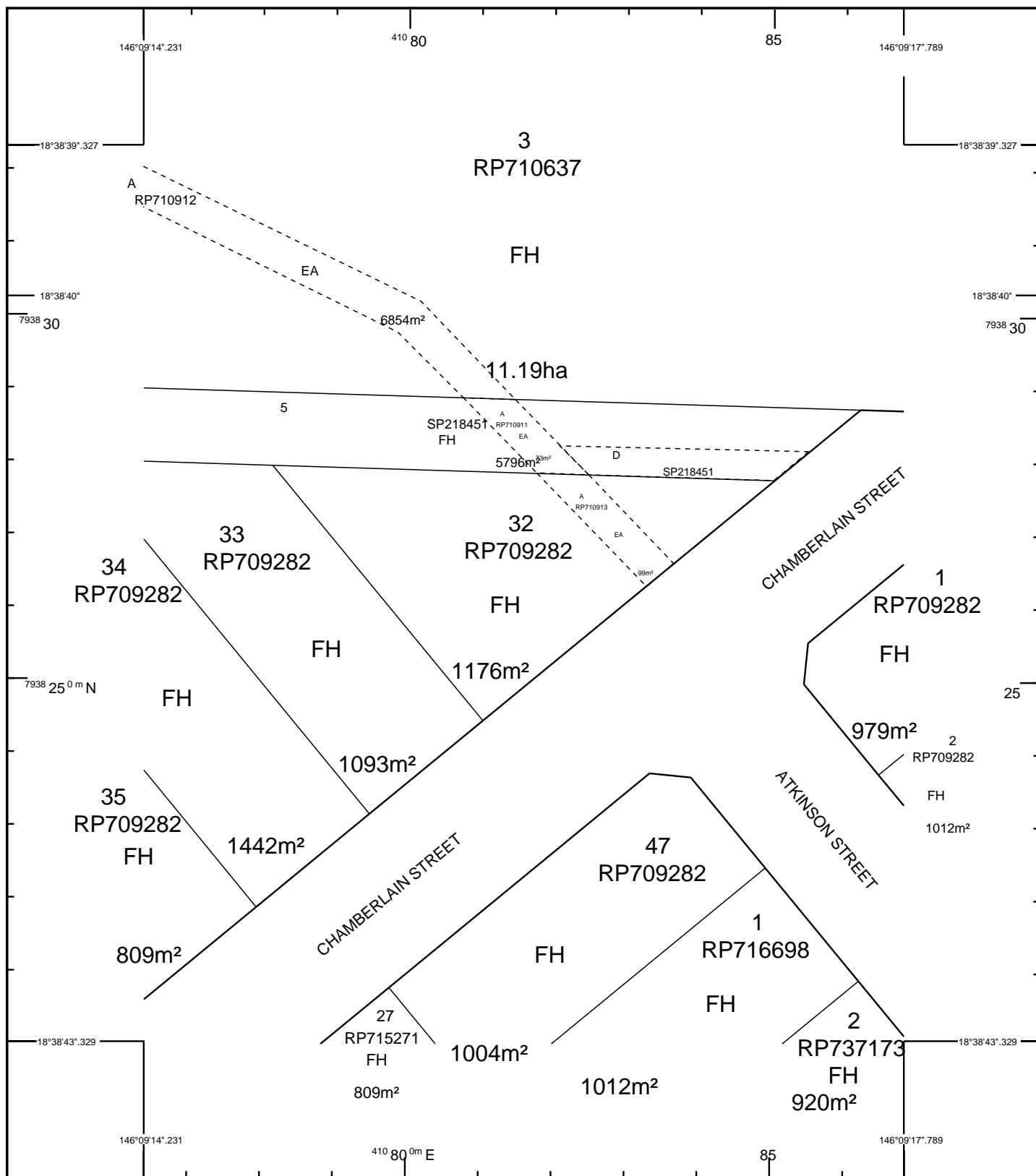
An External Product of  
SmartMap Information Services

Based upon an extraction from the  
Digital Cadastral Data Base



**Queensland  
Government**  
(c) The State of Queensland,  
(Department of  
Natural Resources,  
Mines and Energy) 2020.

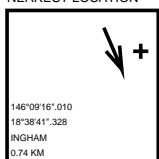




STANDARD MAP NUMBER  
8160-42442

0 15 30 45 60 75 m  
HORIZONTAL DATUM: GDA94 ZONE: 55 SCALE 1 : 750

MAP WINDOW POSITION &  
NEAREST LOCATION



#### SUBJECT PARCEL DESCRIPTION

DCDB	32/RP709282
Lot/Plan	1176m²
Tenure	FREEHOLD
Local Government	HINCHINBROOK SHIRE
Locality	INGHAM
Segment/Parcel	39573/28

#### CLIENT SERVICE STANDARDS

PRINTED (dd/mm/yyyy) 01/07/2020

DCDB 30/06/2020

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Despite Department of Natural Resources, Mines and Energy (DNRME)'s best efforts, DNRME makes no representations or warranties in relation to the Information, and, to the extent permitted by law, exclude or limit all warranties relating to correctness, accuracy, reliability, completeness or currency and all liability for any direct, indirect and consequential costs, losses, damages and expenses incurred in any way (including but not limited to that arising from negligence) in connection with any use of or reliance on the Information.

For further information on SmartMap products visit  
<https://www.qld.gov.au/housing/buying-owning-home/property-land-valuations/smartmaps>

**SmartMap**

An External Product of  
SmartMap Information Services

Based upon an extraction from the  
Digital Cadastral Data Base



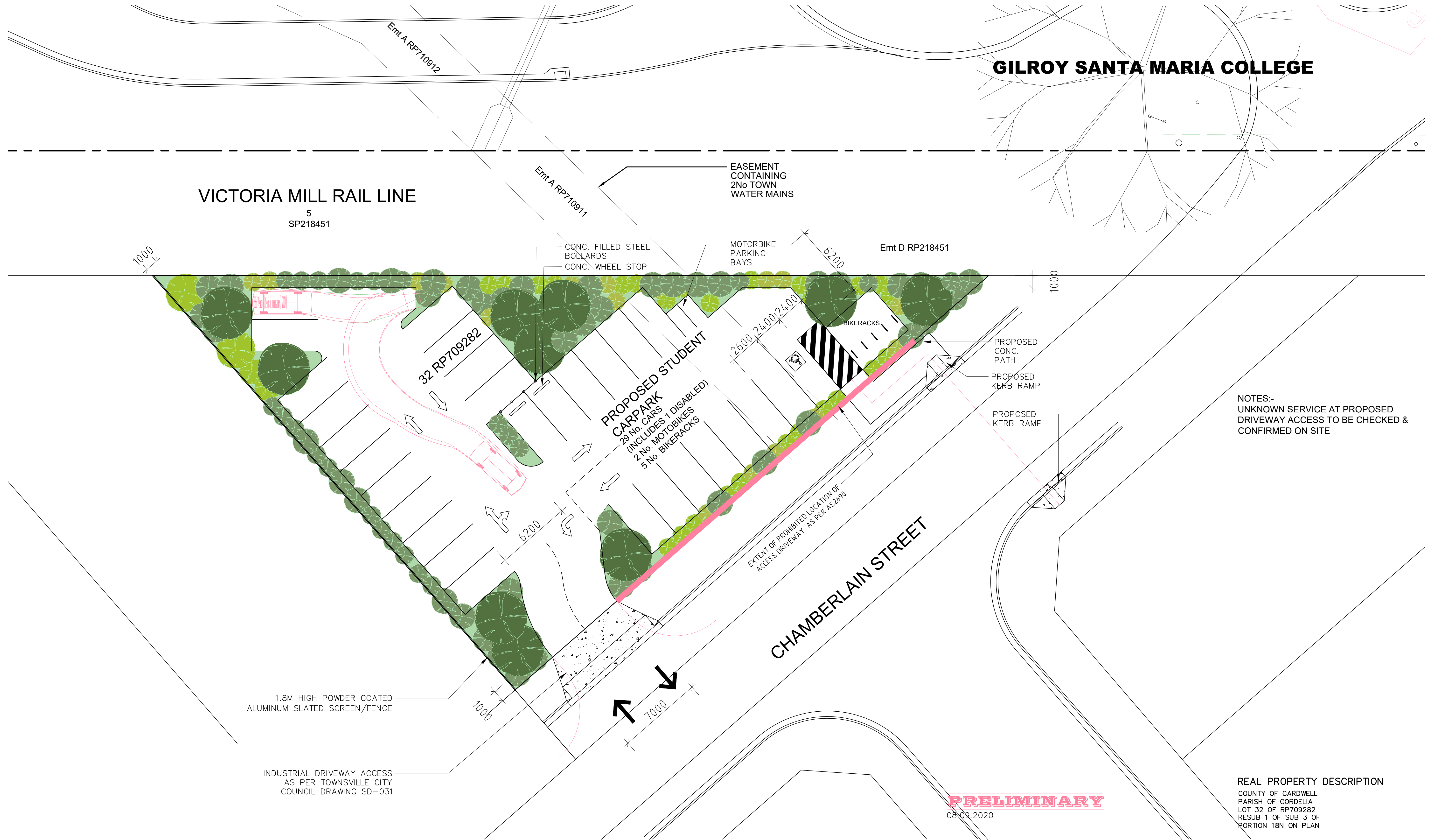
**Queensland  
Government**

(c) The State of Queensland,  
(Department of  
Natural Resources,  
Mines and Energy) 2020.



## APPENDIX C — CONCEPT SITE PLAN PREPARED BY DILLON ARCHITECTS





NOTES:-  
UNKNOWN SERVICE AT PROPOSED  
DRIVEWAY ACCESS TO BE CHECKED &  
CONFIRMED ON SITE

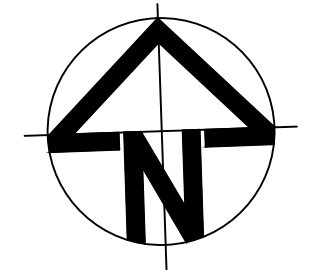
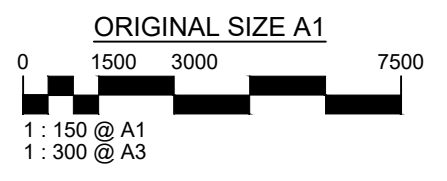
REAL PROPERTY DESCRIPTION  
COUNTY OF CARDWELL  
PARISH OF CORDELIA  
LOT 32 OF RP709282  
RESUB 1 OF SUB 3 OF  
PORTION 18N ON PLAN

GROUND FLOOR PART SITE PLAN\_PROPOSED

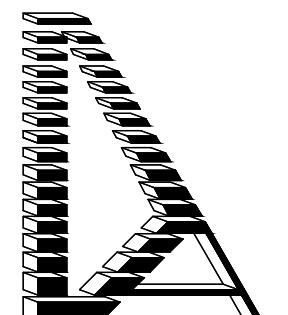
1592(23) - GILROY SANTA MARIA COLLEGE - 15 CHAMBERLAIN ST PROPOSED CARPARK

1592(23) - SK04 - CARPARK LAYOUT - PROPOSED

REVISION A - PRELIMINARY 26/05/2020  
REVISION B - PRELIMINARY 08/09/2020  
Document Set 1592(23) - SK04 - CARPARK LAYOUT - PROPOSED  
Version: 1, Version Date: 14/09/2020



DILLON ARCHITECTS PTY LTD



# APPENDIX D – TRAFFIC MOVEMENT ASSESSMENT PREPARED BY NORTHERN CONSULTING ENGINEERS



## TRAFFIC MOVEMENT ASSESSMENT

CARPARK EXTENSION – GILROY SANTA MARIA  
COLLEGE, INGHAM


FOR  
Brazier Motti

JOB No: BRM0017

REVISION: A

Phone: 07 4725 5550  
Fax: 07 4725 5850  
Email: mail@nceng.com.au  
50 Punari Street Currajong Qld 4812  
Milton Messer & Associates Pty Ltd  
ACN 100 817 356 ABN 34 100 817 356

## **DOCUMENT CONTROL**

ISSUE	AUTHOR	APPROVED FOR ISSUE			ISSUED TO:	REASON
		NAME	SIGNATURE	DATE		
A	Dale Armbrust	Andrew Wallace (RPEQ 6743)		01/09/2020	Brazier Motti	To Support MCU Development Application

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<b>2.0</b>	<b>EXISTING CONDITIONS .....</b>	<b>1</b>
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2.2	Surrounding road network details .....	1
2.3	Road safety issues .....	1
<b>3.0</b>	<b>PROPOSED PARKING FACILITY .....</b>	<b>2</b>
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3.2	Pavement .....	2
3.3	Vehicle movements .....	2
3.4	Pedestrians.....	2
3.5	Pavement impact assessment.....	3
<b>4.0</b>	<b>CONCLUSION.....</b>	<b>3</b>



# **APPENDICES**

## **APPENDIX A**

Proposed carpark layout

## **APPENDIX B**

TCC Standard Drawing

## **APPENDIX C**

Original carpark layout (superseded) with HSC comments

## **1.0 INTRODUCTION**

### **1.1 Background**

Northern Consulting Engineers (NCE) have been commissioned by Brazier Motti on behalf of Gilroy Santa Maria College (GSM) to undertake a Traffic Movement Study to support a development application for a proposed carpark extension on land described as Lot 32 on RP709282 (15 Chamberlain Street, Ingham). These works will serve to expand the existing parking capacity of Gilroy Santa Maria College, which is located on the adjoining land parcel to the north (Lot 3 on RP710637).

## **2.0 EXISTING CONDITIONS**

### **2.1 Land use and zoning**

The proposed parking facility will be established on Lot 32 on RP709282, which is currently zoned as "General Residential".

### **2.2 Surrounding road network details**

The proposed development is located immediately south of GSM College, with the two land parcels being separated by the Victoria Mill cane train line. Access to the site will be provided off Chamberlain Street, which serves as the primary access to GSM College.

Background traffic volumes for the adjoining road network were supplied by HSC, and are summarised below:

#### **Chamberlain Street**

- Location = 30 m from Atkinson Street intersection
- AADT = 1035 veh
- AM Peak = 117 vph (07:45-08:45)
- PM Peak = 108 vph (14:45-15:45)

#### **Atkinson Street 2019**

- 15 m from Neame Street
- AADT = 1213 veh
- AM Peak = 141 vph (07:45-08:45)
- PM Peak = 118 vph (15:00-16:00)

### **2.3 Road safety issues**

NCE have reviewed the "road crash locations" data within Queensland Globe, and found no reported accidents in the immediate vicinity of the site or at the Atkinson Street / Chamberlain Street intersection.

The closest reported accidents are as follows:

- One at the Atkinson Street / George Street intersection in 2014 requiring medical treatment; and
- One at the Churchill Street / Chamberlain Street intersection in 2004 requiring hospitalisation.

### **3.0 PROPOSED PARKING FACILITY**

NCE have developed a parking facility layout that provides 29 car parking bays (including 1 disabled bay), 2 motorcycle parking bays and a bicycle rack.

The parking facility geometry has been determined using the following primary criteria:

- Bay width and length (2.6m wide x 5.4m length), as per AS/NZS 2890.1.
- Aisle width (6.2m), as per AS/NZS 2890.1.
- People With Disabilities (PWD) set at 2.4m wide x 5.4m long with a duplicate zone adjacent for landing the same size, as per AS/NZS 2890.6.

Appendix A shows the proposed layout of the parking facility developed by NCE.

#### **3.1 Access**

Access to the parking facility will be provided via an industrial driveway crossover off Chamberlain Street to Townsville City Council (TCC) standards (in the absence of a specific Hinchinbrook Shire Council standard). Appendix B contains a copy of the relevant TCC standard drawing.

The location of the driveway and crossover has been determined by NCE in accordance with the requirements of Section 3.2 of AS/NZS 2890.1. Positioning the access to the west as nominated on NCE's layout plan provides the best available outcome in terms of minimising conflicts and impacts in the vicinity of the Atkinson Street / Chamberlain Street intersection. This provides an improved outcome over the original layout presented to HSC previously, which had positioned the access closer to the intersection. Please refer to Appendix C for a copy of the original layout with HSC's comments.

As users of the proposed carpark extension will enter and exit the facility via Chamberlain Street in a forward gear and will utilise the footpath network to access GSM College, any traffic generated by the extension will not significantly impact the vehicle movements within the existing GSM College carpark and drop-off zone.

#### **3.2 Pavement**

The pavement for the parking facility will likely be a flexible pavement 250mm minimum depth, primed and sealed with a 30mm AC wearing surface. Confirmation of the pavement profile will occur at the detailed design stage following geotechnical testing.

#### **3.3 Vehicle movements**

NCE have undertaken vehicle swept path analyses within the proposed carpark, and have verified that the two-way circulation aisles will provide a suitable corridor to access and navigate the parking facility. The aisles will provide the opportunity for all users to enter and exit in a forward gear, and enable queuing on-site if required during exit movements.

The current layout developed by NCE provides an improved outcome over the original layout presented to HSC previously and addresses items raised by HSC with regards to vehicle movements and turning radii.

#### **3.4 Pedestrians**

A proposed concrete pedestrian access has been nominated by NCE at the eastern end of the carpark. This access links to a kerb ramp which directs pedestrians across Chamberlain Street to connect with the existing footpath network which continues on to GSM College.

### **3.5 Pavement impact assessment**

A pavement impact assessment does not form part of this report, as the composition of the development traffic is expected to be 100% passenger vehicles. Any effect upon existing pavements as a result of construction traffic is expected to be minimal.

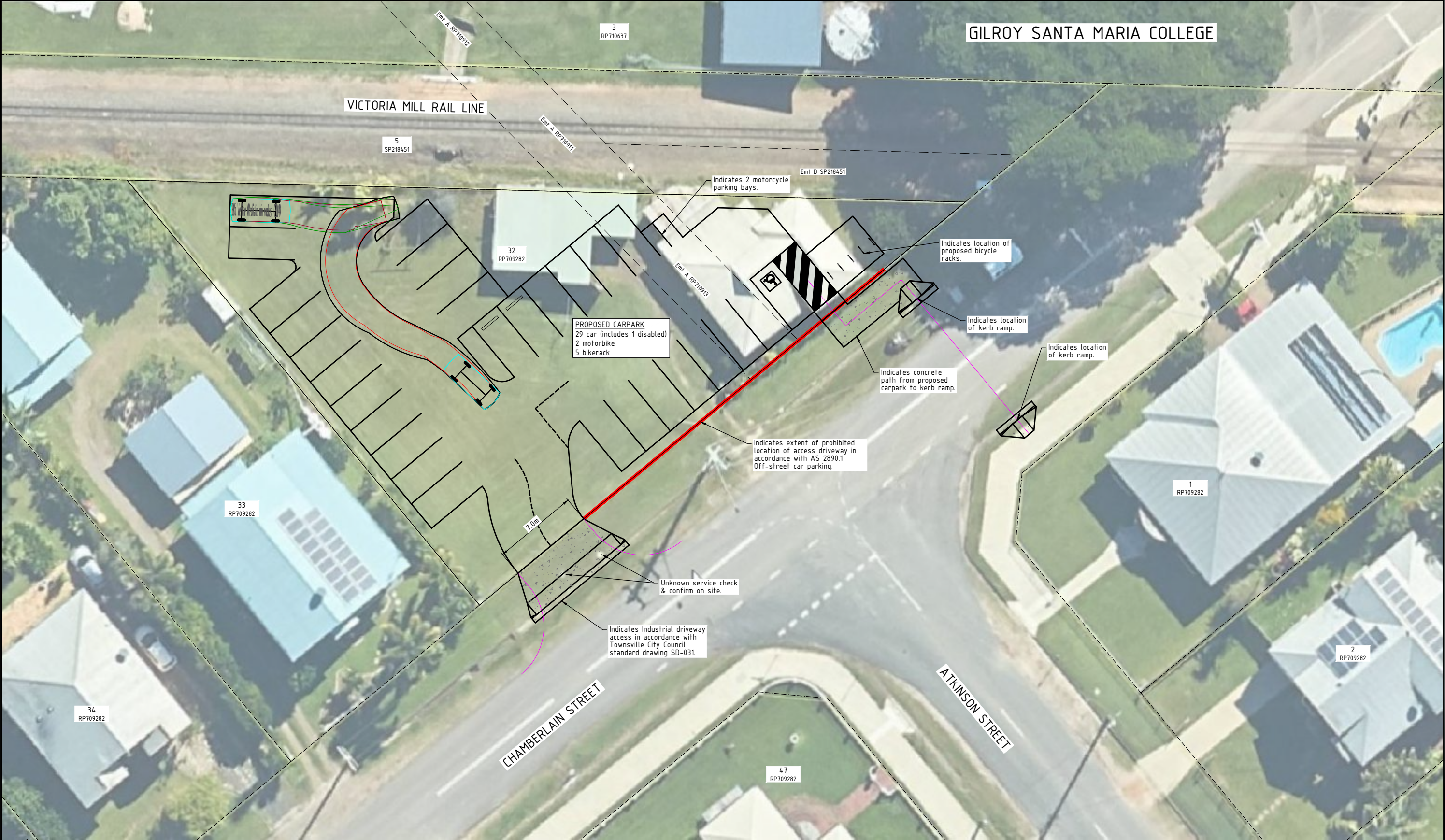
### **4.0 CONCLUSION**

The proposed carpark extension will provide 29 car parking bays (including 1 disabled bay), 2 motorcycle parking bays and a bicycle rack. Access to the carpark has been positioned in accordance with the relevant standards to ensure that a safe and efficient outcome is achieved. A swept path analysis has been undertaken to confirm that vehicles can navigate the parking facility and enter and exit in a forward gear. Pedestrians have also been considered in the layout of the parking facility, with connectivity provided to the external footpath network.

# **APPENDIX A**

## Proposed carpark layout





LAYOUT PLAN

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

PRELIMINARY This drawing is NOT FOR CONSTRUCTION. When the drawing has been approved and stamped by the relevant approving authority, then the drawing may be used for construction.

P1	PRELIMINARY - NOT FOR CONSTRUCTION - ISSUED FOR PRELIMINARY CONCEPT APPROVAL.		17/08/2020
Issue	Description		Date
Drawn DC	In Association With GILROY SANTA MARIA COLLEGE	PRELIMINARY CARPARK LAYOUT PLAN	
Date 17/08/2020			
Checked AW	CARPARK 15 CHAMBERLAIN STREET INGHAM	Drawing Number  BRM0017/P02	Issue  P1
Approved AW			
COPYRIGHT ©			

Scale 1:150 @ A1  
0 1.5 3.0 4.5 6.0m

THE ORIGINAL OF THIS DOCUMENT IS COMPLETED TO THE SCALE NOTED.  
AS REPRODUCTION CAN DISTORT SIZE & SHAPE USE ONLY THE  
DIMENSIONS PROVIDED ON ARCHITECTURAL &/OR ENGINEERING DRAWINGS.  
VERIFY DIMENSIONS ON SITE BEFORE CONSTRUCTION.



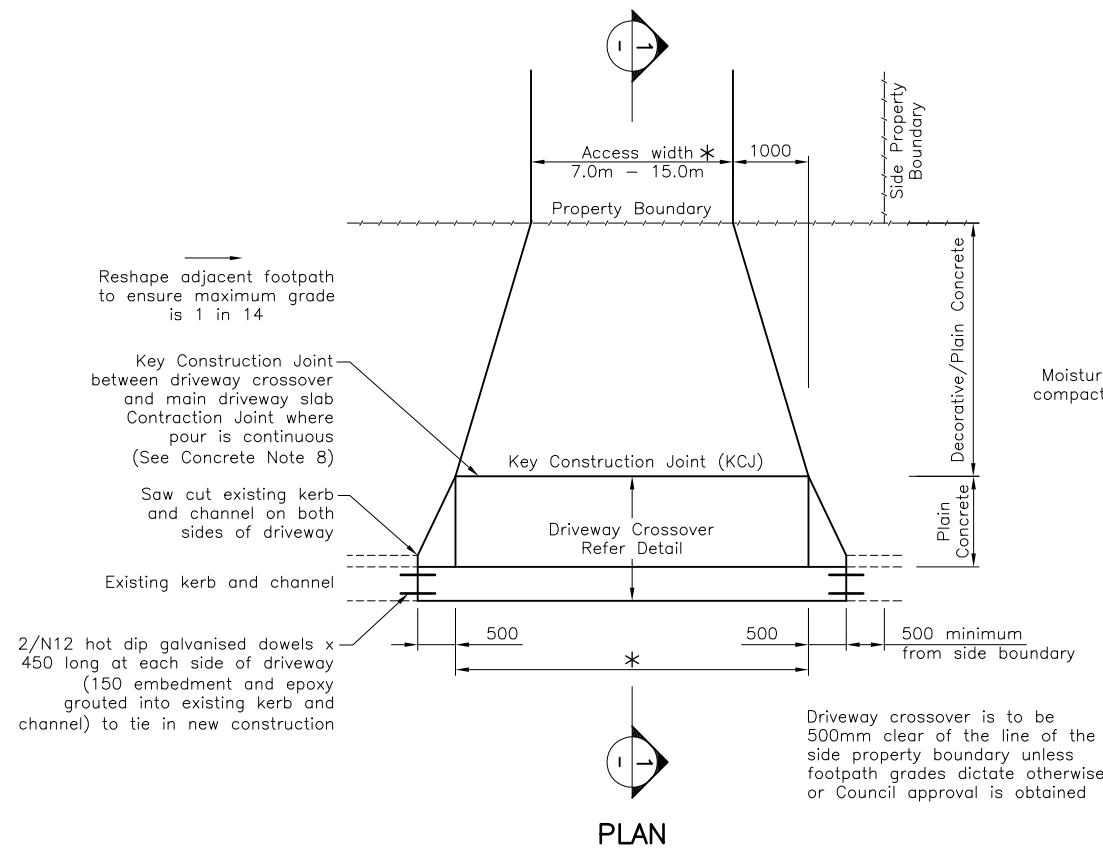
Civil & Structural Engineers  
50 Punari Street, Currajong 4812  
Phone: [07] 4725 5550  
Email: mail@nceng.com.au  
Milton Messer & Associates Pty. Ltd.  
ACN 100 817 356



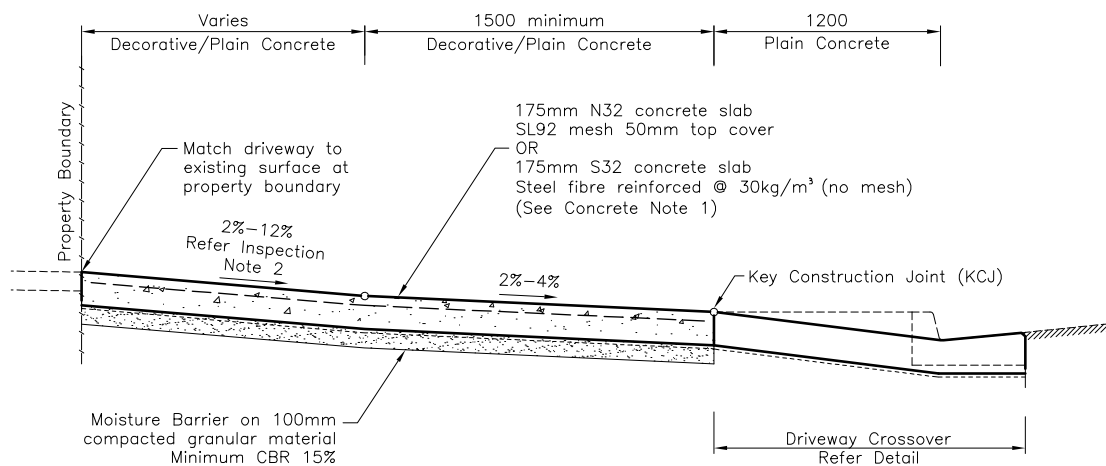


# **APPENDIX B**

## TCC Standard Drawing

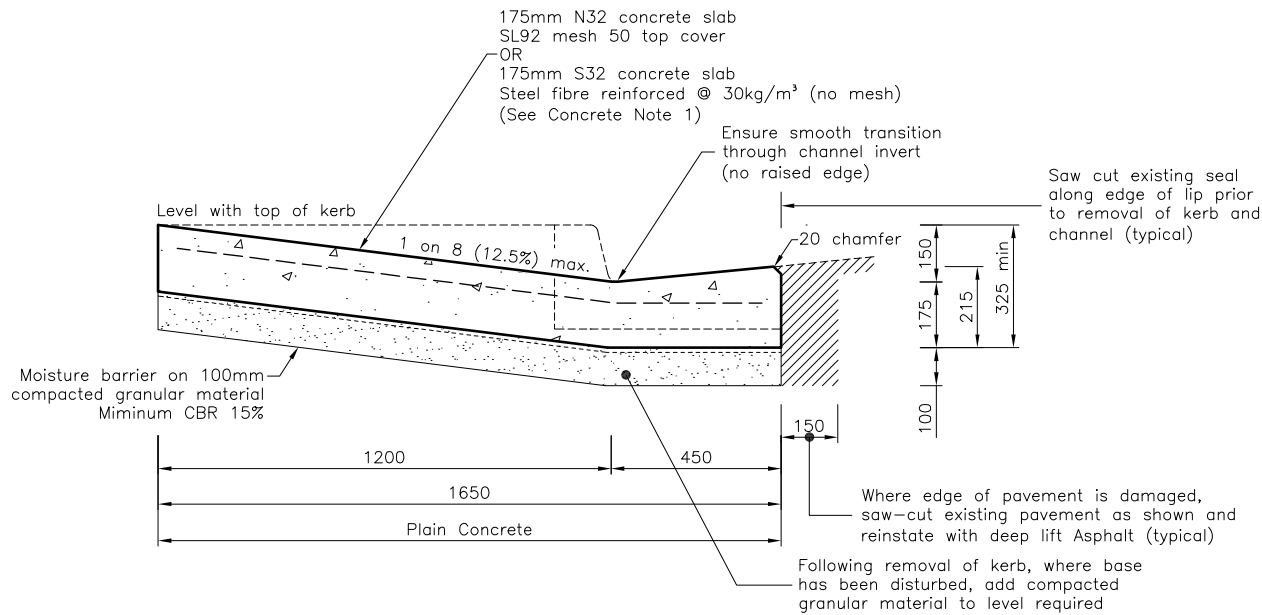


\* Industrial driveway access and crossover width to be determined in conjunction with the B-Double Turning Path and Access Plan. For example drawing refer to TCC standard drawing SD-006

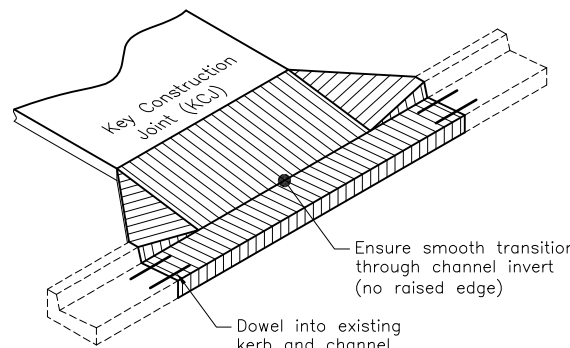


### SECTION 1 BARRIER KERB AND CHANNEL B1

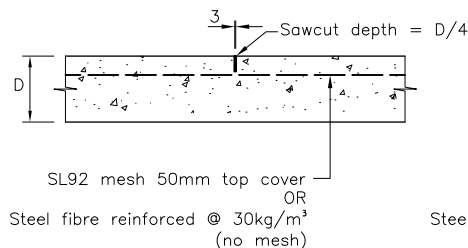
- Not suitable for forklifts and point loads from mobile cranes.
- This is the minimum design standard based on unlimited traffic loading repetition and a subgrade CBR of 3%. The design thickness must be modified by an RPEQ Engineer for site conditions with subgrade CBR < 3%.



### DRIVEWAY CROSSOVER DETAIL BARRIER KERB AND CHANNEL

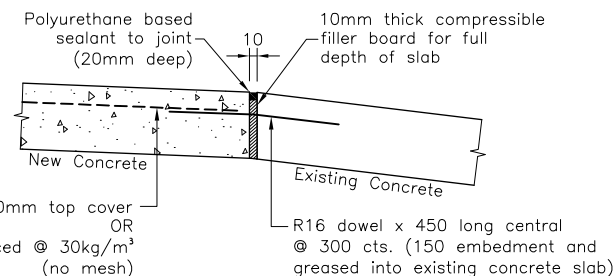


### ISOMETRIC VIEW DRIVEWAY CROSSOVER FOR BARRIER KERB AND CHANNEL B1



### CONTRACTION JOINT – CJ

6.0m maximum centres but not more than the width of the access, whichever is less



### KEY CONSTRUCTION JOINT – KCJ

Key Construction Joints to be provided between all abutting new and existing concrete works.

## NOTES

### GENERAL

1. All driveways require a Road Work Permit, which must be obtained from Council prior to construction.
2. Final location of access/es to be approved by Council's authorised person.
3. Do not scale drawings, use figured dimensions. All dimensions are in millimetres unless noted otherwise.
4. All workmanship and all materials shall be in accordance with Standards Australia specifications.
5. Installation and maintenance of driveways are the responsibility of the property owner.

### CONCRETE

1. Concrete shall be Grade N32 (mesh reinforced) or S32 (fibre reinforced) minimum. Although not a mandatory requirement it is recommended to use 40MPa concrete grade in areas with exposure classification B2 and 50MPa concrete grade in areas with exposure classification C2.
2. Where existing ground conditions appear to be highly plastic and have a high shrinkage, it is recommended to use a 150mm thick slab or seek advice from a Consulting Engineer.
3. Reinforcement is to be in accordance with the latest Standards Australia specifications.  
Material is indicated by the following symbols:  
R Plain Bars  
N Structural Grade Deformed, Grade 500  
SL Mesh Grade 500
4. Cover to reinforcement is as shown on the drawing and is to be maintained during pouring of concrete by the use of plastic chairs, at maximum 800mm centres in each direction. For work in contact with the ground, chairs are to be supported on sheet plates.
5. Lap Bars 40 diameter at splices unless noted otherwise.
6. Mesh is to comply with Standards Australia specifications and to have minimum lap splices as follows:  
Square Mesh – Wire spacing x2 times for wires in each direction.
7. Welding reinforcement will not be permitted unless shown on the drawings.
8. Provide contraction joints (CJ) at 6.0m maximum centres but not more than the width of the access, whichever is less.
9. Compaction of concrete during placing shall be by mechanical vibrators.
10. Curing of all concrete surfaces is to be carried out immediately after finishing as per AS3600 Section 4 for a minimum of 7 days.
11. All driveways shall have a non-slip finish.
12. Reinforcing fibres, if used, are to be a minimum length of 30mm and a maximum length of 55mm.

### INSPECTIONS

1. Council inspections are required for all driveways prior to construction, including concrete slab set-up and reinforcement.
2. Driveway slopes greater than 4% may only be approved by the Council Asset Inspector in special circumstances prior to construction.
3. A final Council inspection is required following completion of construction, including back filling to edges and ensuring the new driveway will not cause a tripping hazard.
4. Approved construction plans are to be available on site during inspections.

### SERVICES

1. Locations of existing underground services are to be confirmed by the owner/applicant/contractor who shall contact 'Dial Before You Dig' for information prior to any construction.
2. Ensure 450mm minimum cover to all underground services.
3. Re-establish any service markers damaged during construction.

### DRIVEWAY CLEARANCES

- 1.0m minimum from all poles (eg. power, signs).
- 0.5m minimum from service pits (eg. Ergon, Telstra). Service pits shall not be incorporated into the driveway. All pit relocations shall be done with the approval of the relevant service authority and at the expense of the property owner.
- 0.6m minimum from stormwater inlet pits/manholes.
- 0.5m minimum from sewer manholes.
- 1.2m minimum from sewer house drain connections.
- 3.5m minimum from trees unless assessed and approved by Council's Horticulture/Arboriculture Officer.
- Water Fittings (e.g. SV, FH) are not to be located within concrete driveway unless assessed and approved by Townsville Water.

This standard drawing is applicable for use in commercial developments including office and retail buildings

G	07/04/2015	CONCRETE, DOWEL AND GRANULAR MATERIAL	
F	26/06/2014	DRAWING REVIEWED	
E	04/03/2014	DRAWING REVIEWED AND DOWELS CHANGED TO GALVANISED	
D	04/03/2010	ACCESS WIDTH TABLE AMENDED	
C	12/02/2010	DRIVEWAY ACCESS & CROSSOVER DETAILS REVISED	
B	09/06/2009	DRIVEWAY TAPER ADDED	
No.	DATE	DESCRIPTION	AP'D
REVISIONS			

NOTES :

Full Size A1

Not to Scale

DRAWN: DESIGN OFFICE

CHECKED: WP

Design Engineer Approved: Original signed by JORGE EL-KHOURI

Date: 08/04/2015

Manager Approved: Original signed by MARK WILKINSON

Date: 09/04/2015



Ph: (07) 4727 9000  
www.townsville.qld.gov.au

## DRIVEWAY ACCESS INDUSTRIAL

## STANDARD DRAWING

ROADWORKS

SD-031

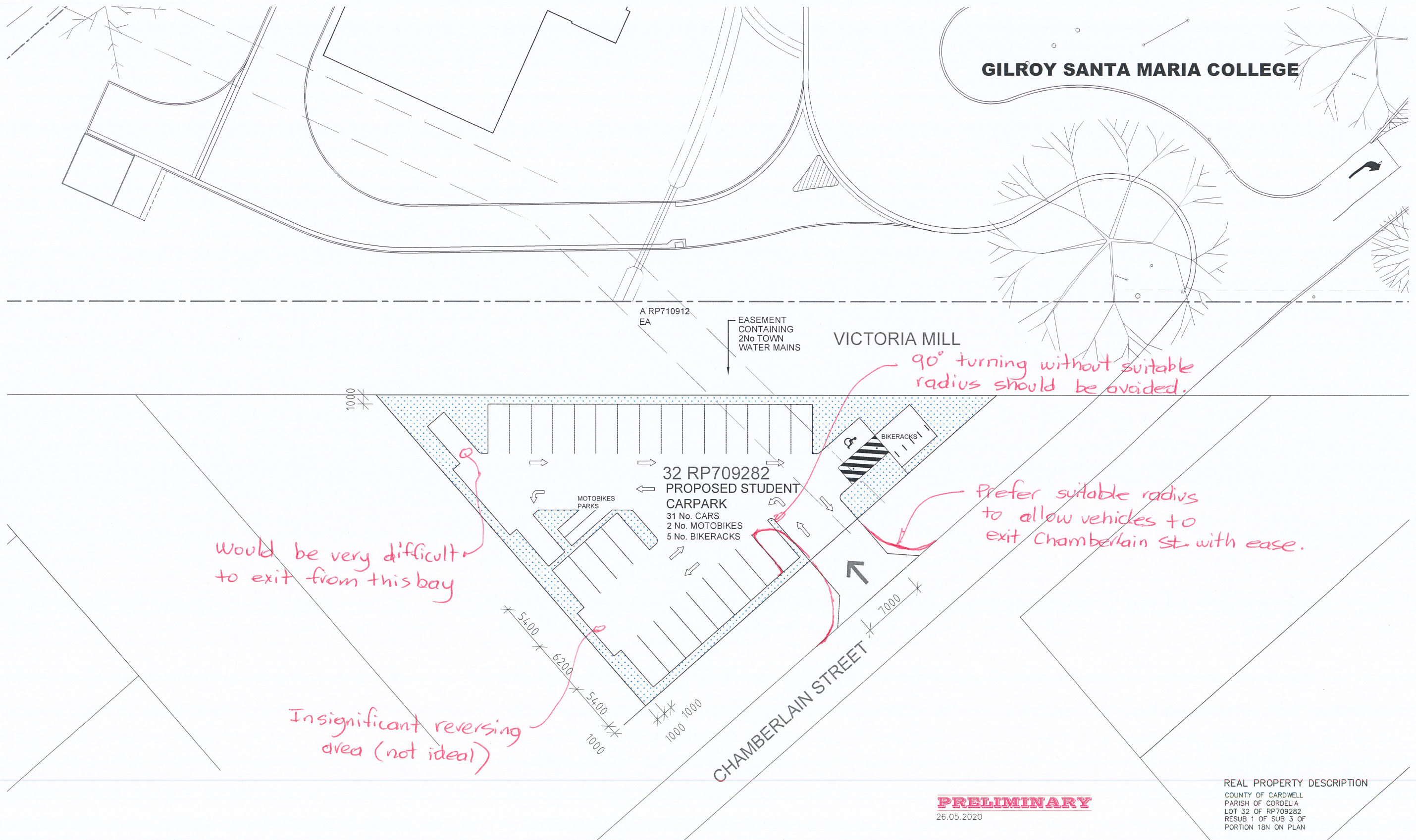
G



## **APPENDIX C**

Original carpark layout (superseded) with HSC  
comments



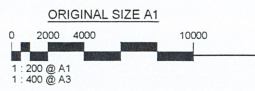


**GROUND FLOOR PART SITE PLAN\_PROPOSED**

1592(23) - GILROY SANTA MARIA COLLEGE - 15 CHAMBERLAIN ST PROPOSED CARPARK

1592(23) - SK04 - CARPARK LAYOUT - PROPOSED

REVISION A - PRELIMINARY 26/05/2020



*RedH. 20/7/20.*





Our Ref: 42481-001-01  
Your Ref:

11 September 2020

Chief Executive Officer  
Hinchinbrook Shire Council  
PO Box 366  
**INGHAM QLD 4850**

**Attention: Development and Planning Services**

Dear Sir/Madam

**DEVELOPMENT APPLICATION – MATERIAL CHANGE OF USE (EXTENSION OF  
EDUCATIONAL ESTABLISHMENT- STUDENT CAR PARK)  
15 CHAMBERLAIN STREET, INGHAM (LOT 32 ON RP709282)**

We act on behalf of the Applicant, Gilroy Santa Maria College, in relation to the abovementioned application.

Please find attached an impact assessable application for a Material Change of Use at the abovementioned address.

The fee for this application is \$2,545.00 based on the current Hinchinbrook Shire Council Planning Schedule of Fees and Charges – 2020/2021. The application fee will be paid by the applicant.

Thank you in advance and please do not hesitate in contacting the undersigned should you require further information.

Yours faithfully

---

**Anne Zareh**  
*Senior Planner*  
**Brazier Motti Pty Ltd**

Encl. Development Application

**From:** Hayley Roy  
**Sent:** Thu, 1 Oct 2020 10:56:48 +1000  
**To:** Zareh, Anne  
**Cc:** Aimee Godfrey;Temp Planning  
**Subject:** MCU20\0006 - Action Notice (Brazier Motti Pty Ltd for Gilroy Santa Maria College)  
**Attachments:** BRAZIER MOTTI.pdf

**Attention:** Anne Zareh, Senior Planner  
Brazier Motti Pty Ltd

*RE: MCU20\0006 – Action Notice  
Application for Material Change of Use: Extension to Educational Establishment  
(Student Car Park)  
15 Chamberlain Street, Ingham  
Lot 32 on RP709282*

Good Morning Anne,

Further to the aforementioned application and as a result of Council having had no luck in securing payment to begin its assessment, please see attached formal Action Notice. This notice outlines actions required for the application to be considered properly made.  
A hardcopy of this correspondence has been forwarded to your nominated postal address and will arrive in due course.

Should you require any further information or clarification concerning the content of this email, please do not hesitate to contact Council's Regulatory Services – Built Environment Team on 4776 4609.

Kindest regards,

**HAYLEY ROY**

Built Environment Team Leader

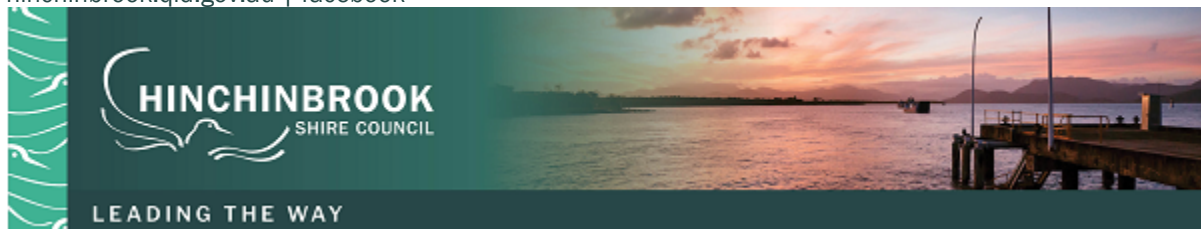
P 07 4776 4609

F 07 4776 3233

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- Hinchinbrook Shire Council

E [hroy@hinchinbrook.qld.gov.au](mailto:hroy@hinchinbrook.qld.gov.au)



Your Ref: MCU20\0006  
Our Ref: HR:BE

28 September 2020

Anne Zareh  
Senior Planner  
Brazier Motti Pty Ltd  
595 Flinders Street  
TOWNSVILLE QLD 4810

Anne.Zareh@braziermotti.com.au

Dear Anne

**Action Notice – *Planning Act 2016***

**Application for Material Change of Use – Extension to Educational Establishment (Student Car Park)  
15 Chamberlain Street Ingham – Lot 32 on RP709282**

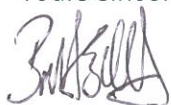
Receipt of your application on 14 September 2020 seeking a Development Permit for Material Change of Use (Extension to Educational Establishment – Student Car Park) is acknowledged and its contents noted.

Please be advised that your submitted application has been reviewed by relevant staff and was considered to be not properly made pursuant to the *Planning Act 2016* on 28 September 2020.

This Action Notice has been prepared in accordance with the Development Assessment Rules under the *Planning Act 2016* and contains information regarding the actions required for the application to be considered properly made.

Should you require any further information or clarification concerning this matter, please contact Council's Built Environment Team Leader, Hayley Roy on 4776 4609 for the necessary assistance.

Yours sincerely



Brett Exelby  
Director of Corporate and Financial Services

Encl – Action Notice



25 Lannercost Street  
INGHAM QLD 4850



PO Box 366 INGHAM QLD 4850  
ABN 46 291 971 168



4776 4600  
4776 3233



council@hinchinbrook.qld.gov.au  
HinchinbrookShireCouncil

28 September 2020

**APPLICATION DETAILS**

Details of the development application are listed below:

Application Number	MCU20\0006
Property ID Number	104050
Applicant Details	Gilroy Santa Maria College C/- Brazier Motti Pty Ltd 595 Flinders Street TOWNSVILLE QLD 4810
Owner Details	Roman Catholic Trust Corp For Diocese of Townsville PO Box 1013 INGHAM QLD 4850
Property Description	15 Chamberlain Street, Ingham Lot 32 on RP709282
Proposal	Material Change of Use – Extension to Educational Establishment (Student Car Park)
Level of Assessment	Impact assessment
Applicable Benchmarks	<i>Hinchinbrook Shire Council Planning Scheme 2017; and Planning Act 2016</i>

**REASONS AND ACTIONS REQUIRED**

The reasons why an Action Notice is required for this application are as follows:

- The application is not accompanied by relevant assessment fee of \$2,545.00 (as per Hinchinbrook Shire Council Schedule of Fees and Charges 2020/2021).

The actions required to make the application properly made are as follows:

- Applicant/Owner to pay development assessment fees in FULL.

Payment can be made in person at:

Hinchinbrook Shire Council  
25 Lannercost Street  
INGHAM QLD 4850**OR**Payment can be made with credit card over-the-telephone by calling  
Hinchinbrook Shire Council on 4776 4600.



## FURTHER INFORMATION

Pursuant to section 51 on the *Planning Act 2016*, the applicant must complete the actions identified above to make the application properly made. Pursuant to section 3.2 of the Development Assessment Rules under the *Planning Act 2016*, the applicant must comply with all of the actions and give notice of compliance to the assessment manager within 20 business days of this notice (or further agreed period), otherwise the application will be taken to have not been made and the application will be returned.

You are advised that the truth and accuracy of the information provided in the forms and accompanying information is relied upon when assessing and deciding this application.

Should you require any further clarification or information concerning this matter, please contact Council's Built Environment Team Leader, Hayley Roy on 4776 4609, for the necessary assistance.

**From:** Aimee Godfrey  
**Sent:** Mon, 26 Oct 2020 16:21:07 +1000  
**To:** Zareh, Anne  
**Cc:** Hayley Roy;Temp Planning  
**Subject:** Confirmation Notice - MCU20\0006 - Material Change of Use  
**Attachments:** CONFIRMATION NOTICE MCU20\_0006.pdf

**ATTENTION:** Anne Zareh, Brazier Motti Pty Ltd

**RE:** Confirmation Notice  
Material Change of Use – Extension to Educational Establishment (Student Car Park)  
15 Chamberlain Street Ingham  
Lot 32 on RP709282

Good Afternoon,

Please see the attached Confirmation Notice dated 19 October 2020 in relation to the aforementioned development application.

Hardcopy of the correspondence has been sent via post to your nominated postal address, therefore will be received in due course.

Should you require any further clarification in relation to this matter, please do not hesitate to contact Council's Regulatory Services – Built Environment Team on telephone 4776 4658.

Kind Regards

**AIMEE GODFREY**

**Built Environment Support Officer**

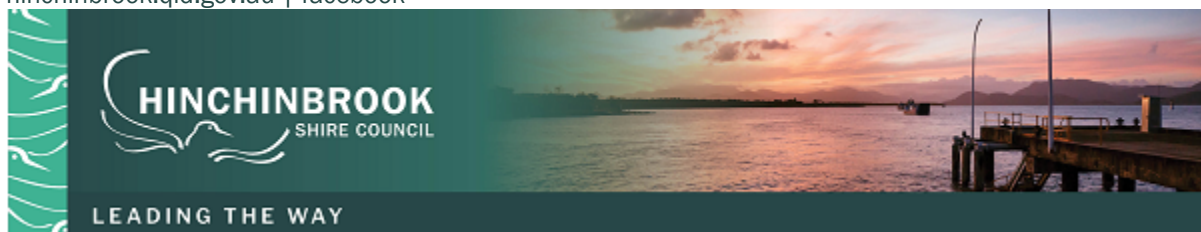
**P** 07 4776 4658

**F** 07 4776 3233

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- **Hinchinbrook Shire Council**

**E** [agodfrey2@hinchinbrook.qld.gov.au](mailto:agodfrey2@hinchinbrook.qld.gov.au)



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**Please consider the environment before printing this email.** HSC\_2020\_V1



Your Ref: Application for Material Change of Use  
Our Ref: BE:HR MCU20\0006

19 October 2020

Anne Zareh  
Senior Planner  
Brazier Motti Pty Ltd  
595 Flinders Street  
TOWNSVILLE QLD 4810

[anne.zareh@braziermotti.com.au](mailto:anne.zareh@braziermotti.com.au)

Dear Anne

**Confirmation Notice**  
**Material Change of Use - Extension to Educational Establishment (Student Car Park)**  
*Planning Act 2016*

Receipt of your development application on Friday 2 October 2020 seeking a Development Permit for Material Change of Use – Extension to Educational Establishment (Student Car Park) at 15 Chamberlain Street Ingham is acknowledged and its contents noted.

Please be advised that your submitted application has been reviewed by relevant staff and was deemed to be a properly made application on Monday 5 October 2020.

The enclosed Confirmation Notice has been prepared in accordance with the Development Assessment Rules under the *Planning Act 2016* and contains information relevant to the processing and assessment of the application.

Should you require any further information or clarification concerning this matter, please contact Council's Built Environment Support Officer, Aimee Godfrey on 4776 4658 for the necessary assistance.

Yours sincerely



Brett Exelby  
Director of Corporate and Financial Services

Encl - Confirmation Notice



25 Lannercost Street  
INGHAM QLD 4850



PO Box 366 INGHAM QLD 4850  
ABN 46 291 971 168



4776 4600  
4776 3233



[council@hinchinbrook.qld.gov.au](mailto:council@hinchinbrook.qld.gov.au)  
HinchinbrookShireCouncil



19 October 2020

## APPLICATION DETAILS

Details of the development application are listed below:

Application Number	MCU20\0006
Property ID Number	104050
Applicant Details	Gilroy Santa Maria College C/- Brazier Motti Pty Ltd 595 Flinders Street TOWNSVILLE QLD 4810
Owner Details	Roman Catholic Trust Corporation For Diocese of Townsville PO Box 1013 INGHAM QLD 4850
Property Description	15 Chamberlain Street, Ingham Lot 32 on RP709282
Proposal	Material Change of Use – Extension to Educational Establishment (Student Car Park)
Level of Assessment	Impact assessment
Applicable Benchmarks	<i>Hinchinbrook Shire Council Planning Scheme 2017; and Planning Act 2016</i>

## SUPERSEDED PLANNING SCHEME

Is the application for development under the Superseded Planning Scheme? ☐ Yes ☒ No

## PUBLIC NOTIFICATION DETAILS

Is Public Notification required? ☒ Yes ☐ No

An Explanatory Note for Public Notification is enclosed for your reference.

## REFERRAL AGENCIES

Is a Referral Agency required? ☐ Yes ☒ No

Based on the information accompanying the lodged application, referral of the application is not required.

## INFORMATION REQUEST

The applicant agrees to receive an Information Request if determined necessary for this development application.

☒ Confirmed

Please note: Regardless of this advice, any referral agency for the application may make an Information Request.

Should the Assessment Manager not make an Information Request within the timeframes specified in the Development Assessment Rules, the applicant can proceed to the next part of the development assessment process.

## **FURTHER INFORMATION**

You are advised that the truth and accuracy of the information provided in the application forms and accompanying information is relied upon when assessing and deciding this application.

Should you require any further clarification or information concerning this matter, please contact Council's Built Environment Support Officer, Aimee Godfrey on 4776 4658, for the necessary assistance.



## EXPLANATORY NOTE FOR PUBLIC NOTIFICATION

*Planning Act 2016 and Development Assessment Rules*

### INTRODUCTION

The purpose of this Explanatory Note is to provide guidance to applicants on the public notification requirements under Section 53 of the *Planning Act 2016* (the Act) and under the Development Assessment Rules (the Rules). The Act and the Rules, set out the requirements for the giving of public notice. These guidelines quote much of the material contained within the Act and the Rules.

If there is doubt about a particular public notification aspect, the applicant should refer to the Act and the Rules or have the public notice procedures undertaken by a consultant who is familiar with the public notice requirements.

Whilst every care has been taken in preparation of this explanatory note, ultimately it is the applicant's responsibility to ensure that the procedures are correctly followed. Council will not accept any responsibility for incorrect giving of public notice.

### OVERVIEW OF PUBLIC NOTIFICATION PROCEDURES (PUBLIC NOTICE)

There are three distinct tasks to be undertaken when carrying out public notice:

1. Publishing a notice in a local newspaper;
2. Placing a notice or notices on the premises; and
3. Giving notice to adjoining owners.

Prior to commencing public notification, the applicant must give notice to the assessment manager of the intended start date of public notification.

After the notification period has ended, the applicant must give the assessment manager notice of compliance with the public notice requirements.

One key aspect to note is that an application automatically lapses if public notification does not start within 20 business days of the completion of the relevant preceding part. Furthermore, the application also automatically lapses if applicant does not give the assessment manager the notice of intention to start public notification (17.2 of the Rules), and the notice of compliance with the public notice requirements within 10 business days from the day after the last day on which a submission may be made (18.1 of the Rules).

### WHEN NOTIFICATION STARTS

The following is an extract from Part 4 of the Development Assessment Rules which outlines when public notification starts:

#### 16. When this part starts

16.1 If there are no referral agencies for the application and part 3 does not apply because:

- (a) the Applicant has advised that it does not wish to receive an Information request and it is not an application mentioned in section 11.3; or

- (b) the Assessment Manager state in the confirmation notice that it does not intend to make an information request;

Public notification must start within 20 days of the day after the confirmation notice is given to the Applicant.

16.2 If –

- (a) the Applicant has advised that it does not wish to receive an information request; and
- (b) it is not an application mentioned in section 11.3; and
- (c) there are referral agencies.

Public notification must start within 20 days after the day the last referral assessment period for any referral agency has started.

16.3 If sections 16.1 and 16.2 do not apply public notification must start within 20 days of the day after part 3 has ended.

16.4 For a changed application, where public notification is required to be undertaken again from its beginning, public notification must commence within 20 days -

- (a) if both part 2 and part 4 are relevant to the application as a result of the changed application, the day after part 3 has ended;
- (b) otherwise, the day after the day notice is given under section 26.2(a) or 26.2(c).

## WHAT IS PUBLIC NOTICE

The following is extracted from Part 4 of the Development Assessment Rules:

### 17. Public notice requirements

17.1 The Applicant or the Assessment Manager acting under section 53(10) of the Act, must give public notice by -

- (a) publishing a notice at least once in a newspaper circulating generally in the locality of the premises of the subject of the application; and
- (b) placing notice on the premises the subject of the application that must remain on the premises for the period of time up to and including the stated day; and
- (c) giving notice to the adjoining owners of all lots adjoining the premises the subject of the application.

17.2 The Applicant must give notice to the Assessment Manager of the intended start date of the public notification.

17.3 Schedule 3 prescribes the way in which public notice must be given.

17.4 All public notice requirements under section 17.1 and 17.2 must be undertaken within the period prescribed under section 16.

### 18. Notice of compliance

18.1 If the Applicant gives public notice, it must, within 10 days from the day after the last day on which a submission may be made, or a further period agreed between the



Applicant and the Assessment Manager, give the Assessment Manager of compliance with the public notice requirements.

### **PUBLIC NOTIFICATION PERIOD**

Section 53 of the Act states the required public notification period. The following is an extract from Section 53:

53(4) The notice must state that -

- (a) a person may make a submission about the application to the Assessment Manager; and
- (b) any submission must be made by a stated day that is at least -
  - (i) for an application that includes a variation request - 30 business days after the notice is given; or
  - (ii) for an application of a type prescribed by regulation - the period, of more than 15 business days after the notice is given, prescribed for the application; or
  - (iii) for any other application - 15 business days after the notice is given.

53(5) However, if the development assessment rules require the notice to be given in more than 1 way, the period mentioned in subsection (4)(b) starts on the day after the day when the last notice is given.

Please ensure that all public notices that are published in the newspaper, placed on the land, and given to adjoining land owners clearly state that:

- (a) written submissions may be made electronically; and
- (b) electronic submissions are to be sent to [council@hinchinbrook.qld.gov.au](mailto:council@hinchinbrook.qld.gov.au); and
- (c) all submissions, including individual submitter's particulars, will be published on council's website ([www.hinchinbrook.qld.gov.au](http://www.hinchinbrook.qld.gov.au)) and therefore will be accessible to internet search engines.