

PROPOSED MULTI WAREHOUSE DEVELOPMENT

AT: 59 PARAWEENA DRIVE, TRUGANINA

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3D Perspective
N.T.S

PROJECT CONSULTANTS LIST

Consulting Structural Engineer: ZS Consulting Pty Ltd
 Consulting Civil Engineer: ZS Consulting Pty Ltd
 Consulting Fire Service Design: PBH Design
 Consulting Geotechnical Engineer: Apex Soil Testing
 Consulting Landscape Designer: Etched Projects

PROJECT AUTHORITIES LIST

Municipality: Wyndham City Council
 Planning Permit No: WYP9873/17
 Issue Date: 2nd May 2018
 Sewerage Authority: City West Water
 Drainage Authority: Wyndham City Council
 Relevant Building Surveyor: Westside Building Surveyors

GENERAL NOTES:

ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH BUT NOT LIMITED TO THE BUILDING INTERIM REGULATIONS 2017, THE NATIONAL CONSTRUCTION CODE SERIES 2016 BUILDING CODE OF AUSTRALIA VOLUME 1 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.
 THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.
 FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS
 THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORM WATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNES, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
 THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS
 ALL STORM WATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES' APPROVAL.
 INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.
 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL SPECIFICATIONS, RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS' DRAWINGS/DETAILS AND SPECIFICATIONS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.
 LIGHT SWITCHES, DOOR HANDLES ETC. TO ALL DOORS/WALLS TO BE LOCATED BETWEEN 900MM AND 1100MM ABOVE F.F.L.
 SARKING-TYPE MATERIALS USED FOR WEATHERPROOFING OF ROOFS AND WALLS TO COMPLY WITH AS/NZS 4200 PARTS 1 AND 2.
 ALL WET AREAS, FLOOR, WALLS ETC., TO BE IN ACCORDANCE WITH F1.7 OF B.C.A. AND AS 3740.
 ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA. WHERE A PERFORMANCE SOLUTION IS PROPOSED THEN PRIOR TO IMPLEMENTATION OR INSTALLATION IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA.
 WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER.
 WINDOWS TO BE FLASHED ALL AROUND.
 REFER TO CIVIL ENGINEERS DESIGN AND DETAILS FOR ALL STORM WATER, CAR PARKING AND DRIVEWAY CONSTRUCTION REQUIREMENTS.
 THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF BB DESIGN GROUP FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE WRITTEN CONSENT OF BB DESIGN GROUP DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY BB DESIGN GROUP FOR SUCH USE AND/OR RELIANCE.
 THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF BB DESIGN GROUP EXCEPT WHERE A REGISTERED BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO BB DESIGN GROUP.

FIRE HAZARD PROPERTIES:

ALL FLOOR MATERIAL OR FLOOR COVERING MUST HAVE (a) A CRITICAL RADIANT FLUX NOT LESS THAN THAT LISTED IN TABLE 1;
 (b) IN A BUILDING NOT PROTECTED BY A SPRINKLER SYSTEM COMPLYING WITH SPECIFICATION E1.5, A MAXIMUM SMOKE DEVELOPMENT RATE OF 750 PERCENT-MINUTES.
 THE MINIMUM TYPE OF FIRE RESISTING CONSTRUCTION OF A BUILDING MUST BE THAT SPECIFIED IN TABLE C1.1 AND SPECIFICATION C1.1.
 CONSTRUCTION JOINTS BETWEEN CONCRETE PANELS TO BE FIRE SEALS AS NECESSARY, IN ACCORDANCE WITH AS 1530.4

EARLY FIRE HAZARD INDICES:

	SMOKE DEVELOPED:	SPREAD OF FLAME:
CARPET (0- 10)	5	4
SARKING (0- 10)	0	1
VINYL FLOORING (0- 10)	6	0

FIRE HAZARD PROPERTIES OF MATERIALS AND ASSEMBLIES TO COMPLY WITH BCA SPECIFICATION C1.10.

CONSTRUCTION JOINTS BETWEEN CONCRETE PANELS TO BE FIRE SEALS AS NECESSARY, IN ACCORDANCE WITH AS 1530.4

FIRE SERVICE LEGEND

REFER TO FIRE SERVICES DESIGN FOR ALL HYDRANT, HOSE REELS AND EXTINGUISHER DETAILS.
 ELECTRICAL SWITCHBOARDS LOCATED IN THE PATH OF TRAVEL TO EXITS TO BE ENCLOSED IN A METAL OR OTHER NON COMBUSTIBLE CABINET WITH SMOKE PROOF DOORS. SIGNIFICANT SWITCHBOARDS SHALL BE PROVIDED WITH A 5KG CARBON DIOXIDE EXTINGUISHER OR ANOTHER TYPE OF EXTINGUISHER WITH A MINIMUM CLASSIFICATION OF 1A-E AND FITTED WITH A HOSE COMPLETE WITH EXTINGUISHER IDENTIFICATION SIGNAGE AND SHALL BE LOCATED BETWEEN 2M AND 20M FROM THE SIGNIFICANT SWITCHBOARD.

- ABE PROVIDE ONE DRY POWDER EXTINGUISHER ADJACENT TO THE MAIN SWITCHBOARD.
- REQUIRED HOSE REEL (36m HOSE), LOCATED WITHIN 4m OF EXIT DOOR.

DURING CONSTRUCTION, NOT LESS THAN ONE FIRE EXTINGUISHER TO SUIT CLASS A, B, AND C FIRES AND ELECTRICAL FIRES MUST BE PROVIDED AT ALL TIMES ON EACH STOREY ADJACENT TO EACH REQUIRED EXIT OR TEMPORARY STAIRWAY OR EXIT.

EXITS:

ALL EXIT DOORS & DOORS IN A PATH OF TRAVEL TO EXITS ARE TO BE CAPABLE OF BEING OPENED AT ALL TIMES FROM THE SIDE OF PERSON SEEKING EGRESS FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD OR PUSHING ACTION ON A SINGLE DEVICES WITHOUT THE USE OF A KEY & LOCATED BETWEEN 900mm & 1200mm ABOVE FLOOR LEVEL IN ACCORDANCE WITH CLAUSE D2.21 OF THE BCA
 ALL PROPOSED SLIDING DOORS SERVING AS EXIT DOORS TO OPEN AUTOMATICALLY IF THERE IS A POWER FAILURE TO THE DOOR OR ON ACTIVATION OF THE FIRE OR SMOKE ALARM ANYWHERE IN THE TENANCY.

DISABLED ACCESS:

DISABLED PERSON ACCESS TO THE BUILDING SHALL BE VIA ENTRANCE DOOR No. D01, AS DESIGNATED ON FLOOR PLAN. DISABLED ACCESS & MOBILITY SHALL FULLY COMPLY WITH AS.1428.1 & AS.1428.4

BRAILLE AND TACTILE SIGNAGE COMPLYING WITH SPEC. D3.6 AND INCORPORATING THE INTERNATIONAL SYMBOL OF ACCESS OR DEAFNESS OR OTHER SYMBOL AS APPROPRIATE MUST BE PROVIDED TO THE DISABLED SANITARY FACILITY.

LIGHTING LEGEND:

ALL EMERGENCY LIGHTING AND EXIT SIGNS TO COMPLY WITH AS 2293. AND B.C.A. 2016

WAREHOUSE

DENOTES 'CLEVERTRONICS' 2 x 3 WATT LIFELIGHT LUMINAIRE NON MAINTAINED EMERGENCY LIGHT, CHAIN SUSPENDED 6000mm ABOVE FLOOR LEVEL TO UNDERSIDE OF ROOF PURLINS
 CAT NO. CLIFE-2PRO-SMS-600 (Co D125 34m, C90 D125 34m)

OFFICE

DENOTES 'CLEVERTRONICS' 1 x 1.9 WATT LIFELIGHT LUMINAIRE NON MAINTAINED EMERGENCY LIGHT, RECESSED MOUNTED 2700mm ABOVE FLOOR LEVEL TO UNDERSIDE OF SUSPENDED CEILING
 CAT NO. ELIFE-X (Co-D40 18M, C90-D40 18M)
 DENOTES HIGH EFFICIENCY HI BAY LIGHTING IN ACCORDANCE WITH PART J6. 1-6.6 OF THE BCA AND THE SPECIFICATION J6

DENOTES 'CLEVERTRONICS' 1 x 3.3w MAINTAINED EXIT EMERGENCY SIGN MOUNTED ABOVE ALL EXIT DOOR OPENINGS BETWEEN 2100-2400mm HIGH
 CAT. No. CCFPRO (Co-D4; C90-E8)

GLAZING NOTES:

MAXIMUM AREAS OF CLEAR PATTERNED GRADE 'A' FRAMED GLASS SIDE PANELS AND OTHER GLAZED SAFETY GLASS MATERIAL FOR FRAMED GLASS, GLAZING AS PER AS.1288 AND AS.2047

TYPE OF GLASS	THICKNESS	AREA.
TOUGHENED SAFETY GLASS.	3mm	1.0sqm
	4mm	2.0sqm
	5mm	3.0sqm
	6mm	4.0sqm
	8mm	6.0sqm
	10mm	8.0sqm
LAMINATED SAFETY GLASS.	12mm	10.0sqm
	5.38mm	2.0sqm
	6.38mm	3.0sqm
	8.38mm	5.0sqm
	10.38mm	7.0sqm
	12.38mm	9.0sqm

DIRECTIONAL SIGNAGE NOTES:

Where directional signage is provided consistent colour and layout to assist people find & use the signage.

Matt finishes shall be used to assist people with vision impairment.

Colours with high luminance contrast are to be used.

Standardized symbols to be used where possible to reinforce written words.

Sans Serif font to be used.

EMERGENCY SERVICES NOTES:

All emergency services and warning systems to be in accordance with BCA requirements.

All lighting levels are to comply with AS1428.1 CLAUSE 17.1 and be consistent with AS1680.0 to provide for safe movement within the warehouse.

GENERAL CONSTRUCTION NOTES:

Light switches to be located between 900mm - 1100mm above FL, horizontally aligned with door handles and not less than 500mm from internal corners.

Carpet to have a max. pile height of 6mm.

Vinyl flooring if proposed to be slip resistive comply with AS1428.1:2009 Clause 7.

ACCESSIBLE SIGNAGE:

Accessible signage to be provided adjacent to each required exit door.

Braille and tactile components of a sign must be located not less than 1200mm and not higher than 1600mm above the floor or ground surface.

Signs with single lines of characters must have the line of tactile characters not less than 1250mm and not higher than 1350mm above the ground or floor surface

Each sign must indicate the word "Exit" and description of the Level. (Refer Example Below)



DISABLED STANDARD NOTES:

Signage to designated car spaces to be in accord. with AS 1428.1 and 2890.6

Maximum cross-fall to designated car spaces for persons with disabilities not to exceed 1:40 in both directions.

Drainage grates not to be in path of travel b/w designated car space for persons with disabilities and any paths to entry doors.

Provide level transition b/w car space and landing to entry doors.

If any door closers are fitted to any door requiring accessibility, then the force to open not to exceed 20N.

Disabled amenity room size and internal fit-out to comply with AS 1428.1:2009.

Cross-fall on designated car spaces, paths and level landings at entry doors not to exceed 1:40.

All door circulation spaces & disabled amenities to comply with AS1428.1:2009.

All Pavement pathways are to be flush with roadways and parking areas with otherwise disabled compliant kerb ramps are to be provided.

All entry & internal doors to provide minimum 850mm clear opening.

Provide level threshold at entry oor/landing junction and maximum fall on landing at 1:40.

All joinery fitout to be by tenant.

All Doors & handles to comply with AS 1428.1:2009 and door frame to have 30% luminance contrast to the adjacent surface. Safety decals to door leaves, sidelights and any other areas which can be mistaken for openings. Min. solid non-transparent band no less than 75mm wide req. with the lower edge of the band to be 900-1000mm above FL.

Tactile indicators to footpaths either side of crossovers, as required by local authority.

NOTE: ALL PARKING BAYS TO BE LINE MARKED INCLUDING DISABLED AND ASSOCIATED SHARED AREA PAVEMENT MARKING.

No.	DATE.	DESCRIPTION.	APPD.
-	14/11/2018	PRELIMINARY ISSUE	M.C.
A	29/05/2019	CONSTRUCTION ISSUE	M.C.

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PROJECT

PROPOSED MULTI WAREHOUSE & OFFICE DEVELOPMENT
AT: 59 PARAWEENA DRIVE, TRUGANINA

CLIENT

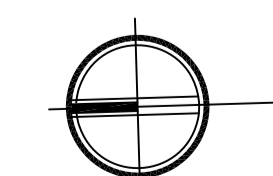


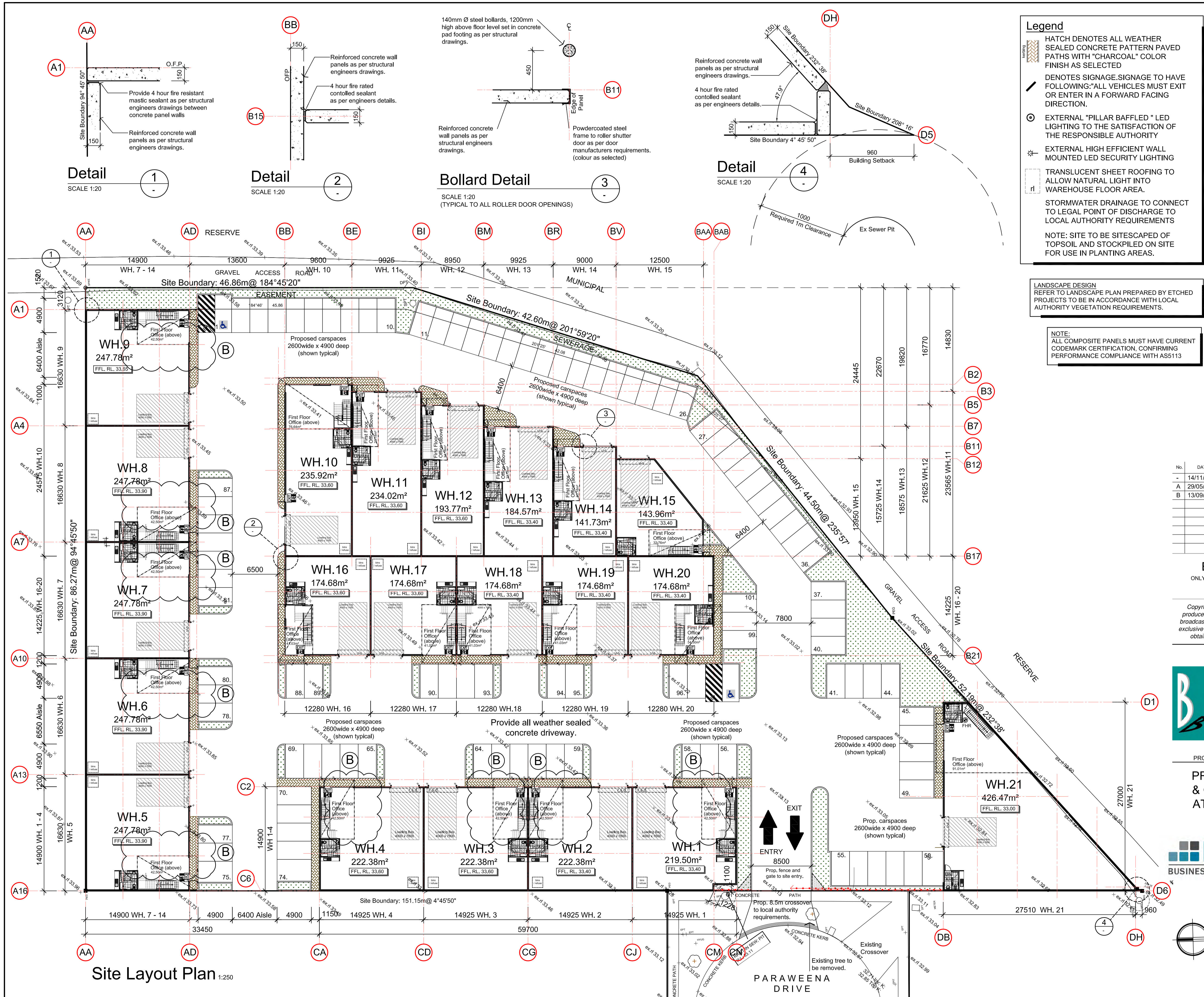
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DRAWING TITLE

GENERAL NOTES

DATE	SCALE	DRG NO.
OCT 2018	N/A	A00
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	161017





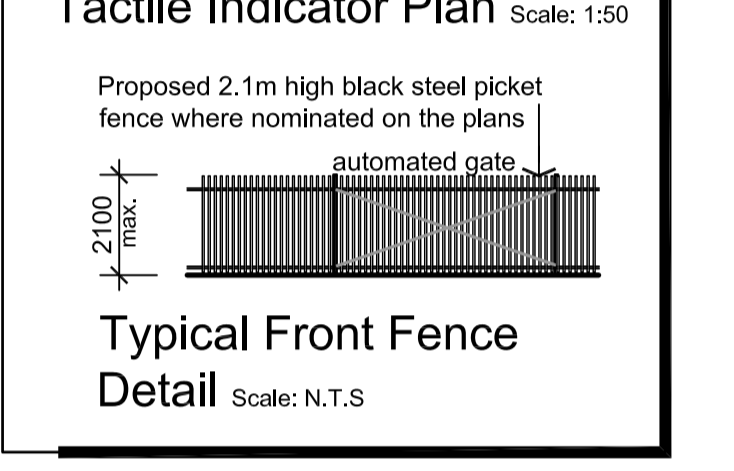
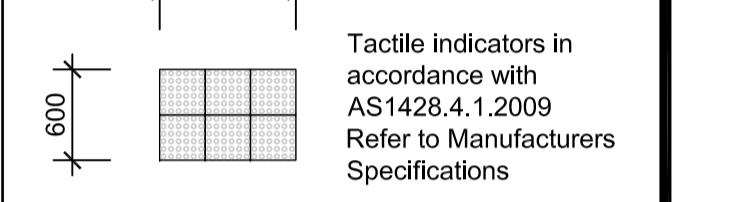
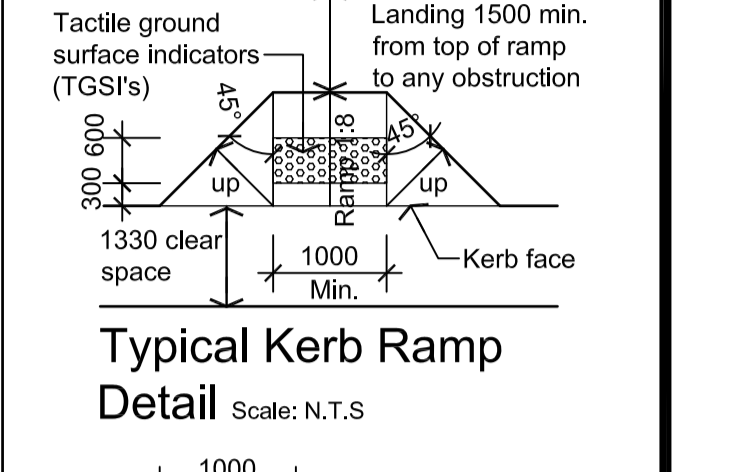
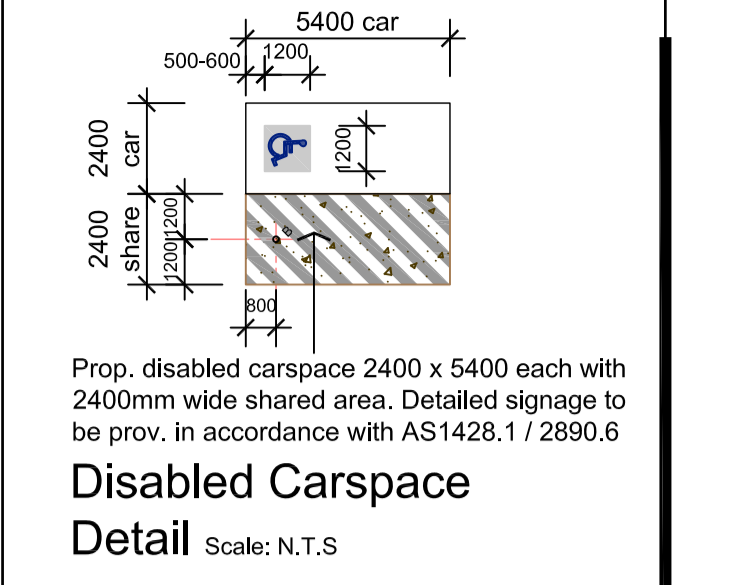
Legend

- HATCH DENOTES ALL WEATHER SEALED CONCRETE PATTERN PAVED PATHS WITH "CHARCOAL" COLOR FINISH AS SELECTED
- DENOTES SIGNAGE. SIGNAGE TO HAVE FOLLOWING: "ALL VEHICLES MUST EXIT OR ENTER IN A FORWARD FACING DIRECTION."
- EXTERNAL "PILLAR BAFFLED" LED LIGHTING TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY
- EXTERNAL HIGH EFFICIENT WALL MOUNTED LED SECURITY LIGHTING
- TRANSLUCENT SHEET ROOFING TO ALLOW NATURAL LIGHT INTO WAREHOUSE FLOOR AREA.
- STORMWATER DRAINAGE TO CONNECT TO LEGAL POINT OF DISCHARGE TO LOCAL AUTHORITY REQUIREMENTS

NOTE: SITE TO BE SITESCAPED OF TOPSOIL AND STOCKPILED ON SITE FOR USE IN PLANTING AREAS.

LANDSCAPE DESIGN REFER TO LANDSCAPE PLAN PREPARED BY ETCHED PROJECTS TO BE IN ACCORDANCE WITH LOCAL AUTHORITY VEGETATION REQUIREMENTS.

NOTE: ALL COMPOSITE PANELS MUST HAVE CURRENT CODEMARK CERTIFICATION, CONFIRMING PERFORMANCE COMPLIANCE WITH AS5113



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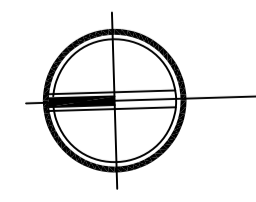
PROJECT

PROPOSED MULTI WAREHOUSE & OFFICE DEVELOPMENT AT: 59 PARAEWENA DRIVE, TRUGANINA

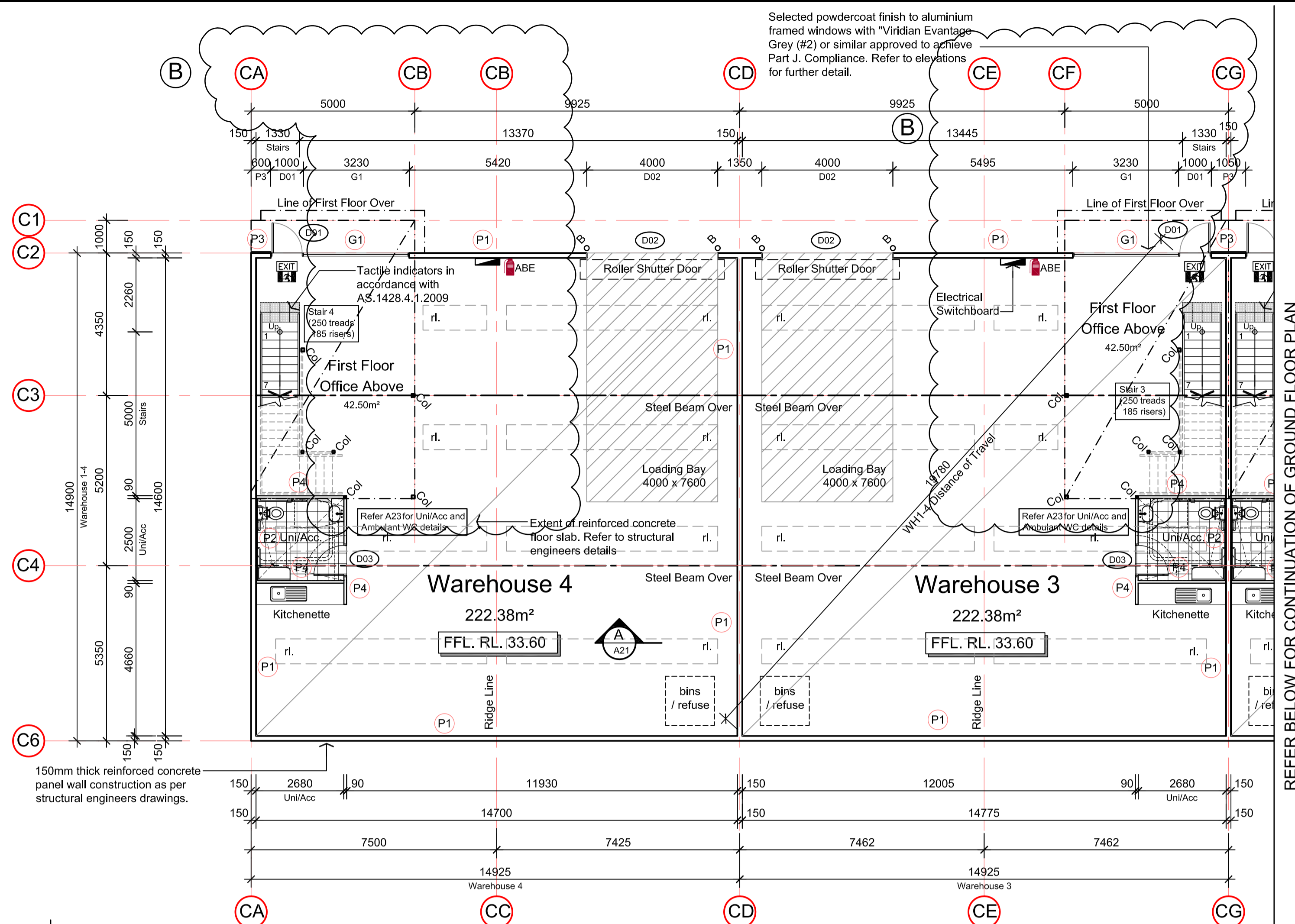
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DRAWING TITLE
SITE LAYOUT PLAN

DATE	SCALE	DRG. NO.
OCT 2018	1:250	A01
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	161017



Site Layout Plan 1:250



REFER BELOW FOR CONTINUATION OF GROUND FLOOR PLAN

MECHANICAL VENTILATION SCHEDULE:

PROPOSED WAREHOUSE 1-4:
 FLOOR AREA = 222.38m² @ 5% = 11.12m²
 EXISTING VENTILATION (OPENINGS) = 21.64m²
 BALANCE REQUIRED = 00.00m²

⊕ DENOTES PROPOSED EXHAUST FAN
 MECHANICAL VENTILATION OR AIR-CONDITIONING OF ROOMS TO BE PROVIDED WITH A SYSTEM COMPLYING WITH AS1668.2 AND AS/NZS 3666.1 AS AMENDED. EXHAUST OUTLETS TO BE LOCATED NO CLOSER THAN 6.0M TO FRESH AIR INLETS.
 AIR CONDITIONING TO BE PROVIDED TO OFFICE. MECHANICAL VENTILATION TO BE PROVIDED TO WC AND AIR LOCK AREAS. (BY OTHERS)

LEGEND

COL	= COLUMN
DP	= DOWNPIPE
SV	= SHEET VINYL
VT	= VINYL TILES
CA	= CARPET
CT	= CERAMIC TILES
B	= BOLLARDS
BR	= BIKE RACK
rl	= ROOF LIGHT
OPF	= OUTSIDE FACE OF PANEL
CL	= CENTRE LINE

Wall Legend

P1	150mm Thick Concrete Panel Wall
P2	150mm Thick Concrete Panel Wall with Zincalume Custom Orb cladding on furring channels fixed to Concrete Panel
P3	150mm Thick Concrete Panel Wall with "Foil Board Ultra 20" insulation Panel or similar to all external walls only to achieve R2.8 min. Refer to detail for further information. (floor to ceiling)
P4	Solid partition internal walls (metal stud & plasterboard) to 2700mm high (floor to ceiling)
P5	Solid partition external walls (metal stud & plasterboard) full height with "Bulk Insulation" b/w studs or similar. Provide Zincalume Custom Orb cladding as noted on the elevations.
G1	6mm Viridian Evantage Grey (#2) or similar approved in 150mm Capral 419 Flushline single glazed frames to provide min. U value 3.8 and min. SHGC value 0.41. to external office glazing where nominated on floor plans and elevations.

FIRE ENGINEERING CONSTRUCTION REQUIREMENTS
 OPENINGS IN EXTERNAL WALLS WITHIN 3M OF ADJACENT PROPERTY BOUNDARIES WILL NOT BE PROTECTED AS OUTLINED IN TABLE 13.
 MINIMUM CLEAR HEIGHT IN WAREHOUSES 11 AND 12 WILL NOT BE LESS THAN 7M.
 THE ROLLER DOOR IN WAREHOUSE 21 WILL BE CONSIDERED AS AN EXIT FROM THE GROUND FLOOR OF WAREHOUSE 21. THE ROLLER DOOR WILL ALSO BE PROVIDED WITH A PUSH TO OPEN BUTTON AND BATTERY BACKUP OR AUTOMATIC OPENING ON POWER FAILURE (FAIL OPEN). THE PUSH TO OPEN BUTTON MUST BE LOCATED IN A CONSPICUOUS LOCATION LOCATED BETWEEN 900MM AND 1.1M FROM THE FLOOR.

NOTE:
 ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL & CIVIL DRAWINGS AS PREPARED BY ZS CONSULTING PTY LTD

GENERAL CONSTRUCTION:
 Light switches to be located between 900mm - 1100mm above FL, horizontally aligned with door handles and not less than 500mm from internal corners.
 Carpet to have a max. pile height of 6mm.
 Vinyl flooring if proposed to be slip resistive & comply with AS1428.1:2009 Clause 7.

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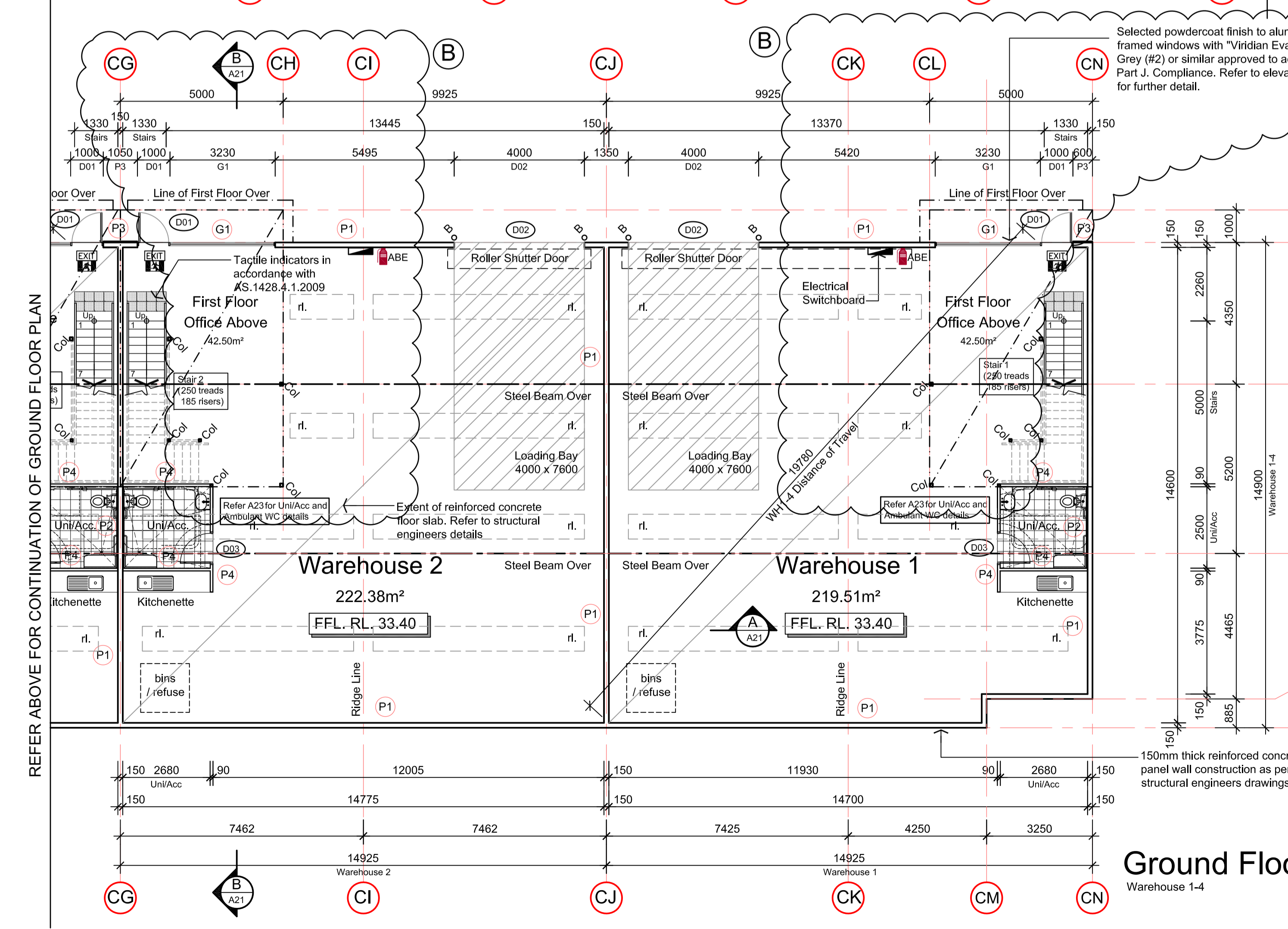
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PROJECT
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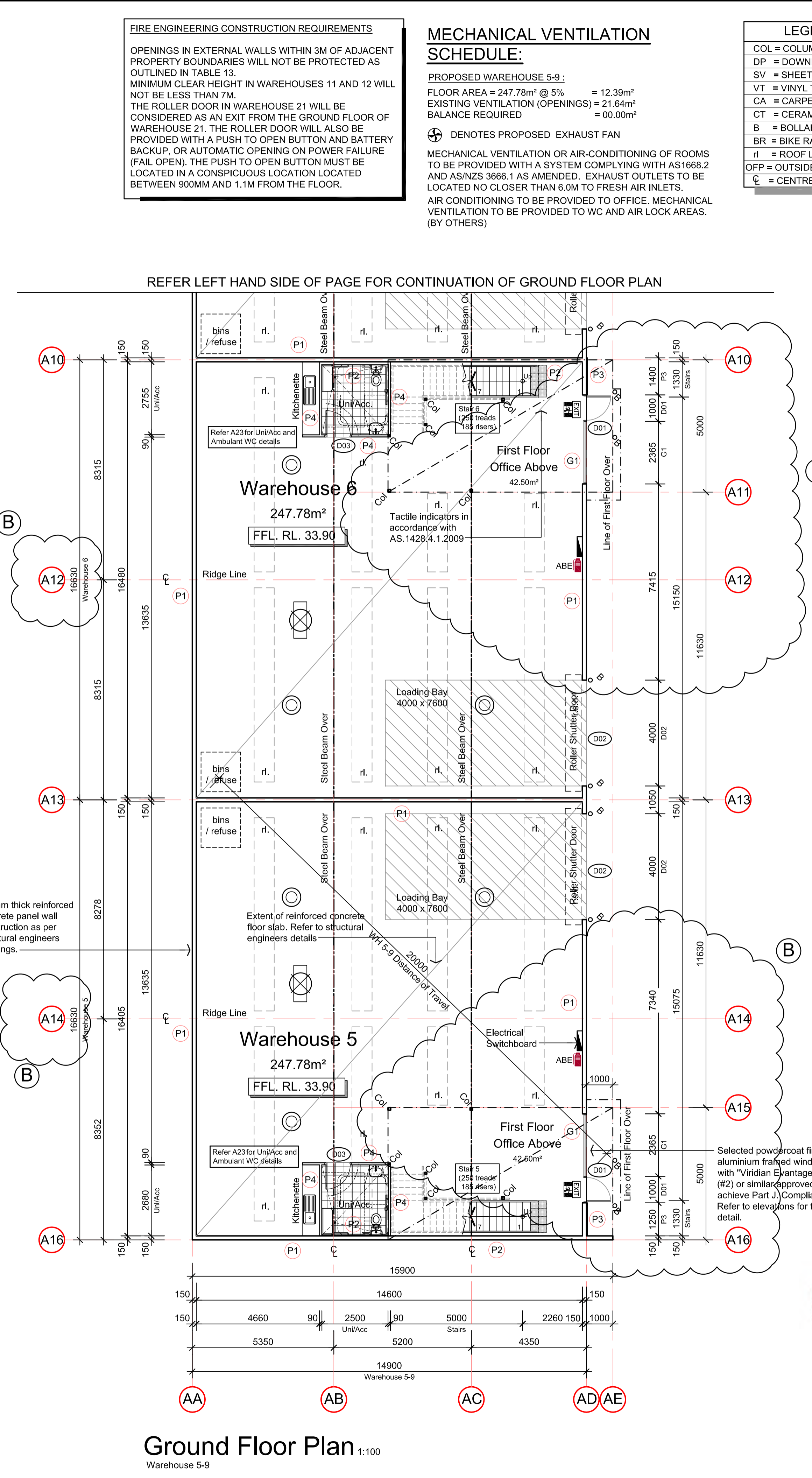
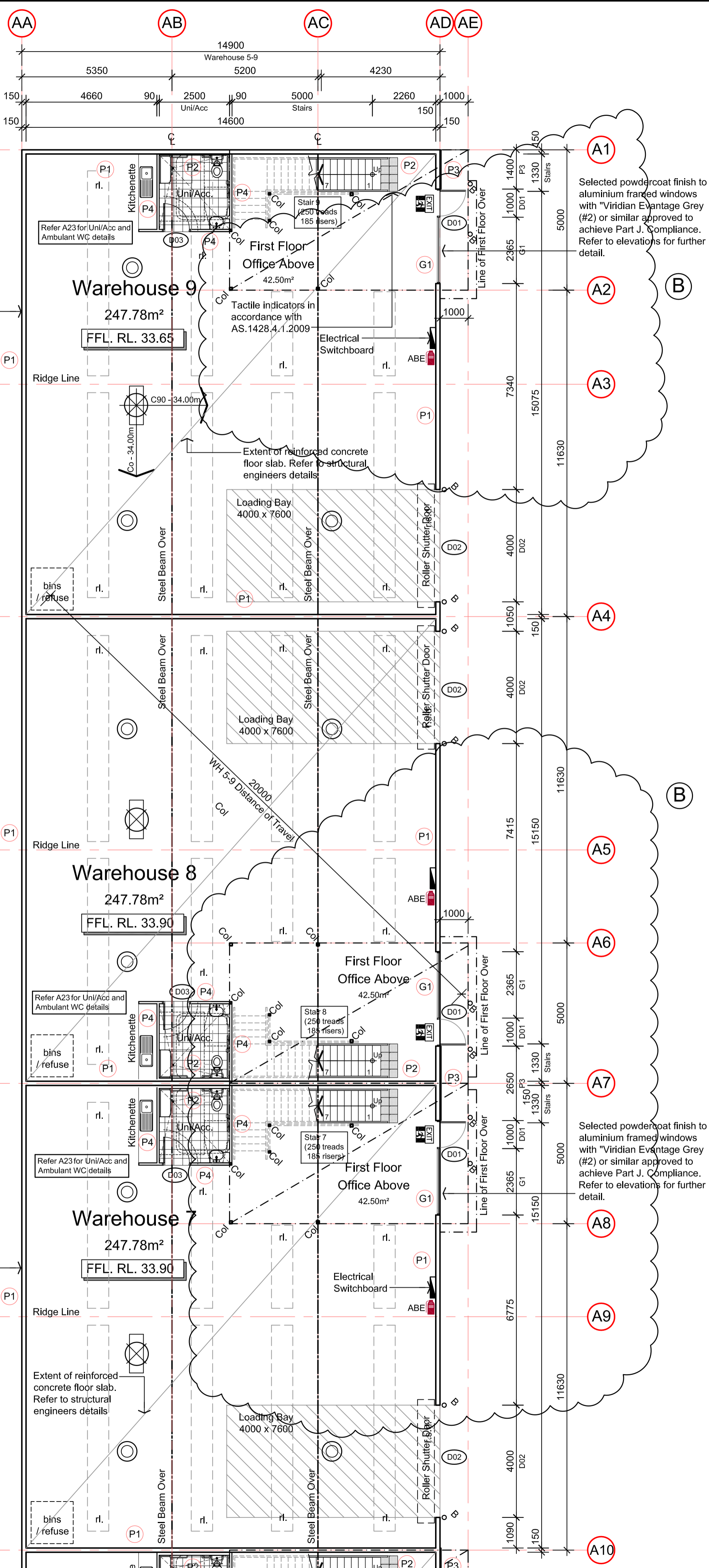
DRAWING TITLE
GROUND FLOOR PLAN - WH 1-4

DATE	SCALE	DRG NO.
OCT 2018	1:100	A02
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	161017



REFER ABOVE FOR CONTINUATION OF GROUND FLOOR PLAN

Ground Floor Plan 1:100
 Warehouse 1-4



FIRE ENGINEERING CONSTRUCTION REQUIREMENTS

OPENINGS IN EXTERNAL WALLS WITHIN 3M OF ADJACENT PROPERTY BOUNDARIES WILL NOT BE PROTECTED AS OUTLINED IN TABLE 13. MINIMUM CLEAR HEIGHT IN WAREHOUSES 11 AND 12 WILL NOT BE LESS THAN 7M. THE ROLLER DOOR IN WAREHOUSE 21 WILL BE CONSIDERED AS AN EXIT FROM THE GROUND FLOOR OF WAREHOUSE 21. THE ROLLER DOOR WILL ALSO BE PROVIDED WITH A PUSH TO OPEN BUTTON AND BATTERY BACKUP, OR AUTOMATIC OPENING ON POWER FAILURE (FAIL OPEN). THE PUSH TO OPEN BUTTON MUST BE LOCATED IN A CONSPICUOUS LOCATION LOCATED BETWEEN 900MM AND 1.1M FROM THE FLOOR.

MECHANICAL VENTILATION SCHEDULE:

PROPOSED WAREHOUSE 5-9:
 FLOOR AREA = 247.78m² @ 5% = 12.39m²
 EXISTING VENTILATION (OPENINGS) = 21.64m²
 BALANCE REQUIRED = 00.00m²

⊕ DENOTES PROPOSED EXHAUST FAN

MECHANICAL VENTILATION OR AIR-CONDITIONING OF ROOMS TO BE PROVIDED WITH A SYSTEM COMPLYING WITH AS1668.2 AND AS/NZS 3666.1 AS AMENDED. EXHAUST OUTLETS TO BE LOCATED NO CLOSER THAN 6.0M TO FRESH AIR INLETS. AIR CONDITIONING TO BE PROVIDED TO OFFICE. MECHANICAL VENTILATION TO BE PROVIDED TO WC AND AIR LOCK AREAS. (BY OTHERS)

LEGEND

COL	= COLUMN
DP	= DOWNPIPE
SV	= SHEET VINYL
VT	= VINYL TILES
CA	= CARPET
CT	= CERAMIC TILES
B	= BOLLARDS
BR	= BIKE RACK
rl	= ROOF LIGHT
OFF	= OUTSIDE FACE OF PANEL
⊕	= CENTRE LINE

Wall Legend

P1	150mm Thick Concrete Panel Wall
P2	150mm Thick Concrete Panel Wall with Zincalume Custom Orb cladding on furring channels fixed to Concrete Panel
P3	150mm Thick Concrete Panel Wall with "Foil Board Ultra 20" insulation Panel or similar to all external walls only to achieve R2.8 min. Refer to detail for further information. (floor to ceiling)
P4	Solid partition internal walls (metal stud & plasterboard) to 2700mm high (floor to ceiling)
P5	Solid partition external walls (metal stud & plasterboard) full height with "Bulk Insulation" b/w studs or similar. Provide Zincalume Custom Orb cladding as noted on the elevations.
G1	*6mm Viridian Ewantage Grey (#2) or similar approved in 150mm Capral 419 Flushline single glazed frames to provide min. U value 3.8 and min. SHGC value 0.41, to external office glazing where nominated on floor plans and elevations.

NOTE:
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GENERAL CONSTRUCTION:

Light switches to be located between 900mm - 1100mm above FL, horizontally aligned with door handles and not less than 500mm from internal corners.

Carpet to have a max. pile height of 6mm.

Vinyl flooring if proposed to be slip resistive & comply with AS1428.1:2009 Clause 7.

No.	DATE	DESCRIPTION	APPD.
-	14/11/2018	PRELIMINARY ISSUE	
A	29/05/2019	CONSTRUCTION ISSUE	M.C.
B	13/09/2019	FIRST FLOOR OFFICES REVISED	M.C.

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PROJECT

PROPOSED MULTI WAREHOUSE & OFFICE DEVELOPMENT
 AT: 59 PARAWENA DRIVE, TRUGANINA

CLIENT

BP INVESTMENT HOLDINGS PTY LTD

DRAWING TITLE

GROUND FLOOR PLAN - WH 5-9

DATE	SCALE	DRG NO.
OCT 2018	1:100	A03

DRAWN	CHECKED	JOB NO.
M.C.	B.B.	161017

150mm thick reinforced concrete panel wall construction as per structural engineers drawings.

150mm thick reinforced concrete panel wall construction as per structural engineers drawings.

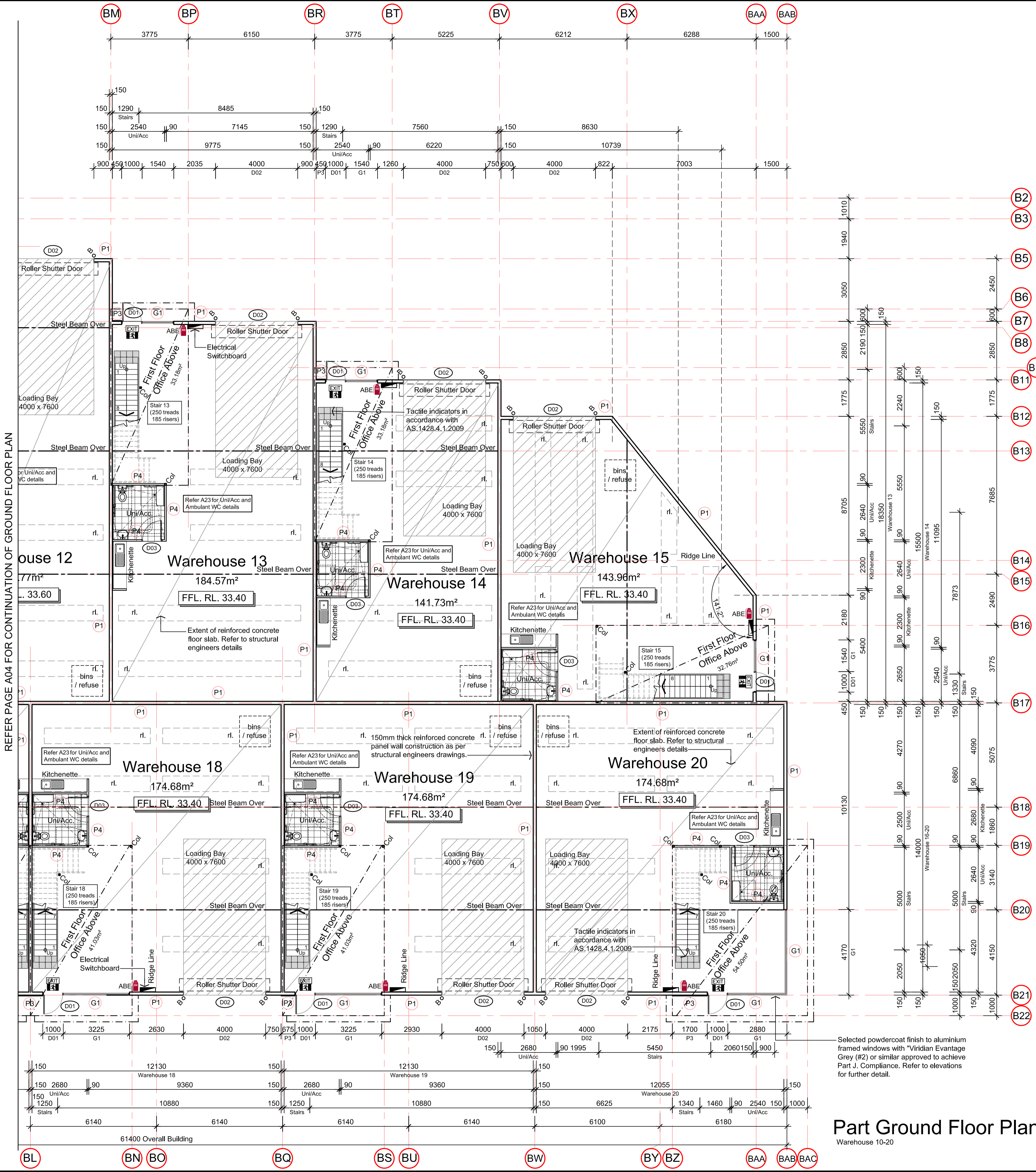
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Ground Floor Plan 1:100
 Warehouse 5-9

REFER RIGHT HAND SIDE OF PAGE FOR CONTINUATION OF GROUND FLOOR PLAN

REFER LEFT HAND SIDE OF PAGE FOR CONTINUATION OF GROUND FLOOR PLAN



MECHANICAL VENTILATION SCHEDULE:

PROPOSED WAREHOUSE 10 :
 FLOOR AREA = 235.92m² @ 5% = 11.79m²
 EXISTING VENTILATION (OPENINGS) = 21.64m²
 BALANCE REQUIRED = 0.00m²

PROPOSED WAREHOUSE 11 :
 FLOOR AREA = 234.02m² @ 5% = 11.70m²
 EXISTING VENTILATION (OPENINGS) = 21.64m²
 BALANCE REQUIRED = 0.00m²

PROPOSED WAREHOUSE 12 :
 FLOOR AREA = 193.77m² @ 5% = 9.68m²
 EXISTING VENTILATION (OPENINGS) = 21.64m²
 BALANCE REQUIRED = 0.00m²

PROPOSED WAREHOUSE 13 :
 FLOOR AREA = 184.57m² @ 5% = 9.22m²
 EXISTING VENTILATION (OPENINGS) = 21.64m²
 BALANCE REQUIRED = 0.00m²

PROPOSED WAREHOUSE 14 :
 FLOOR AREA = 141.73m² @ 5% = 7.08m²
 EXISTING VENTILATION (OPENINGS) = 21.64m²
 BALANCE REQUIRED = 0.00m²

PROPOSED WAREHOUSE 15 :
 FLOOR AREA = 143.96m² @ 5% = 7.19m²
 EXISTING VENTILATION (OPENINGS) = 21.64m²
 BALANCE REQUIRED = 0.00m²

PROPOSED WAREHOUSE 16-20 :
 FLOOR AREA = 174.68m² @ 5% = 8.73m²
 EXISTING VENTILATION (OPENINGS) = 21.64m²
 BALANCE REQUIRED = 0.00m²

☼ DENOTES PROPOSED EXHAUST FAN

MECHANICAL VENTILATION OR AIR-CONDITIONING OF ROOMS TO BE PROVIDED WITH A SYSTEM COMPLYING WITH AS1668.2 AND AS/NZS 3666.1 AS AMENDED. EXHAUST OUTLETS TO BE LOCATED NO CLOSER THAN 6.0M TO FRESH AIR INLETS. AIR CONDITIONING TO BE PROVIDED TO OFFICE. MECHANICAL VENTILATION TO BE PROVIDED TO WC AND AIR LOCK AREAS. (BY OTHERS)

Wall Legend

- P1 150mm Thick Concrete Panel Wall
- P2 150mm Thick Concrete Panel Wall with Zinalume Custom Orb cladding on furring channels fixed to Concrete Panel
- P3 150mm Thick Concrete Panel Wall with "Foil Board Ultra 20"-insulation Panel or similar to all external walls only to achieve R2.8 min. Refer to detail for further information. (floor to ceiling)
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GENERAL CONSTRUCTION:

Light switches to be located between 900mm - 1100mm above F.L., horizontally aligned with door handles and not less than 500mm from internal corners.
 Carpet to have a max. pile height of 6mm.
 Vinyl flooring if proposed to be slip resistive & comply with AS1428.1:2009 Clause 7.

LEGEND

- COL = COLUMN
- DP = DOWNPIPE
- SV = SHEET VINYL
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- CA = CARPET
- CT = CERAMIC TILES
- B = BOLLARDS
- BR = BIKE RACK
- rl = ROOF LIGHT
- OPF = OUTSIDE FACE OF PANEL
- CL = CENTRE LINE

FIRE ENGINEERING CONSTRUCTION REQUIREMENTS

OPENINGS IN EXTERNAL WALLS WITHIN 3M OF ADJACENT PROPERTY BOUNDARIES WILL NOT BE PROTECTED AS OUTLINED IN TABLE 13.
 MINIMUM CLEAR HEIGHT IN WAREHOUSES 11 AND 12 WILL NOT BE LESS THAN 7M.
 THE ROLLER DOOR IN WAREHOUSE 21 WILL BE CONSIDERED AS AN EXIT FROM THE GROUND FLOOR OF WAREHOUSE 21. THE ROLLER DOOR WILL ALSO BE PROVIDED WITH A PUSH TO OPEN BUTTON AND BATTERY BACKUP, OR AUTOMATIC OPENING ON POWER FAILURE (FAIL OPEN). THE PUSH TO OPEN BUTTON MUST BE LOCATED IN A CONSPICUOUS LOCATION LOCATED BETWEEN 900MM AND 1.1M FROM THE FLOOR.

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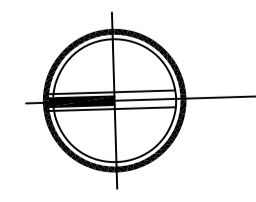
PROJECT
PROPOSED MULTI WAREHOUSE & OFFICE DEVELOPMENT
 AT: 59 PARAWENA DRIVE, TRUGANINA

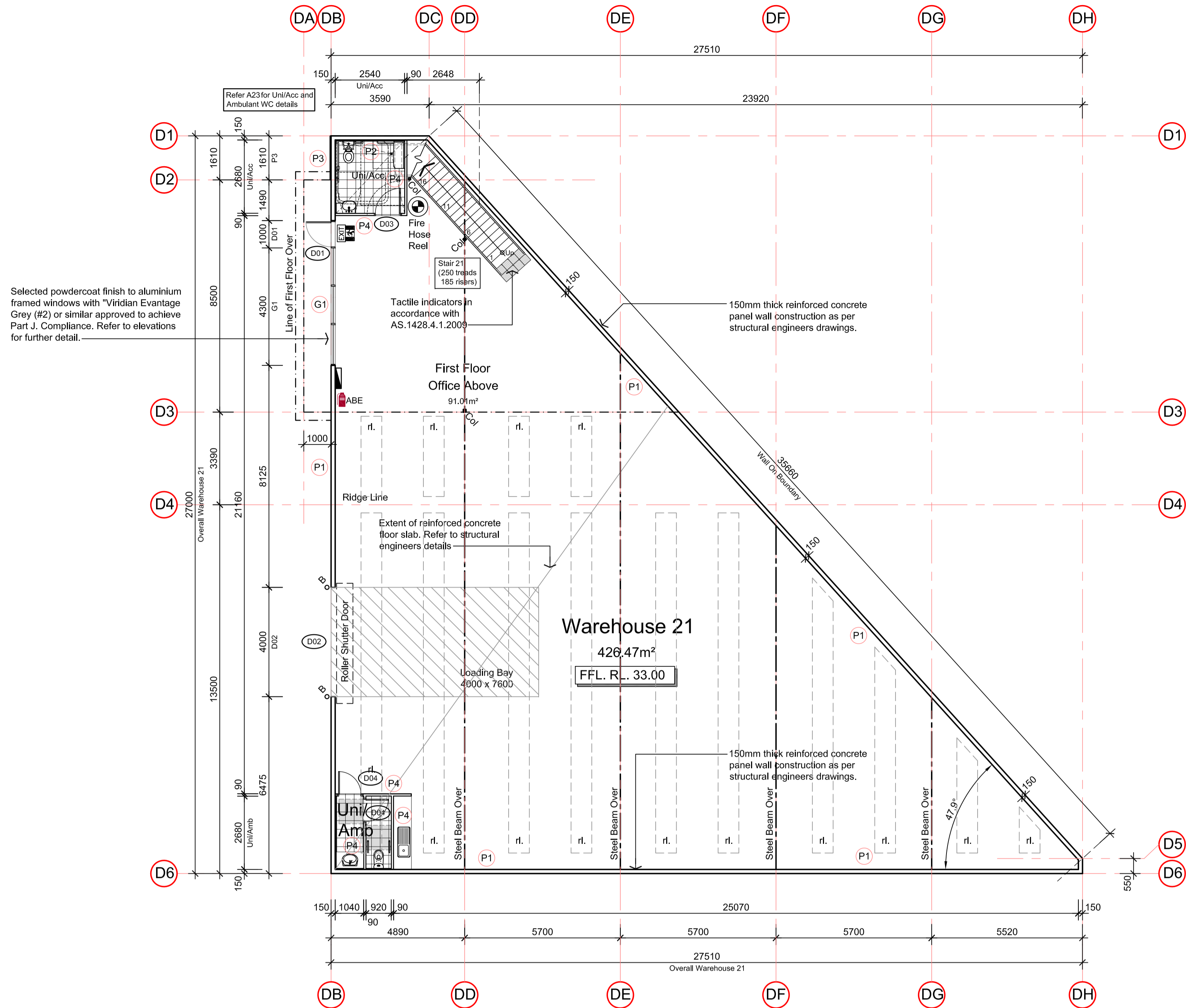
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BP INVESTMENT HOLDINGS PTY LTD

DRAWING TITLE
PART GROUND FLOOR PLAN - WH 10-20

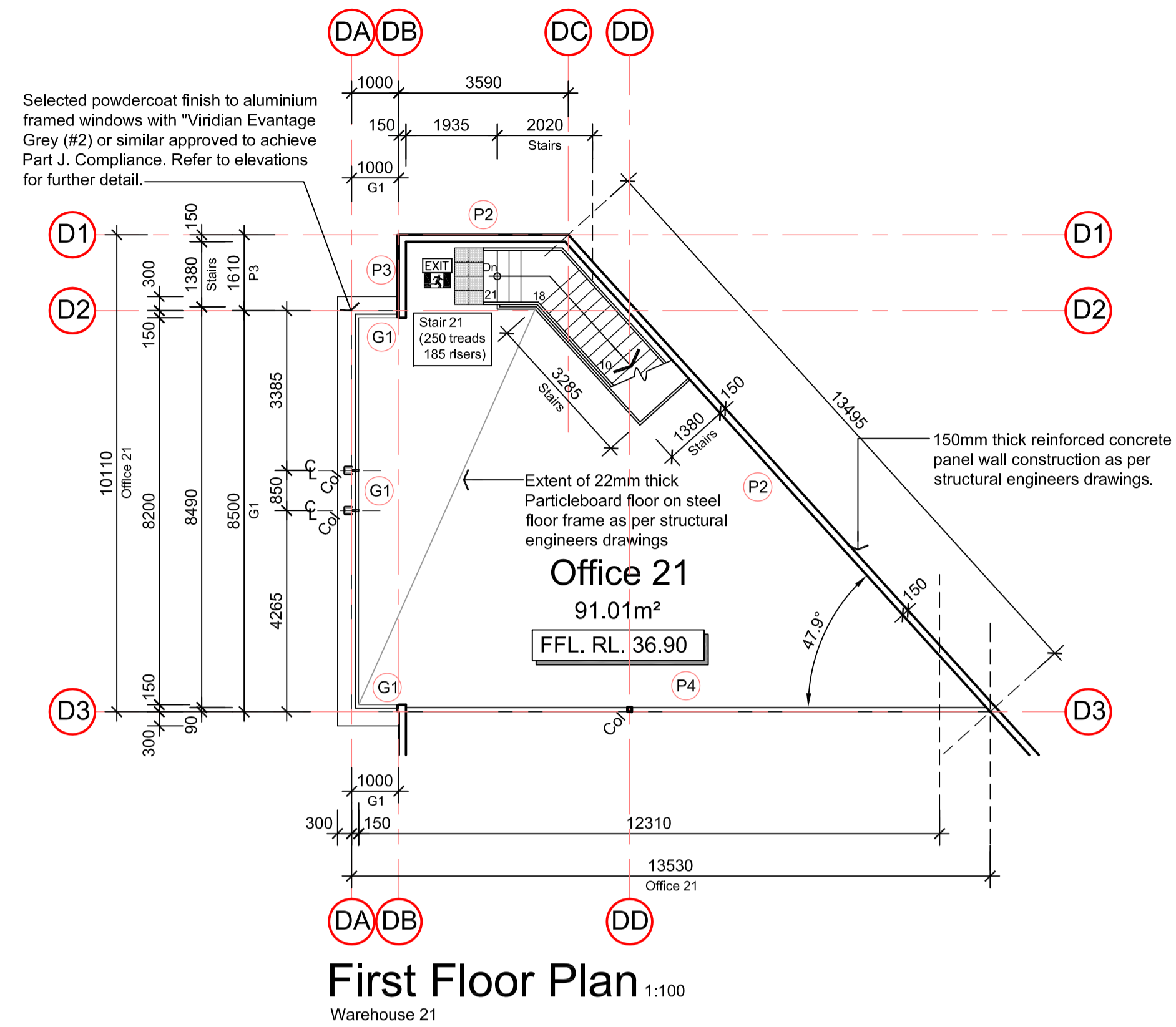
DATE	SCALE	DRG NO.
OCT 2018	1:100	A05
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	161017

Part Ground Floor Plan 1:100
 Warehouse 10-20





Ground Floor Plan 1:100
Warehouse 21



First Floor Plan 1:100
Warehouse 21

LEGEND	
COL	= COLUMN
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BR	= BIKE RACK
rl	= ROOF LIGHT
OFP	= OUTSIDE FACE OF PANEL
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Wall Legend

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MECHANICAL VENTILATION SCHEDULE:

PROPOSED WAREHOUSE 21 :
 FLOOR AREA = 426.61m² @ 5% = 21.33m²
 EXISTING VENTILATION (OPENINGS) = 21.64m²
 BALANCE REQUIRED = 0.00m²

⊕ DENOTES PROPOSED EXHAUST FAN

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FIRE ENGINEERING CONSTRUCTION REQUIREMENTS

OPENINGS IN EXTERNAL WALLS WITHIN 3M OF ADJACENT PROPERTY BOUNDARIES WILL NOT BE PROTECTED AS OUTLINED IN TABLE 13. MINIMUM CLEAR HEIGHT IN WAREHOUSES 11 AND 12 WILL NOT BE LESS THAN 7M. THE ROLLER DOOR IN WAREHOUSE 21 WILL BE CONSIDERED AS AN EXIT FROM THE GROUND FLOOR OF WAREHOUSE 21. THE ROLLER DOOR WILL ALSO BE PROVIDED WITH A PUSH TO OPEN BUTTON AND BATTERY BACKUP, OR AUTOMATIC OPENING ON POWER FAILURE (FAIL OPEN). THE PUSH TO OPEN BUTTON MUST BE LOCATED IN A CONSPICUOUS LOCATION LOCATED BETWEEN 900MM AND 1.1M FROM THE FLOOR.

GENERAL CONSTRUCTION:

Light switches to be located between 900mm - 1100mm above FL, horizontally aligned with door handles and not less than 500mm from internal corners.
 Carpet to have a max. pile height of 6mm.
 Vinyl flooring if proposed to be slip resistive & comply with AS1428.1:2009 Clause 7.

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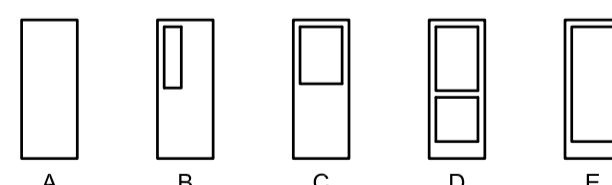
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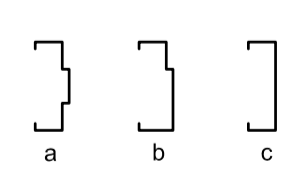
Door Schedule

NOTE: ALL DOORS AND DOOR HARDWARE TO BE IN ACCORDANCE WITH BCA D2.21

Door Types



Frame Profiles



Abbreviations

R.D.S DENOTES RAVEN DOOR SEALS
 H.T DENOTES HEAT TRACING

AL Aluminium (Powdercoated)
 PS Pressed Steel
 TIM Timber

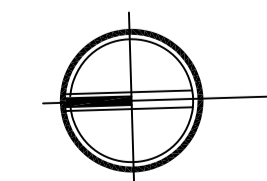
DOOR No.	LOCATION	QTY.	LEAF SIZE WIDTH x HEIGHT	DOOR TYP	FRAME PROFILE	COMMENTS
WAREHOUSE & OFFICE						
D01	GLAZED ENTRY	21	920 X 2400	E	AL-A	POWDERCOATED ALUMINIUM FRAME WITH SELECTED GLAZING
D02	WAREHOUSE RSD	21	4000 X 4800	N/A	N/A	POWDERCOAT ROLLER SHUTTER DOOR
D03	UNISEX ACCESSIBLE DOORS	21	920 X 2040	A	TIM-A	HINGED FLUSH PANEL SEMI-SOLID DOOR WITH PAINT FINISH
D04	UNISEX AMBULANT DOORS	2	820 X 2040	A	TIM-A	HINGED FLUSH PANEL SEMI-SOLID DOOR WITH PAINT FINISH
D05	WAREHOUSE 10 EXIT DOOR	1	1020 X 2040	A	PS-A	PRESSED STEEL FRAME METAL CLAD EXIT DOOR

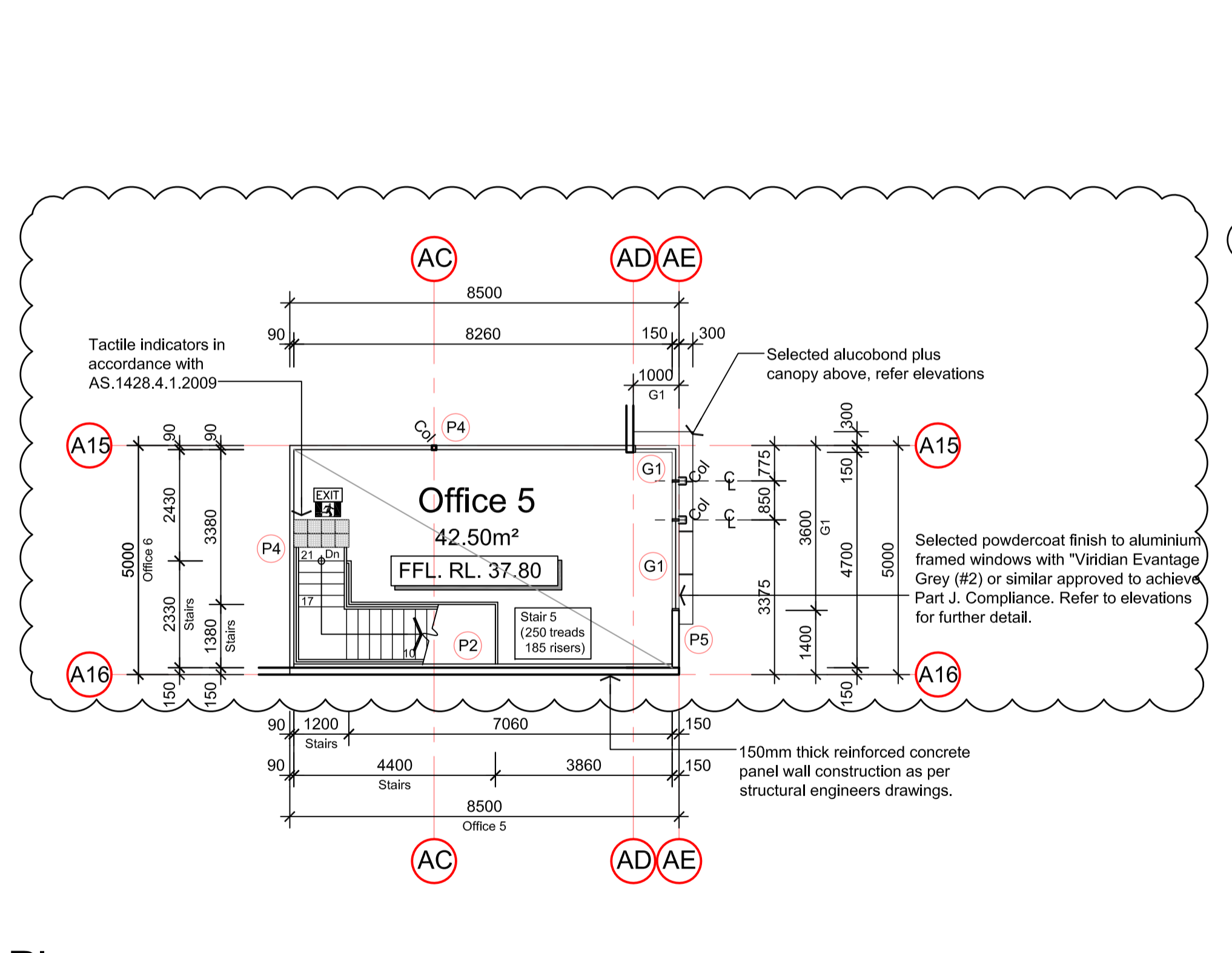
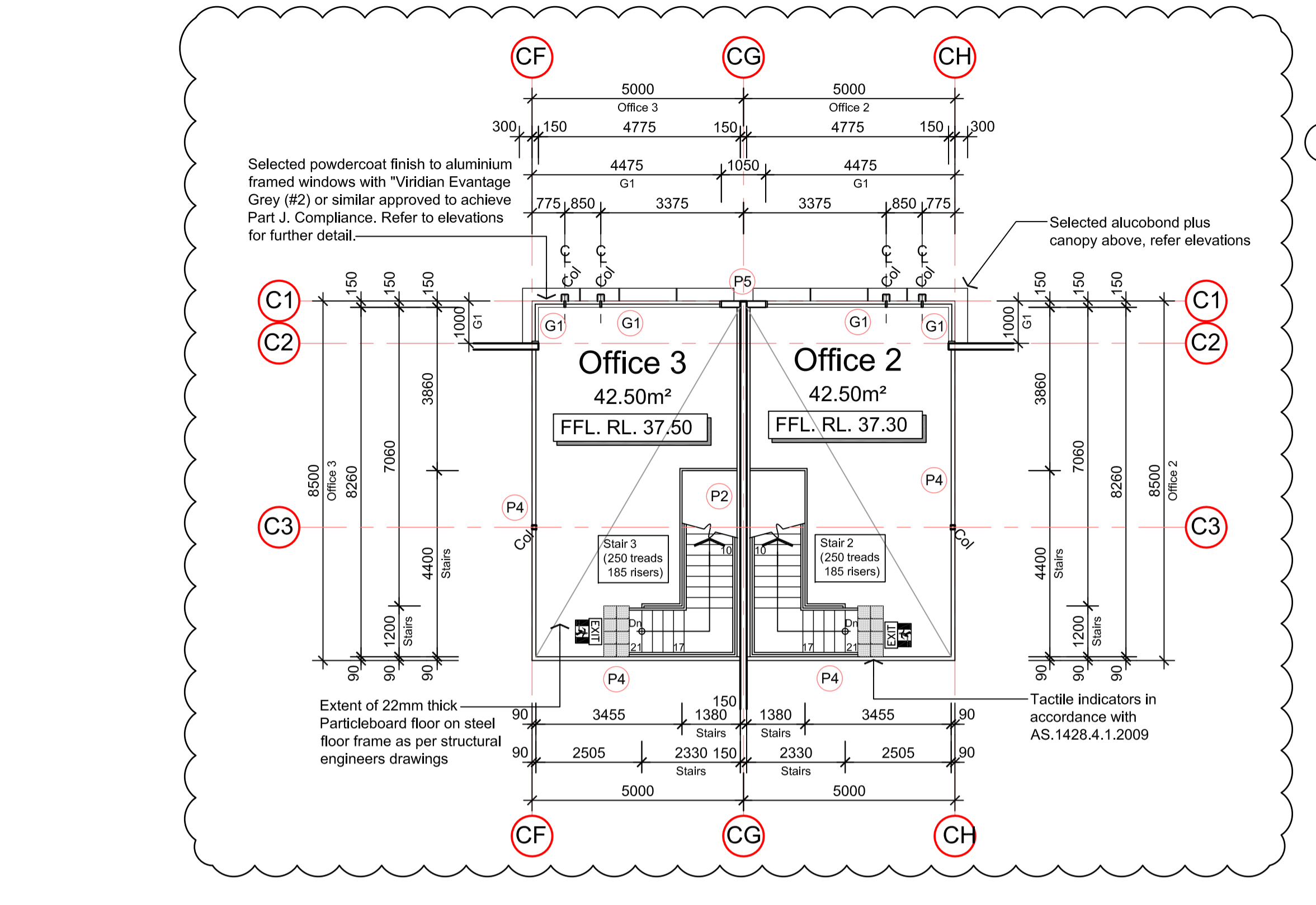
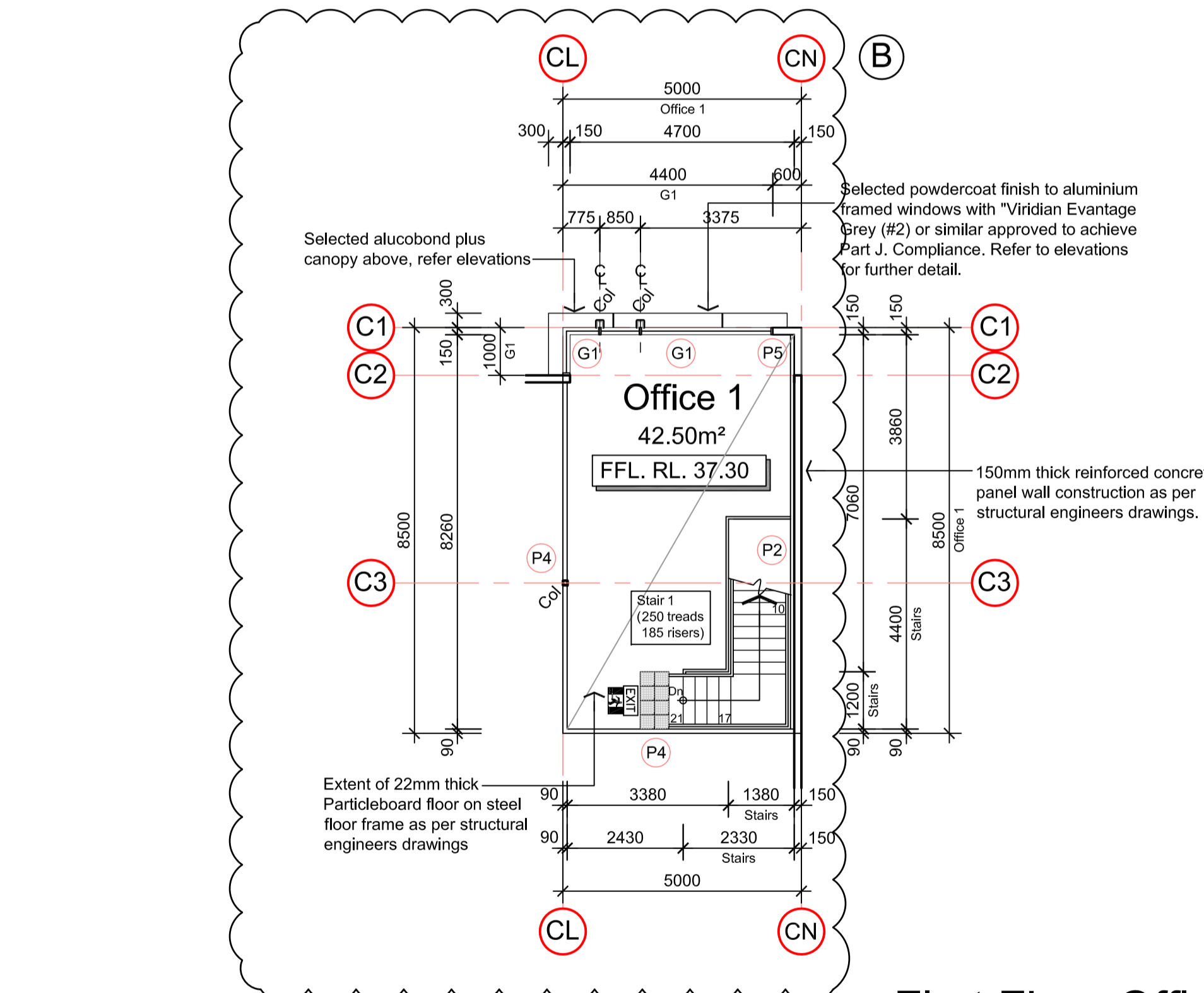
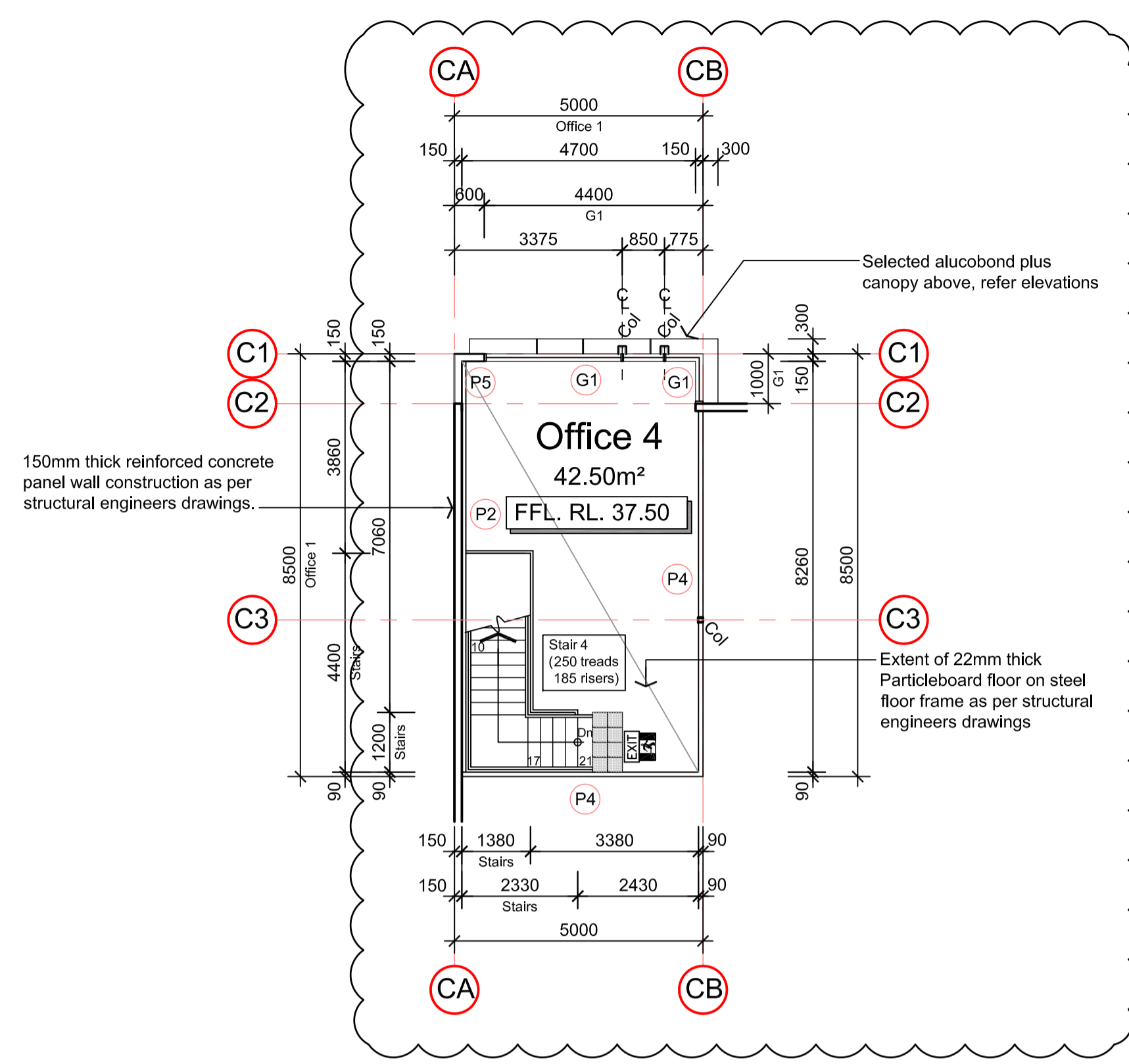
PROJECT
PROPOSED MULTI WAREHOUSE & OFFICE DEVELOPMENT
 AT: 59 PARAWEENA DRIVE, TRUGANINA

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BP INVESTMENT HOLDINGS PTY LTD

DRAWING TITLE
GF & FF PLANS - WH 21

DATE	SCALE	DRG NO.
OCT 2018	1:100	A06
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LEGEND

COL	= COLUMN
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OFFP	= OUTSIDE FACE OF PANEL
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Wall Legend

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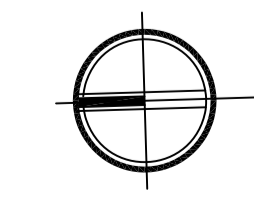
First Floor Office Plans 1:100 Warehouse 1 - 5

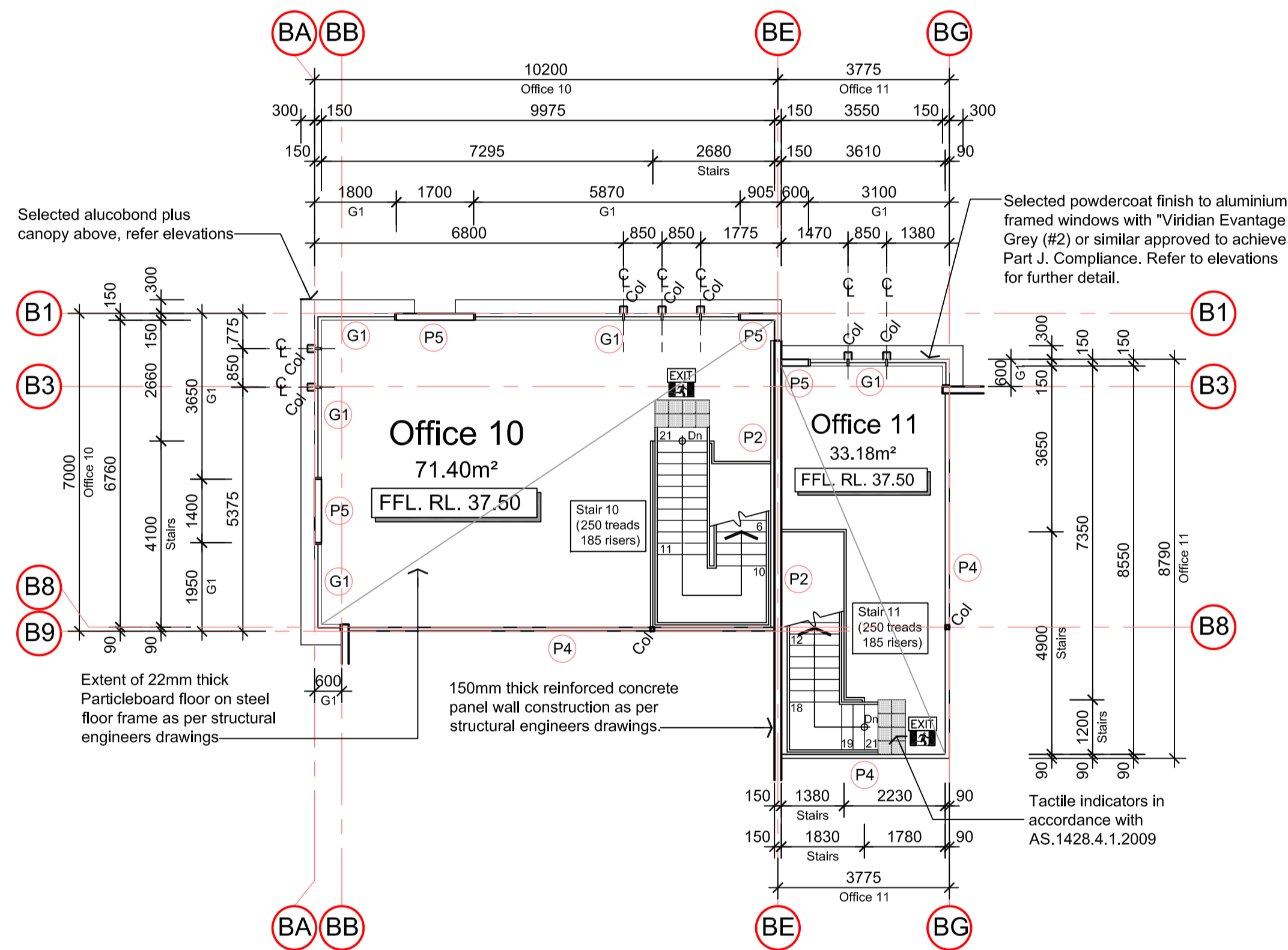
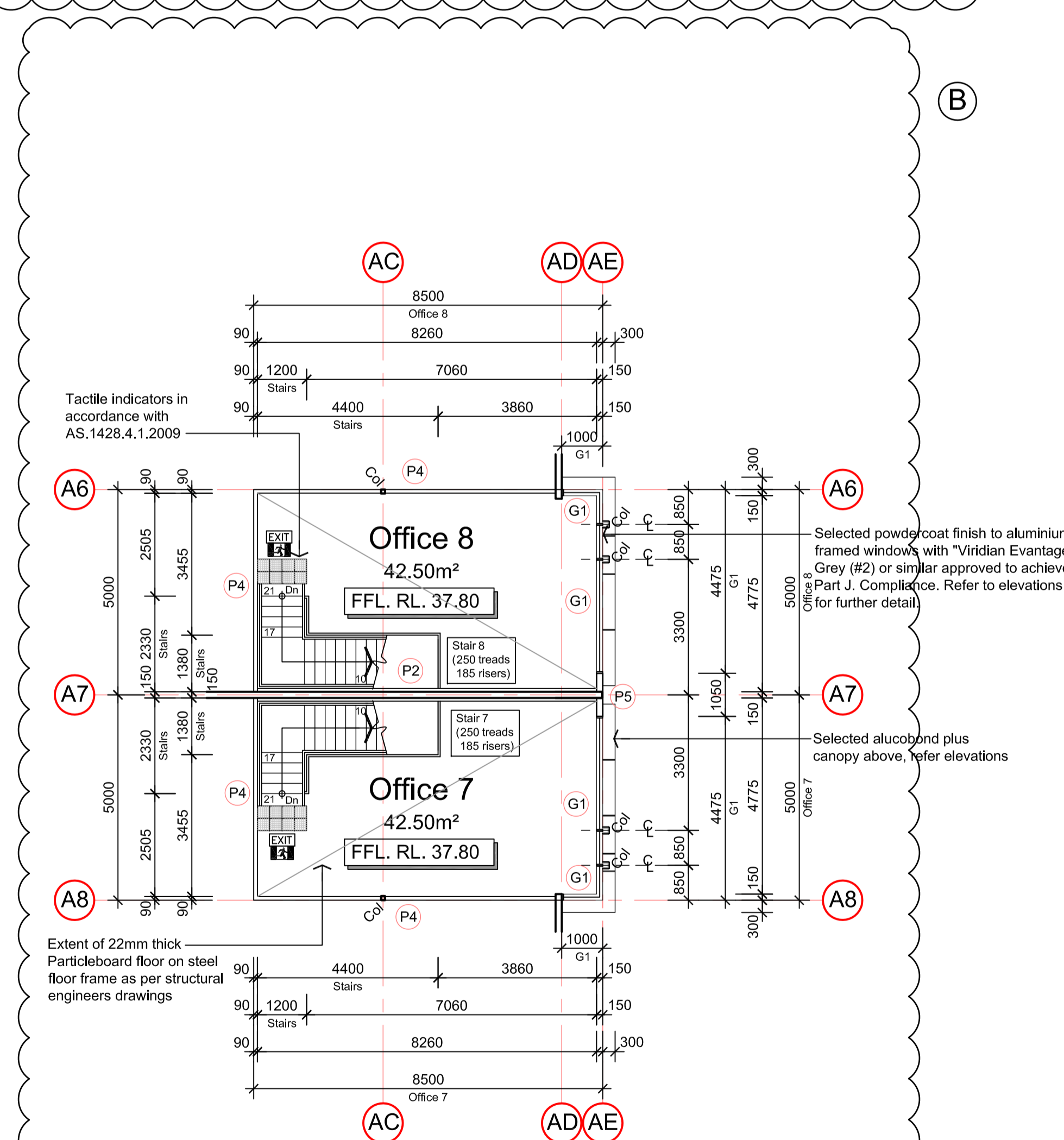
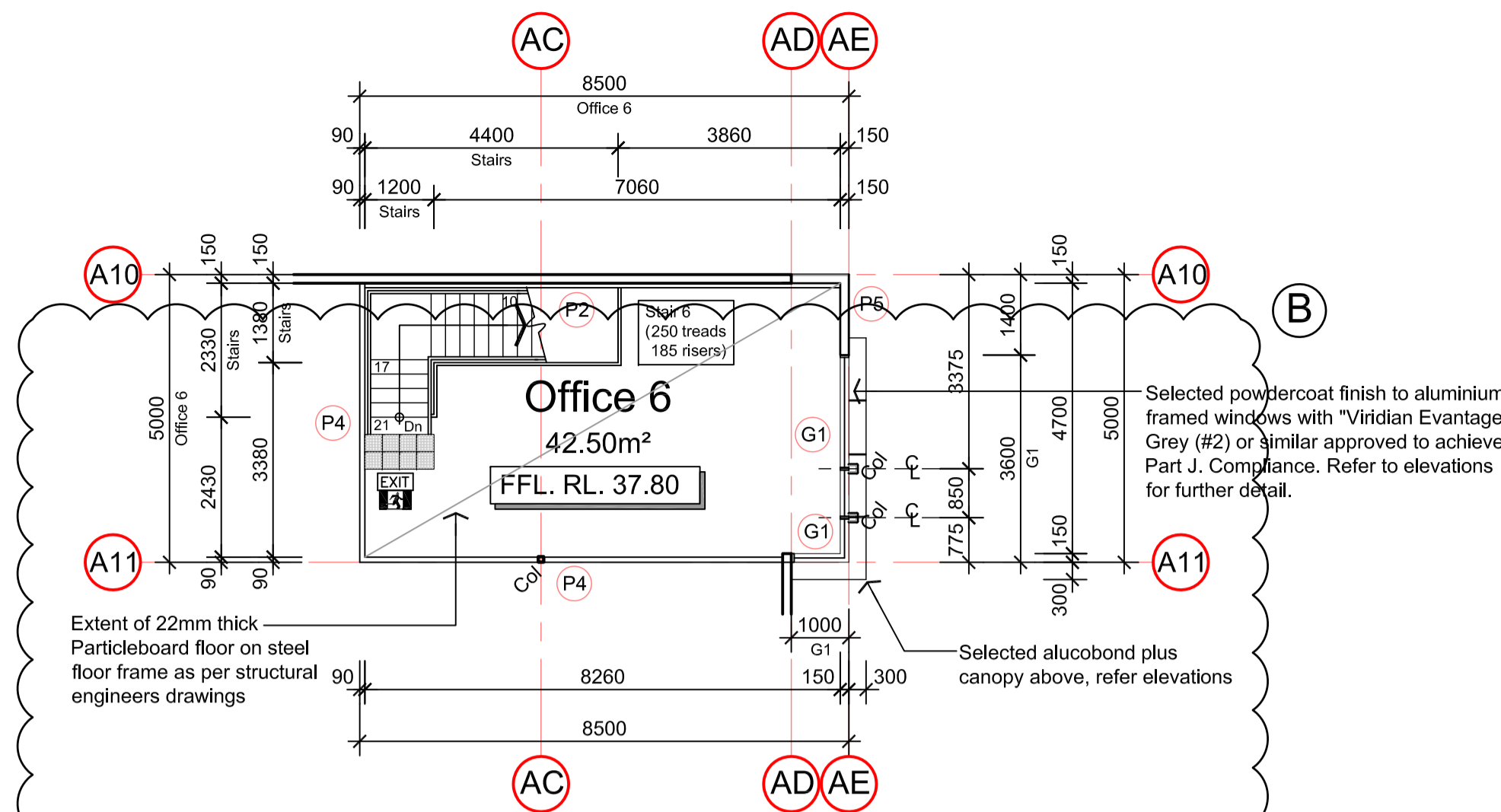
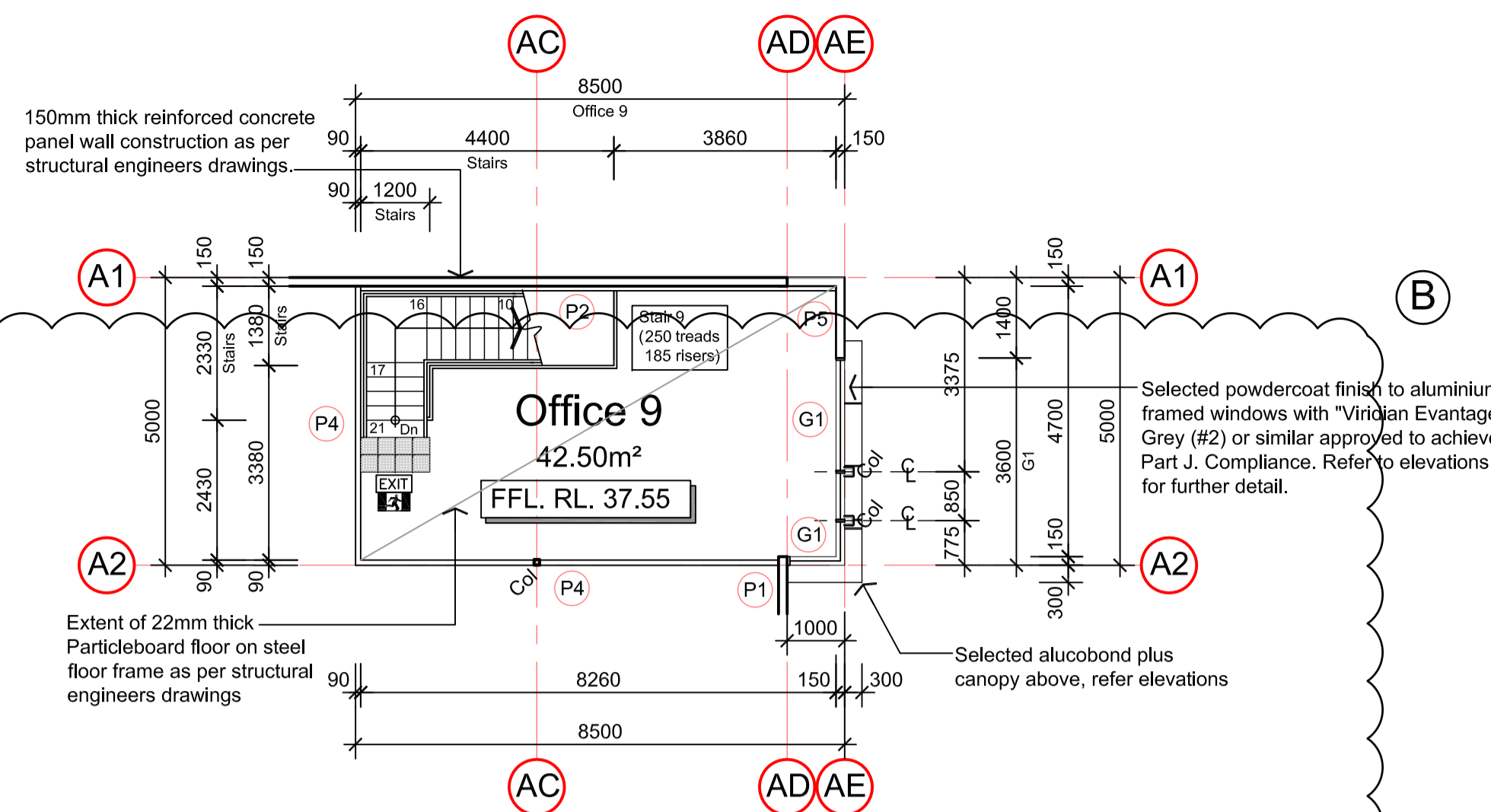
PROJECT
PROPOSED MULTI WAREHOUSE & OFFICE DEVELOPMENT
AT: 59 PARAWENA DRIVE, TRUGANINA

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BP INVESTMENT HOLDINGS PTY LTD

DRAWING TITLE
FIRST FLOOR OFFICE PLANS - WH 1-5

DATE	SCALE	DRG NO.
OCT 2018	1:100	A07
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	161017





First Floor Office Plans 1:100 Warehouse 6 - 11

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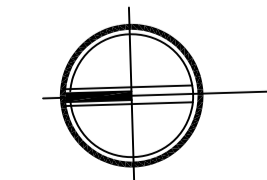
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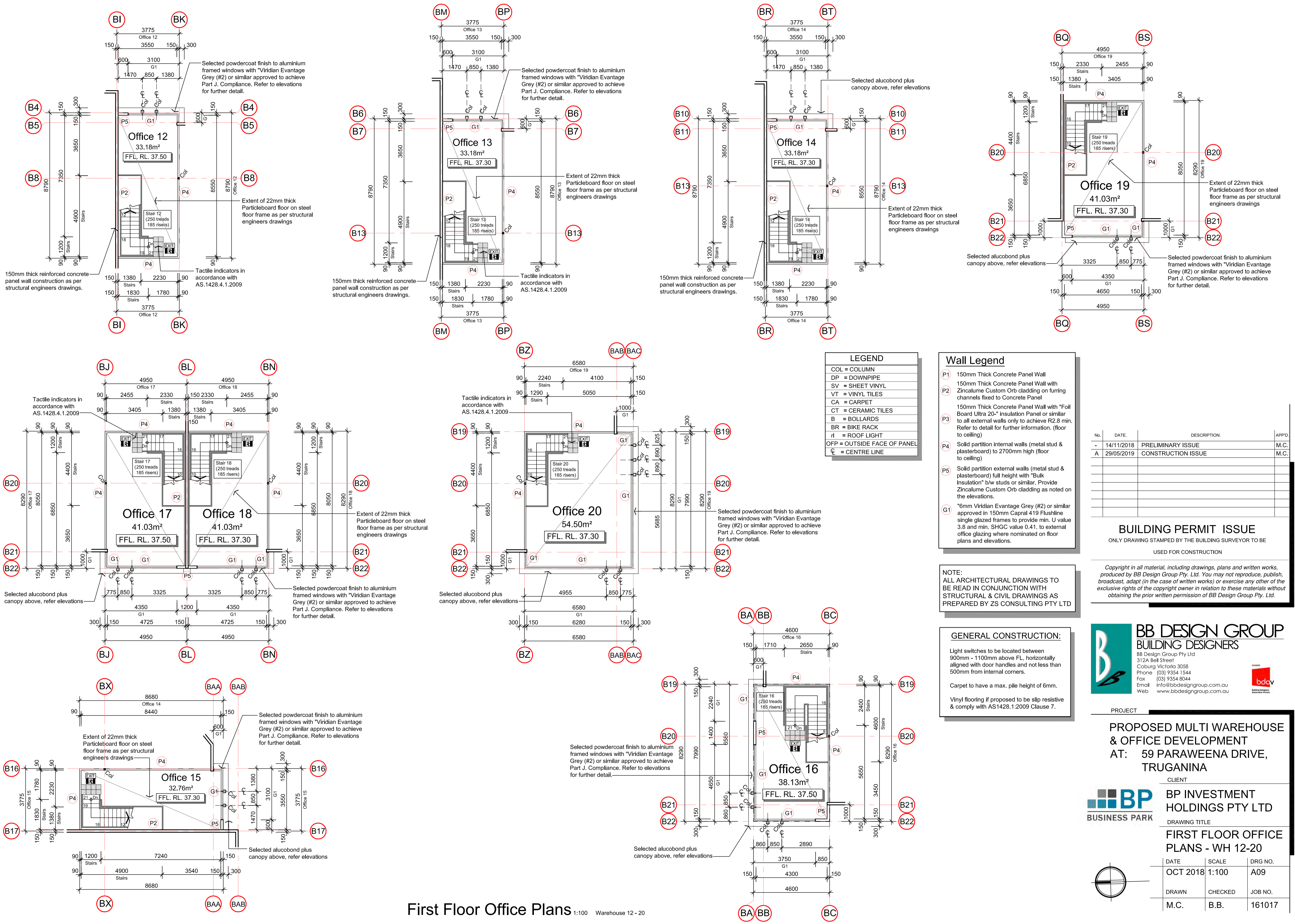
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DRAWING TITLE
FIRST FLOOR OFFICE PLANS - WH 6-11

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OCT 2018	1:100	A08
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M.C.	B.B.	161017





First Floor Office Plans 1:100 Warehouse 12 - 20

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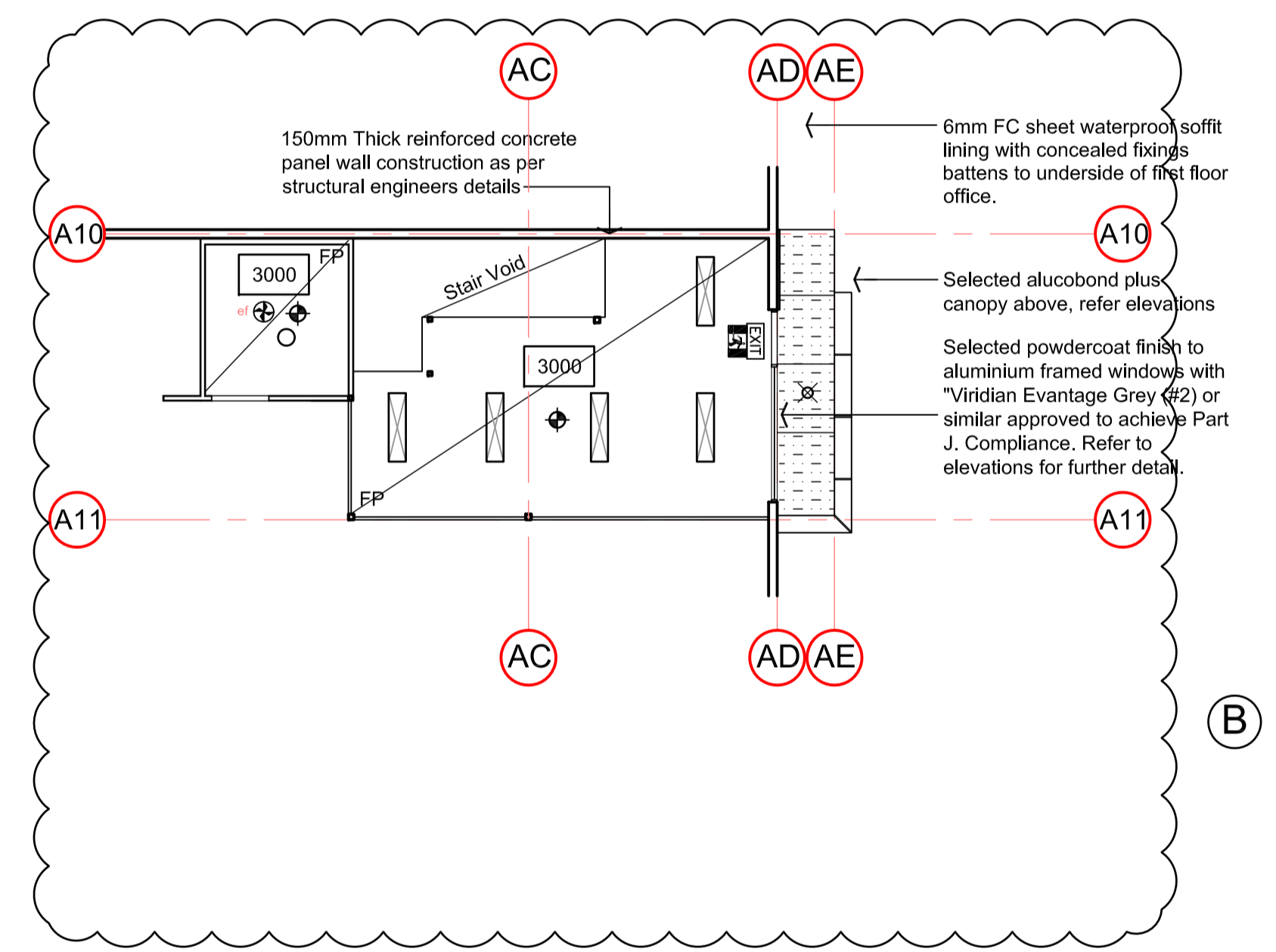
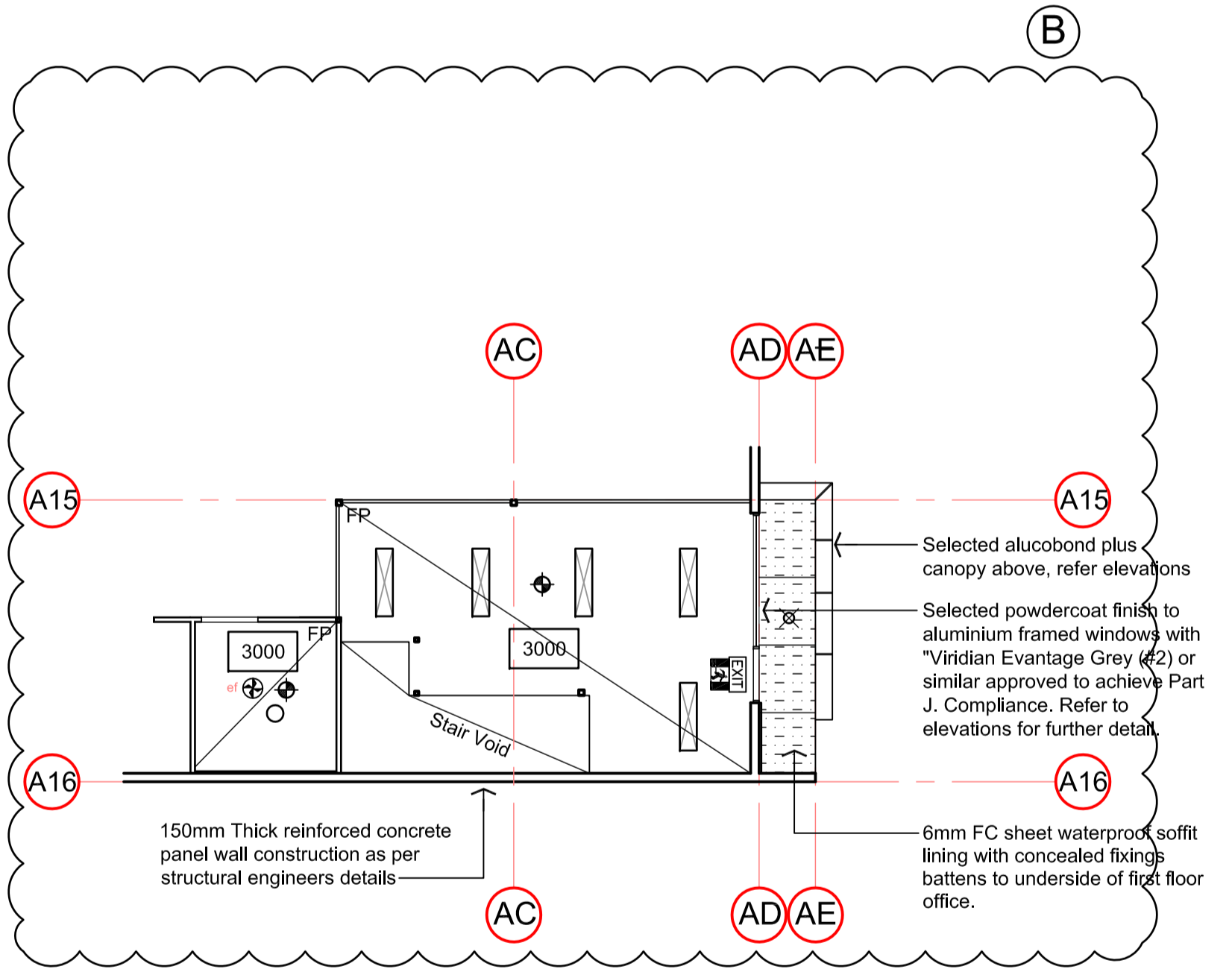
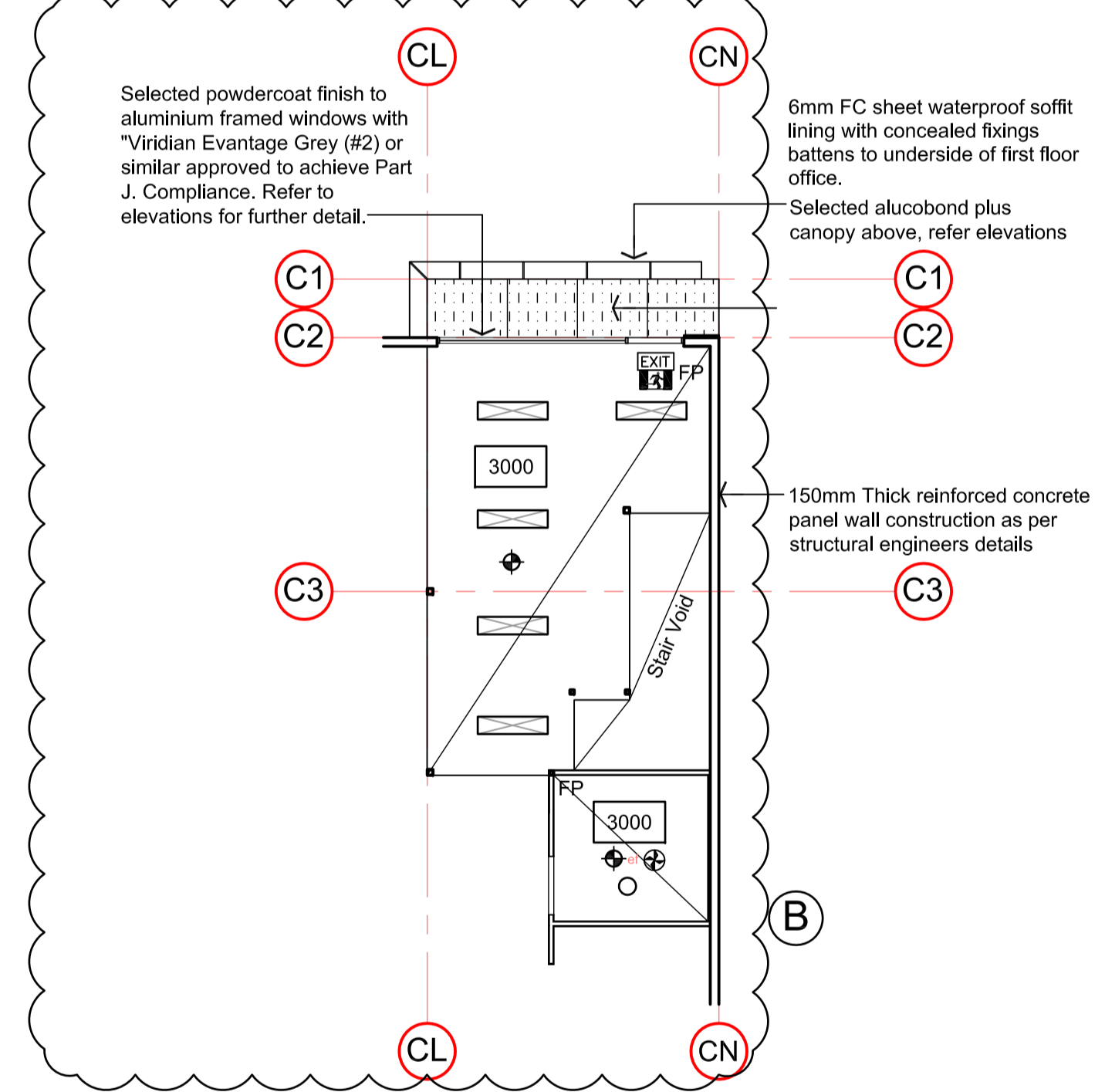
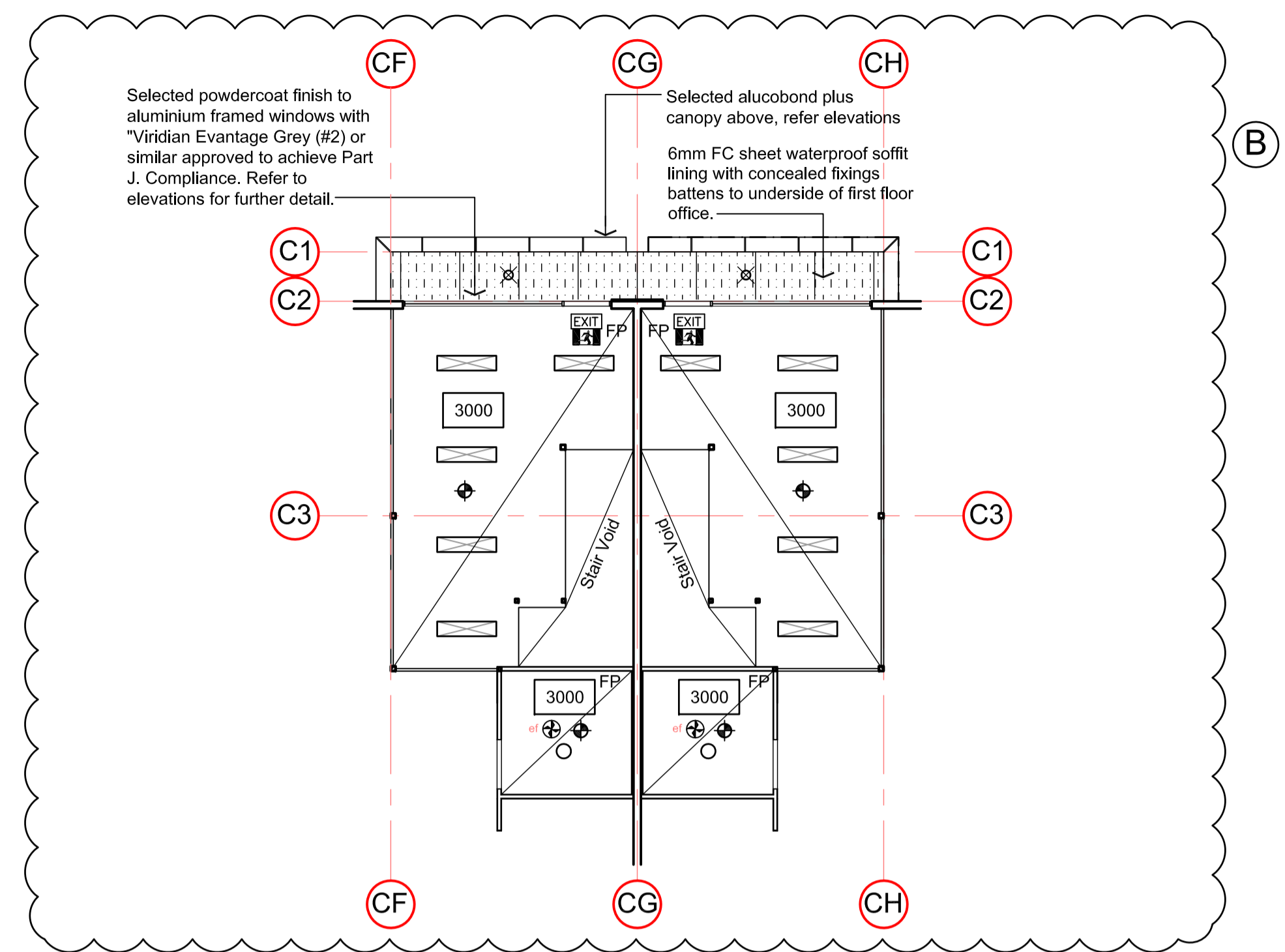
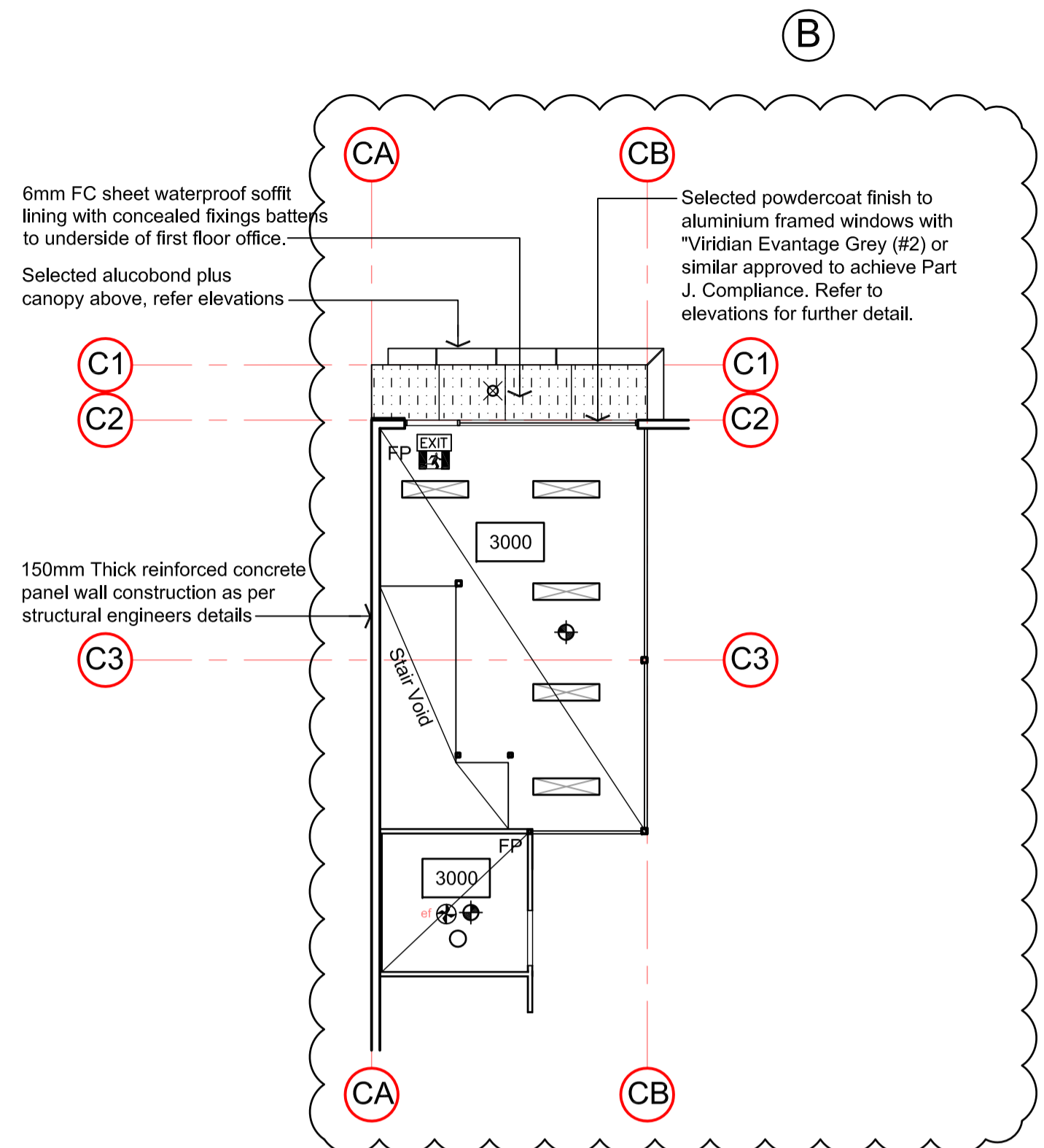
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DRAWING TITLE
FIRST FLOOR OFFICE PLANS - WH 12-20

DATE	SCALE	DRG. NO.
OCT 2018	1:100	A09

DRAWN	CHECKED	JOB NO.
M.C.	B.B.	161017



CEILING LEGEND:

- Suspended exposed metal grid ceiling system (1200 x 600), with "Knauf Spangrid" ceiling tiles or similar approved.
- Denotes flush plasterboard ceiling on metal batten ceiling joist system @ @ 450mm c/c's or similar approved. (2700mm high unless stated otherwise).
- 6mm FC sheet waterproof soffit lining with concealed fixings battens to underside of first floor office. Colours as per approved materials schedule
- "Alucobond Plus" or similar certified cladding fixed to structural steel framework. Colours as per approved materials schedule
- Finished ceiling height

NOTE: LIGHTING LAYOUT IS INDICATIVE ONLY, WITH FINAL DESIGN BY ELECTRICAL DESIGN AND CONSTRUCT CONSULTANT

LIGHTING LEGEND:

- DENOTES HIGH EFFICIENCY RECESSED FLUORESCENT LIGHT FITTING WITH PRISMATIC DIFFUSER.
- DENOTES 2 X 36w HIGH EFFICIENCY SURFACE MOUNTED LIGHT FITTING WITH DIFFUSER.
- OFFICE GROUND FLOOR DENOTES 'CLEVERTRONICS' 1 x 1.9 WATT LIFELIGHT LUMINAIRE NON MAINTAINED EMERGENCY LIGHT, RECESSED MOUNTED 2700mm ABOVE FLOOR LEVEL TO UNDERSIDE OF SUSPENDED CEILING CAT NO. ELIFE-X (Co-D40 18M, C90-D40 18M)
- OFFICE FIRST FLOOR DENOTES 'CLEVERTRONICS' 1 x 1.9 WATT LIFELIGHT LUMINAIRE NON MAINTAINED EMERGENCY LIGHT, RECESSED MOUNTED 2700mm ABOVE FLOOR LEVEL TO UNDERSIDE OF SUSPENDED CEILING CAT NO. ELIFE-X (Co-D40 18M, C90-D40 18M)
- DENOTES "CLEVERTRONICS" 1 x 3.3w MAINTAINED EXIT EMERGENCY SIGN MOUNTED ABOVE ALL EXIT DOOR OPENINGS. CAT. No. CGFFRO (Co-D4; C90-E8)
- DENOTES HIGH EFFICIENCY LIGHT FITTING (OYSTER FITTING)
- DENOTES HIGH EFFICIENCY LOW VOLTAGE RECESSED DOWNLIGHT
- DENOTES WALL / CEILING MOUNTED HIGH EFFICIENCY SECURITY LIGHTING
- DENOTES LOCATION OF EXHAUST FANS, TO BE DUCTED TO EXTERNAL AIR, VIA PENETRATIONS ON ROOF, IN ACCORDANCE WITH BCA & CONTRACTORS DESIGN & DETAIL
- DENOTES START TILE, IN CEILING SETOUT
- DENOTES OUTLINE OF ROOF ACCESS HATCH. EXACT LOCATION TO BE CONFIRMED ON SITE

NOTE: INSTALL ALL LIGHTING POWER CONTROL DEVICES INCLUDING TIMERS, TIME SWITCHES, MOTION DETECTORS AND DAYLIGHT CONTROL DEVICES IN ACCORDANCE WITH 6.1-6.6 AND SPECIFICATION J6 OF THE BCA.

No.	DATE	DESCRIPTION	APPD.
-	14/11/2018	PRELIMINARY ISSUE	M.C.
A	29/05/2019	CONSTRUCTION ISSUE	M.C.
B	13/09/2019	FIRST FLOOR OFFICES & FINISHES REVISED	M.C.

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Ground Floor Reflected Ceiling Plans 1:100 Warehouse 1-6

PROJECT

PROPOSED MULTI WAREHOUSE & OFFICE DEVELOPMENT
 AT: 59 PARAWEENA DRIVE, TRUGANINA

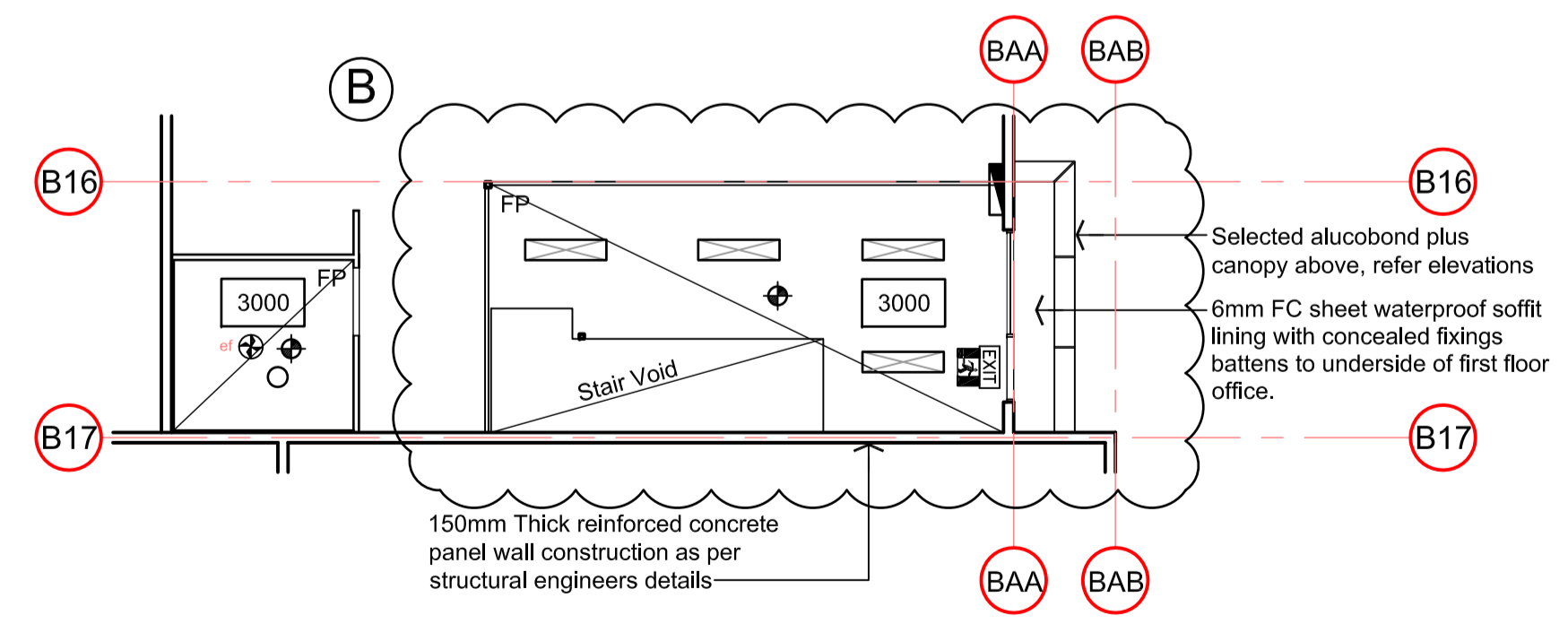
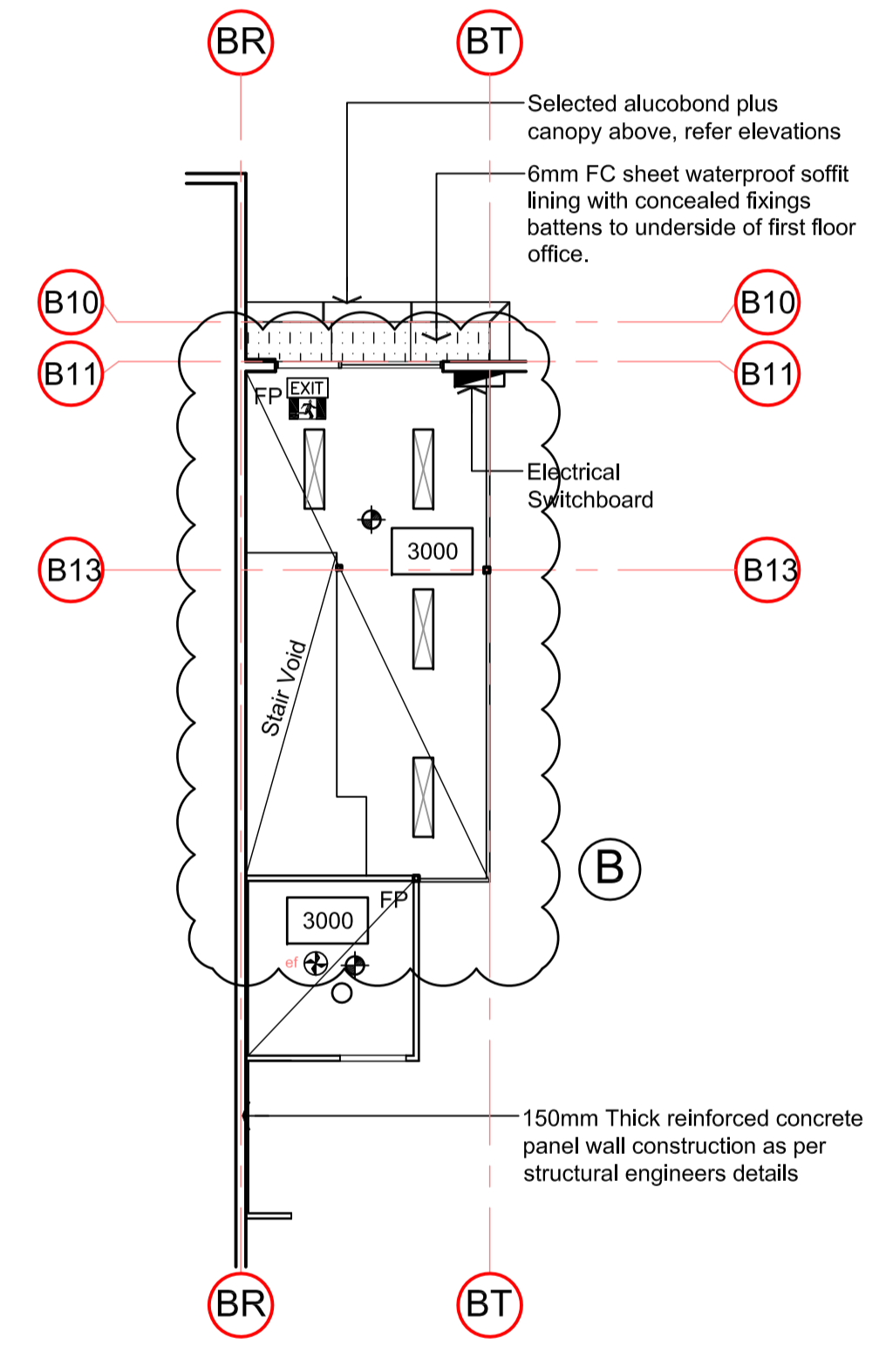
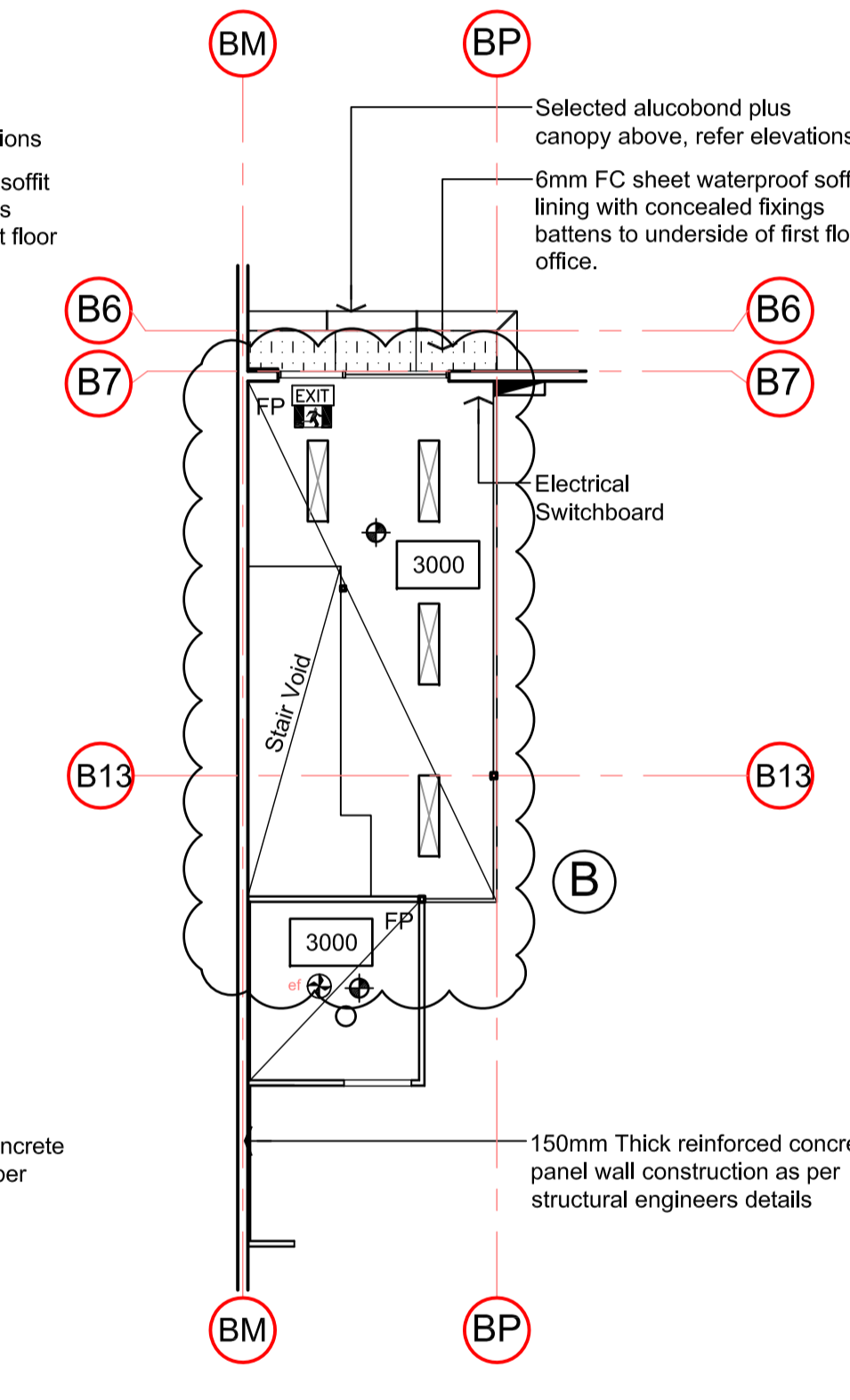
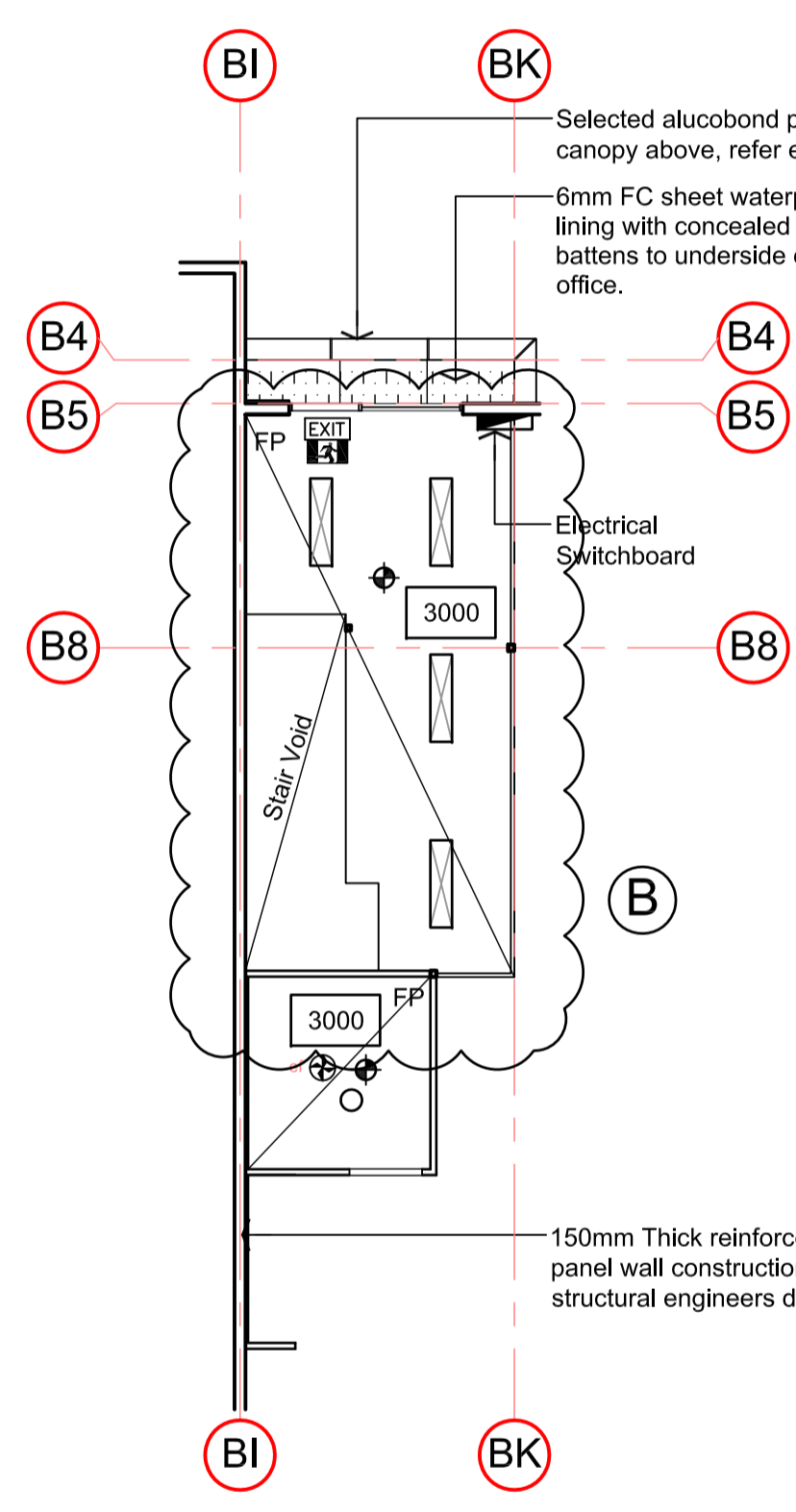
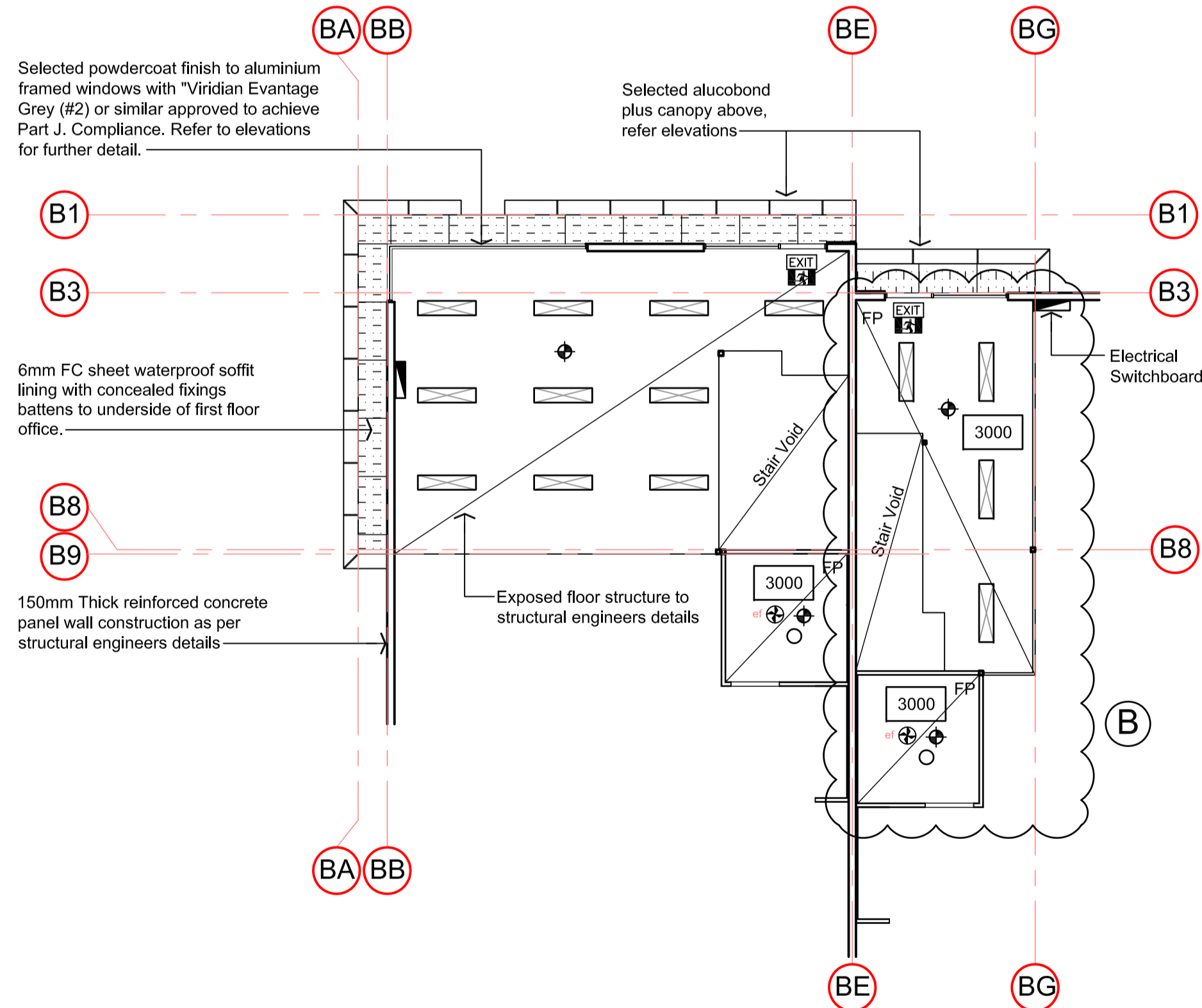
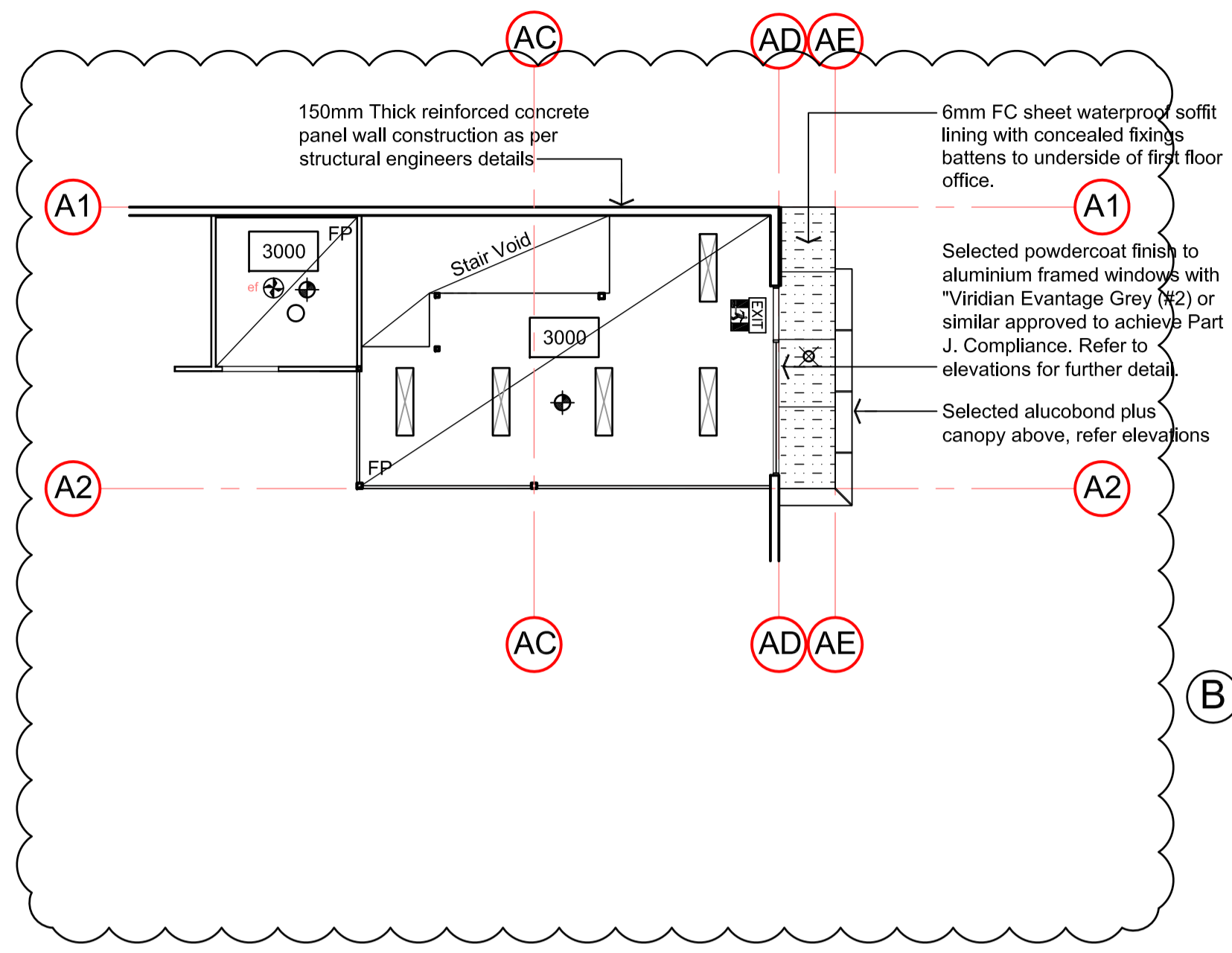
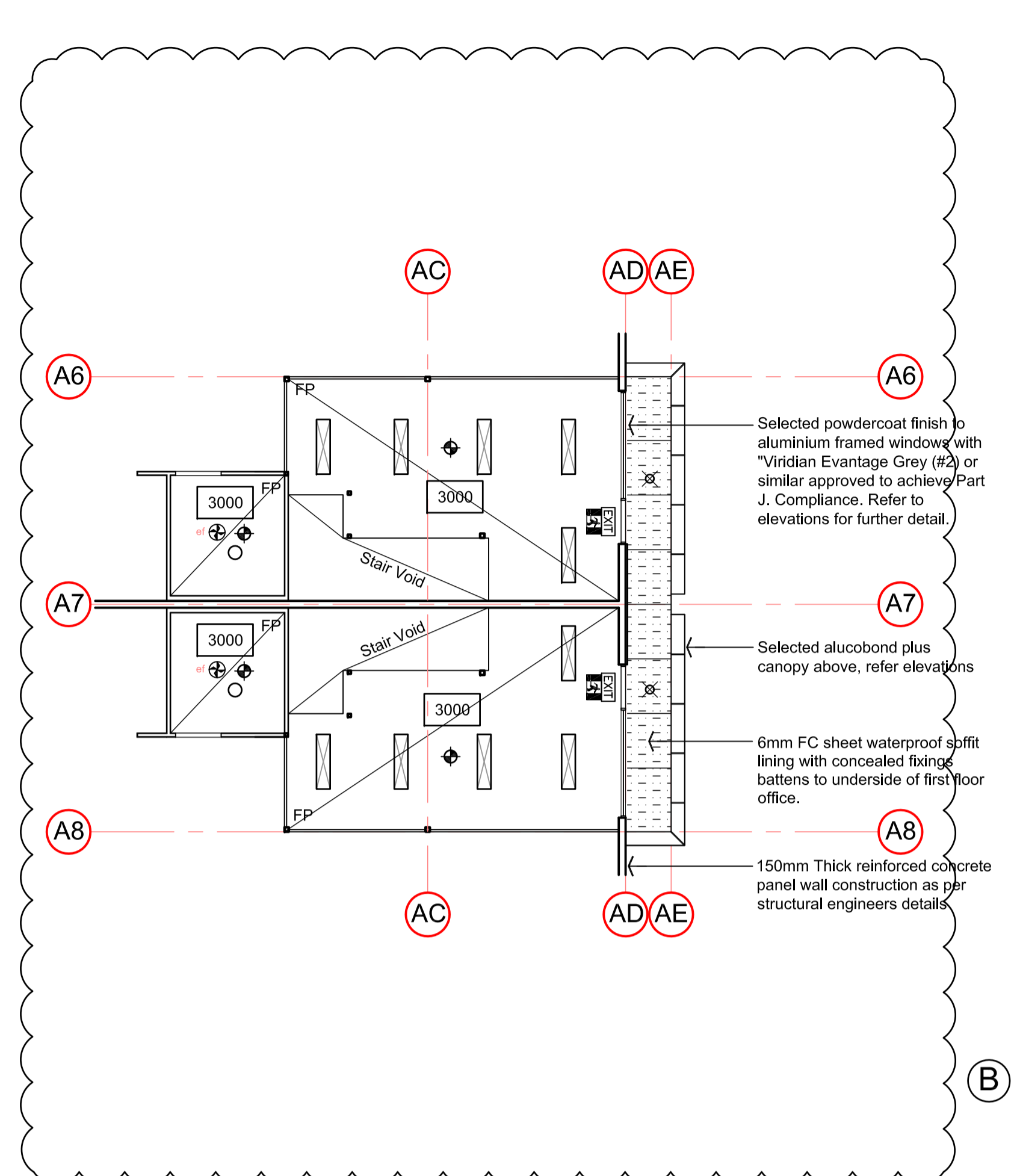
CLIENT

BP INVESTMENT HOLDINGS PTY LTD

DRAWING TITLE

GF REFLECTED CEILING PLAN - WH 1-6

DATE	SCALE	DRG NO.
OCT 2018	1:100	A10
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	161017



CEILING LEGEND:

- Suspended exposed metal grid ceiling system (1200 x 600), with "Knauf Spangrid" ceiling tiles or similar approved.
- Denotes flush plasterboard ceiling on metal batten ceiling joist system @ @ 450mm c/c's or similar approved. (2700mm high unless stated otherwise).
- 6mm FC sheet waterproof soffit lining with concealed fixings battens to underside of first floor office. Colours as per approved materials schedule
- "Alucobond Plus" or similar certified cladding fixed to structural steel framework. Colours as per approved materials schedule
- 2700 Finished ceiling height

NOTE: LIGHTING LAYOUT IS INDICATIVE ONLY, WITH FINAL DESIGN BY ELECTRICAL DESIGN AND CONSTRUCT CONSULTANT

LIGHTING LEGEND:

- DENOTES HIGH EFFICIENCY RECESSED FLUORESCENT LIGHT FITTING WITH PRISMATIC DIFFUSER.
- DENOTES 2 X 36w HIGH EFFICIENCY SURFACE MOUNTED LIGHT FITTING WITH DIFFUSER.
- OFFICE GROUND FLOOR DENOTES "CLEVERTRONICS" 1 x 1.9 WATT LIFELIGHT LUMINAIRE NON MAINTAINED EMERGENCY LIGHT, RECESSED MOUNTED 2700mm ABOVE FLOOR LEVEL TO UNDERSIDE OF SUSPENDED CEILING CAT NO. ELIFE-X (Co-D40 18M, C90-D40 18M)
- OFFICE FIRST FLOOR DENOTES "CLEVERTRONICS" 1 x 1.9 WATT LIFELIGHT LUMINAIRE NON MAINTAINED EMERGENCY LIGHT, RECESSED MOUNTED 2700mm ABOVE FLOOR LEVEL TO UNDERSIDE OF SUSPENDED CEILING CAT NO. ELIFE-X (Co-D40 18M, C90-D40 18M)
- DENOTES "CLEVERTRONICS" 1 x 3.3w MAINTAINED EXIT EMERGENCY SIGN MOUNTED ABOVE ALL EXIT DOOR OPENINGS. CAT. No. CCFPRO (Co-D4; C90-E8)
- DENOTES HIGH EFFICIENCY LIGHT FITTING (OYSTER FITTING)
- DENOTES HIGH EFFICIENCY LOW VOLTAGE RECESSED DOWNLIGHT
- DENOTES WALL / CEILING MOUNTED HIGH EFFICIENCY SECURITY LIGHTING
- DENOTES LOCATION OF EXHAUST FANS, TO BE DUCTED TO EXTERNAL AIR, VIA PENETRATIONS ON ROOF, IN ACCORDANCE WITH BCA & CONTRACTORS DESIGN & DETAIL
- DENOTES START TILE, IN CEILING SETOUT
- DENOTES OUTLINE OF ROOF ACCESS HATCH. EXACT LOCATION TO BE CONFIRMED ON SITE

NOTE: INSTALL ALL LIGHTING POWER CONTROL DEVICES INCLUDING TIMERS, TIME SWITCHES, MOTION DETECTORS AND DAYLIGHT CONTROL DEVICES IN ACCORDANCE WITH 46.1-6.6 AND SPECIFICATION J6 OF THE BCA.

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PROJECT

PROPOSED MULTI WAREHOUSE & OFFICE DEVELOPMENT AT: 59 PARAWEENA DRIVE, TRUGANINA

CLIENT

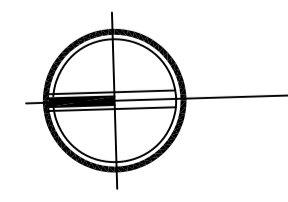
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DRAWING TITLE

GF REFLECTED CEILING PLANS - WH7-15

DATE	SCALE	DRG NO.
OCT 2018	1:100	A11
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	161017

Ground Floor Reflected Ceiling Plans 1:100 Warehouse 7-15



CEILING LEGEND:

- Suspended exposed metal grid ceiling system (1200 x 600), with "Knauf Spangrid" ceiling tiles or similar approved.
- Denotes flush plasterboard ceiling on metal batten ceiling joist system @ @ 450mm c/c's or similar approved. (2700mm high unless stated otherwise).
- 6mm FC sheet waterproof soffit lining with concealed fixings battens to underside of first floor office.
- "Alucobond Plus" or similar certified cladding fixed to structural steel framework. Colours as per approved materials schedule
- Finished ceiling height

LIGHTING LEGEND:

- DENOTES HIGH EFFICIENCY RECESSED FLUORESCENT LIGHT FITTING WITH PRISMATIC DIFFUSER.
- DENOTES 2 X 36w HIGH EFFICIENCY SURFACE MOUNTED LIGHT FITTING WITH DIFFUSER.
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- DENOTES HIGH EFFICIENCY LIGHT FITTING (OYSTER FITTING)
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NOTE: INSTALL ALL LIGHTING POWER CONTROL DEVICES INCLUDING TIMERS, TIME SWITCHES, MOTION DETECTORS AND DAYLIGHT CONTROL DEVICES IN ACCORDANCE WITH 46.1-6.6 AND SPECIFICATION J6 OF THE BCA.

NOTE: LIGHTING LAYOUT IS INDICATIVE ONLY, WITH FINAL DESIGN BY ELECTRICAL DESIGN AND CONSTRUCT CONSULTANT

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B	13/09/2019	CEILING FINISHES REVISED	M.C.

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PROJECT

PROPOSED MULTI WAREHOUSE & OFFICE DEVELOPMENT AT: 59 PARAWENA DRIVE, TRUGANINA

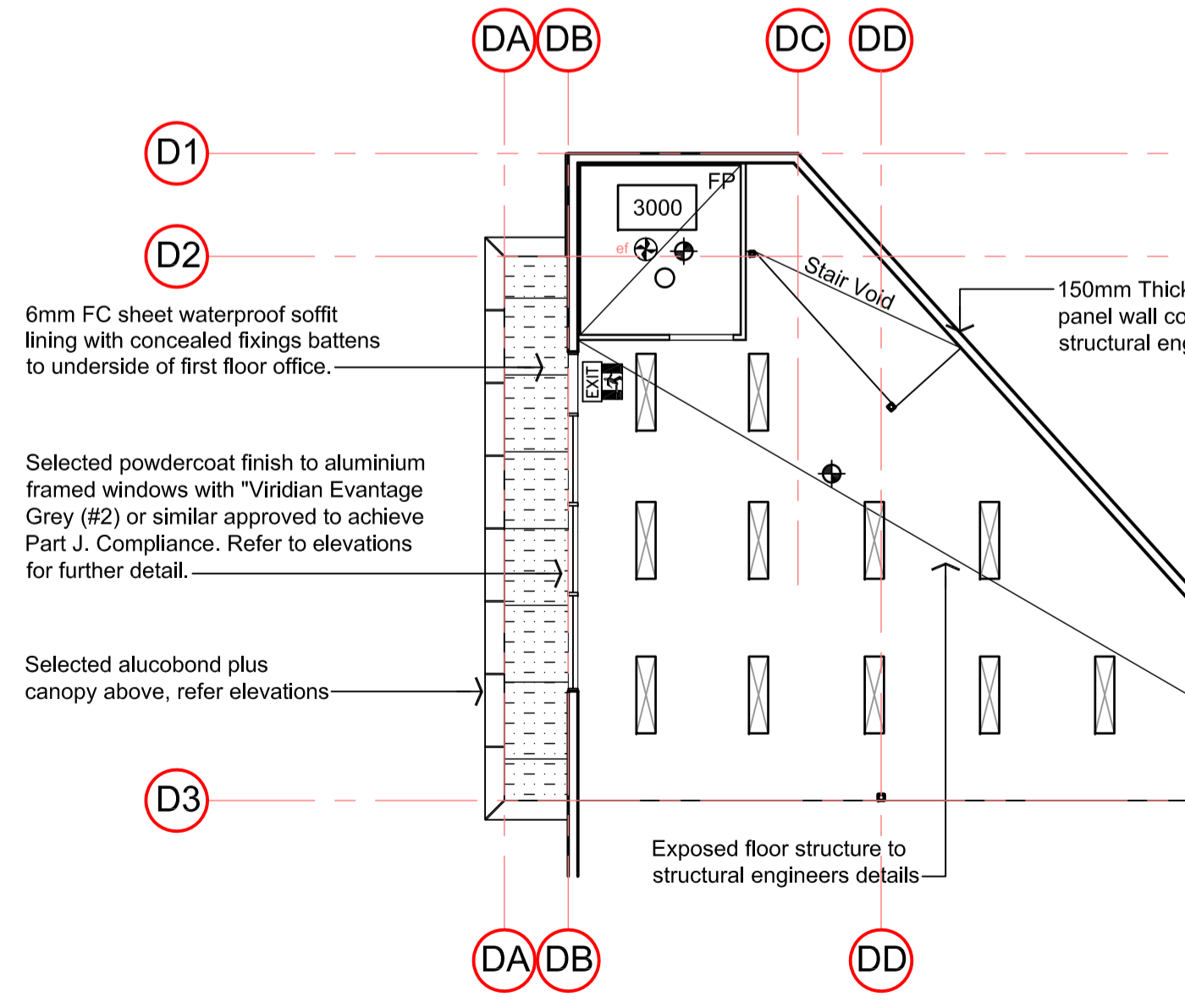
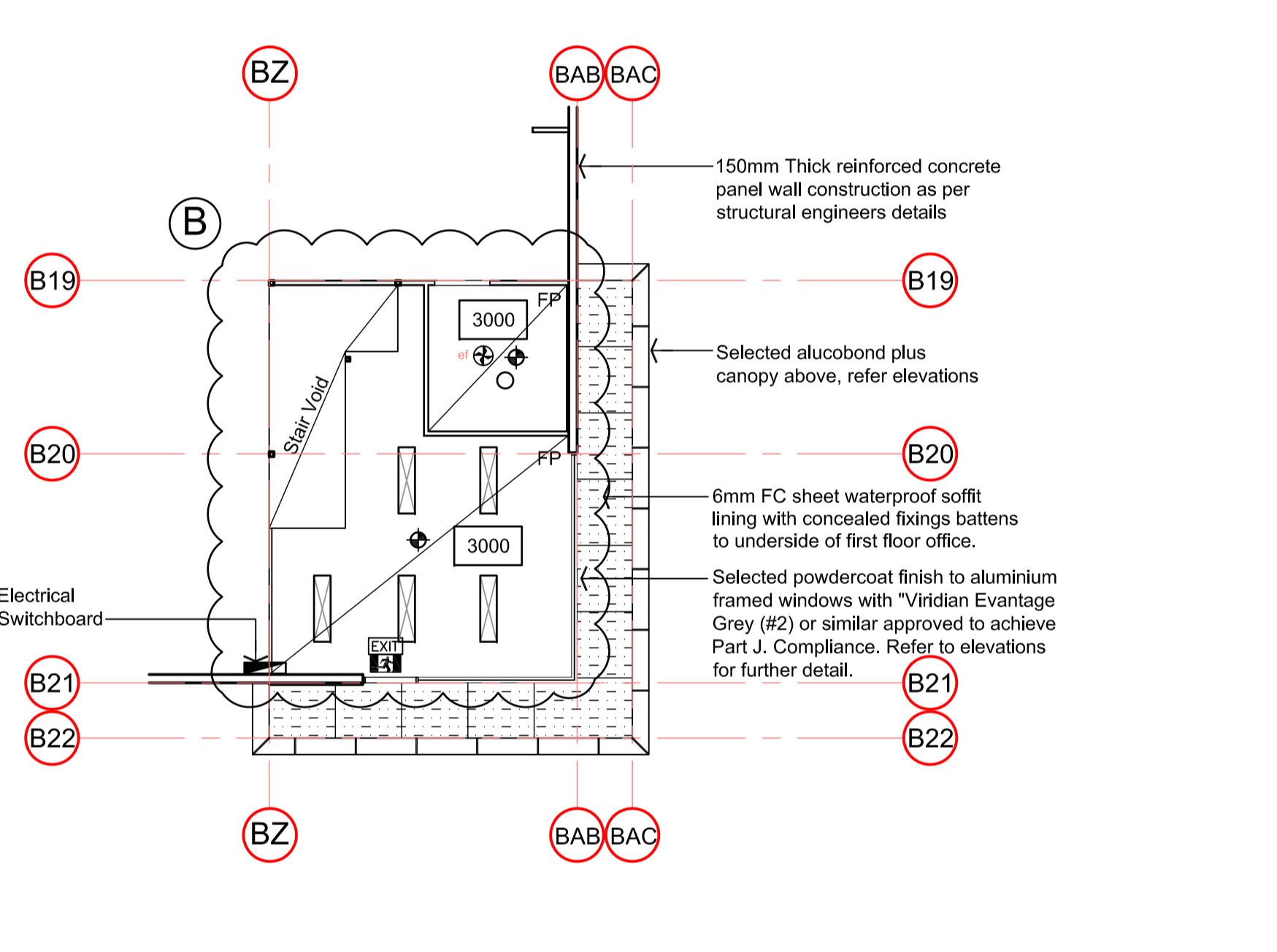
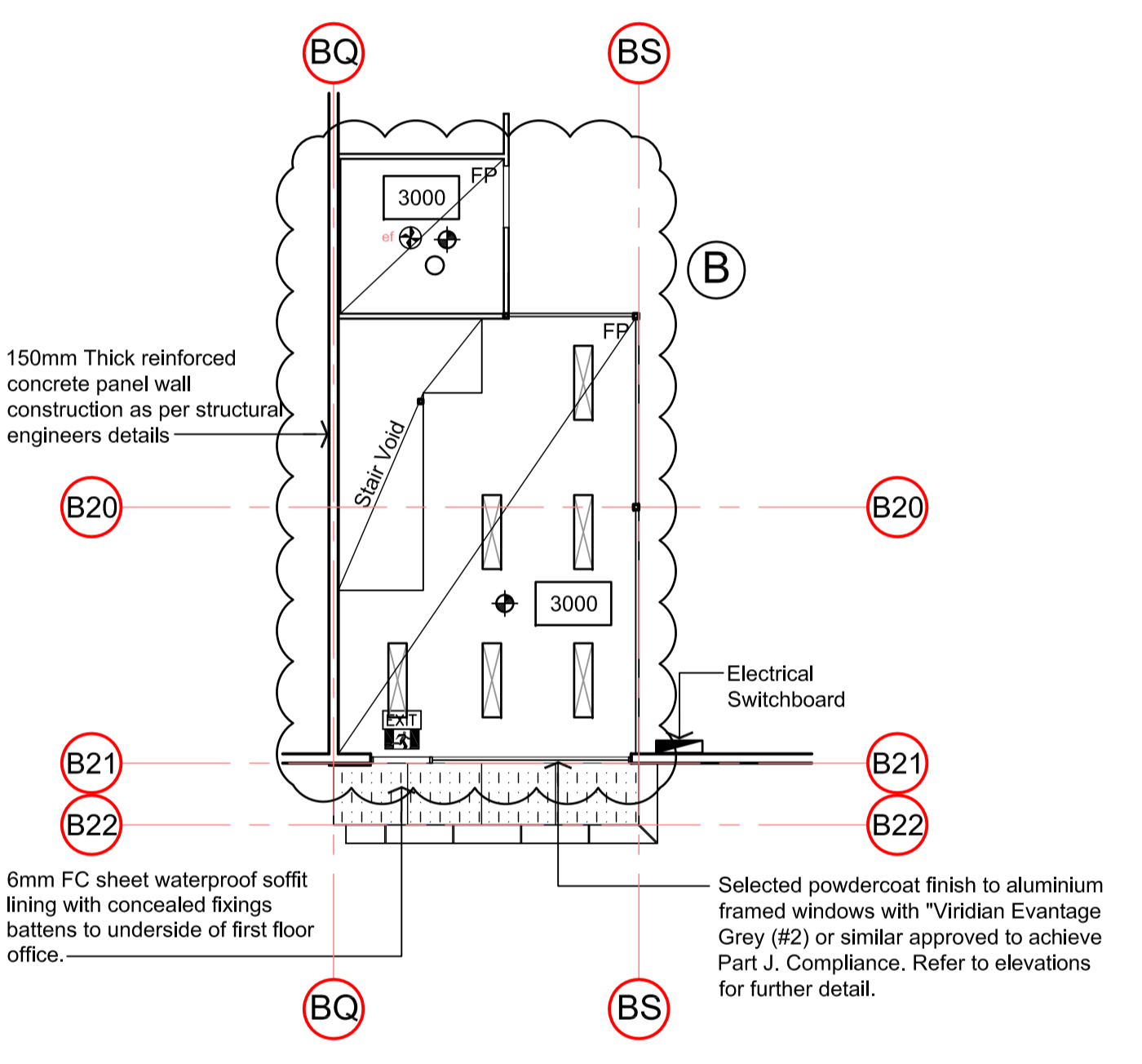
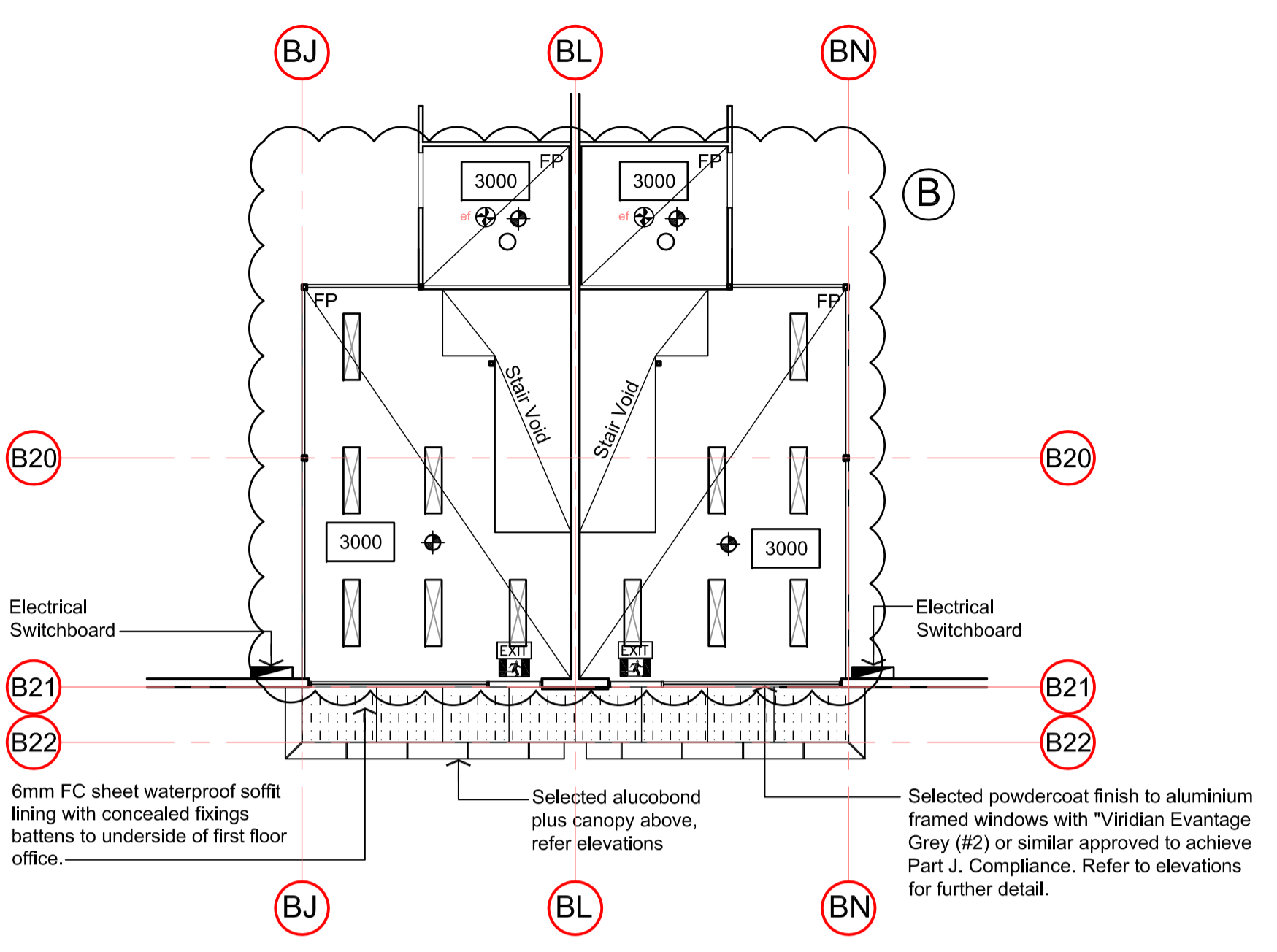
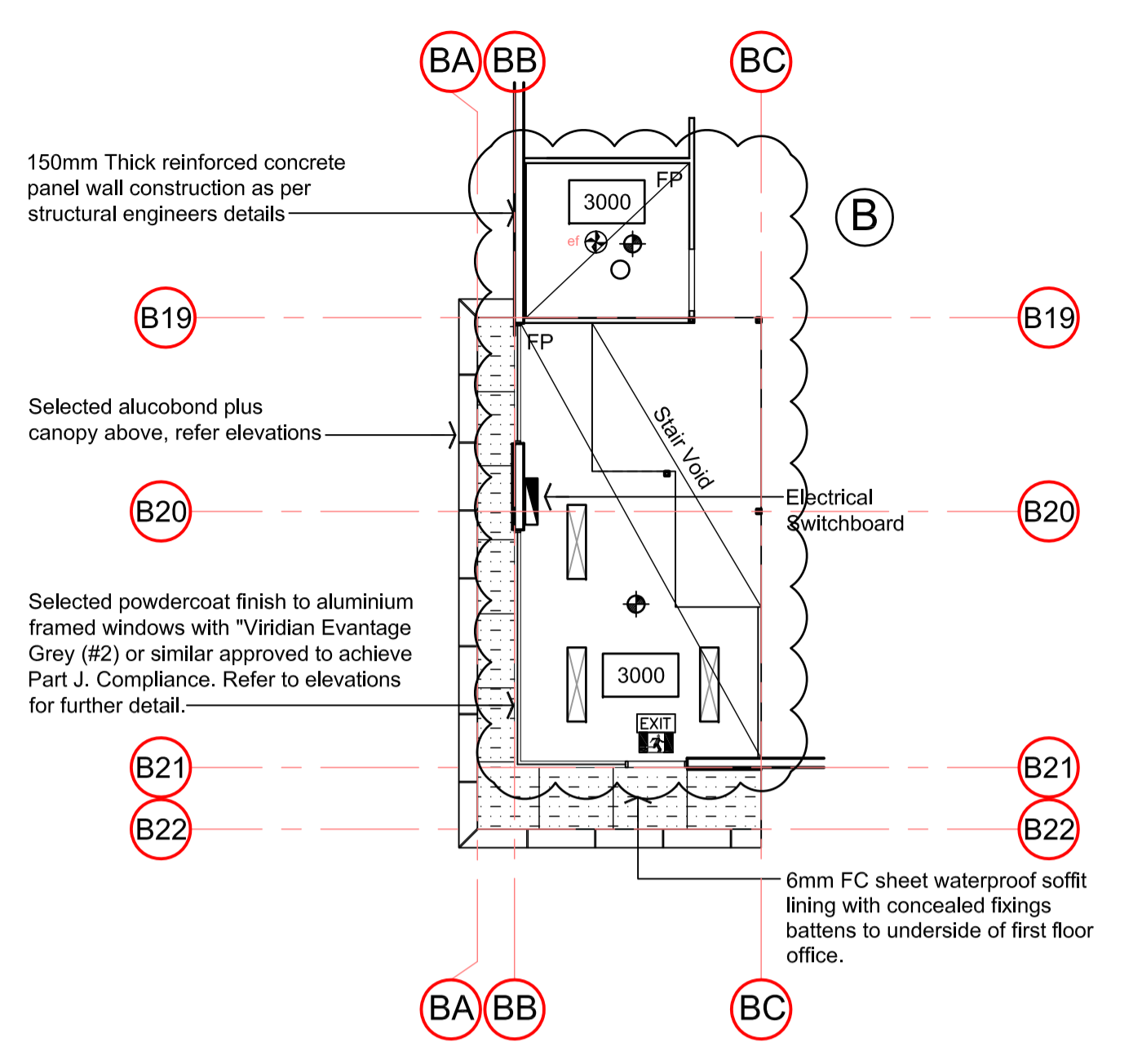
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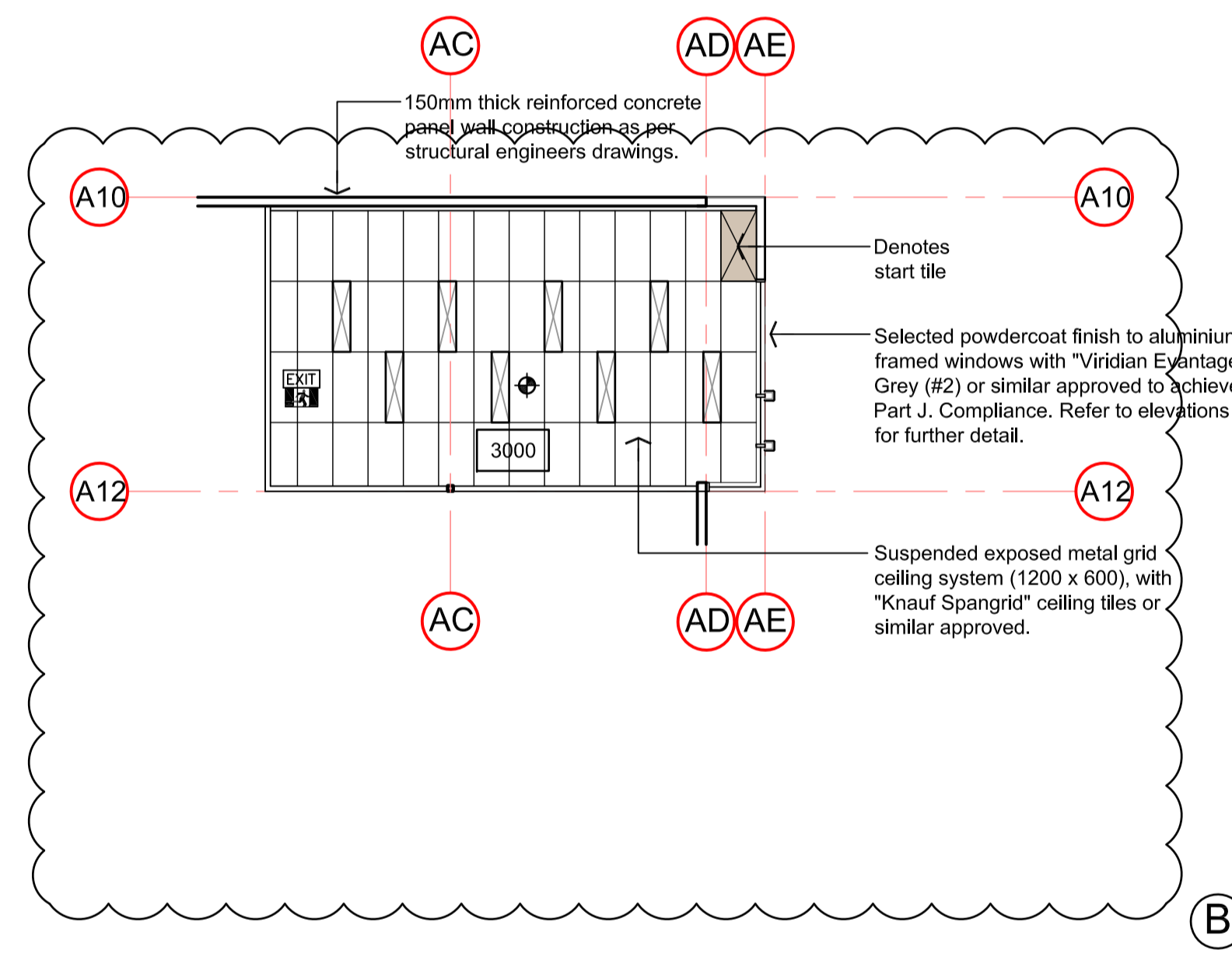
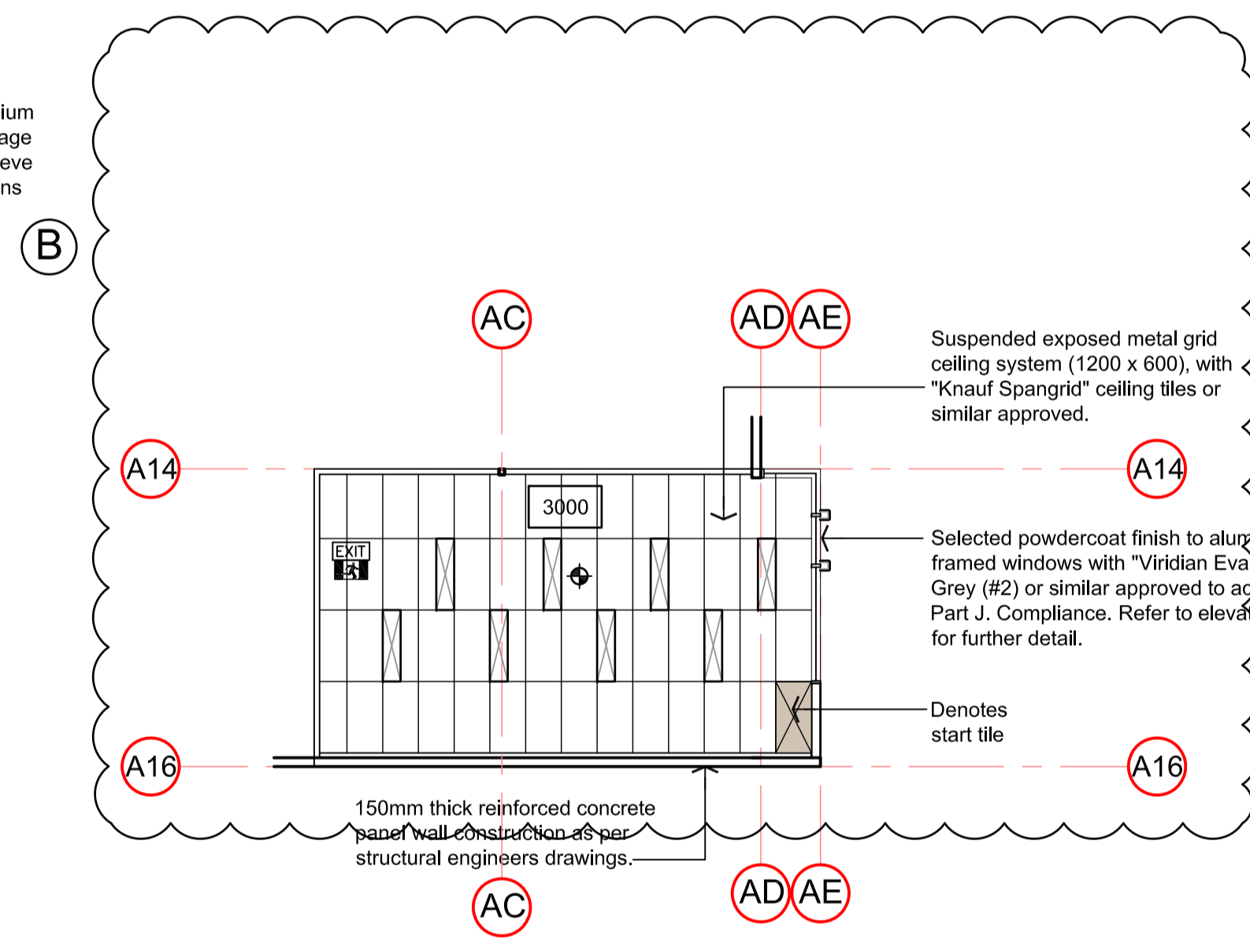
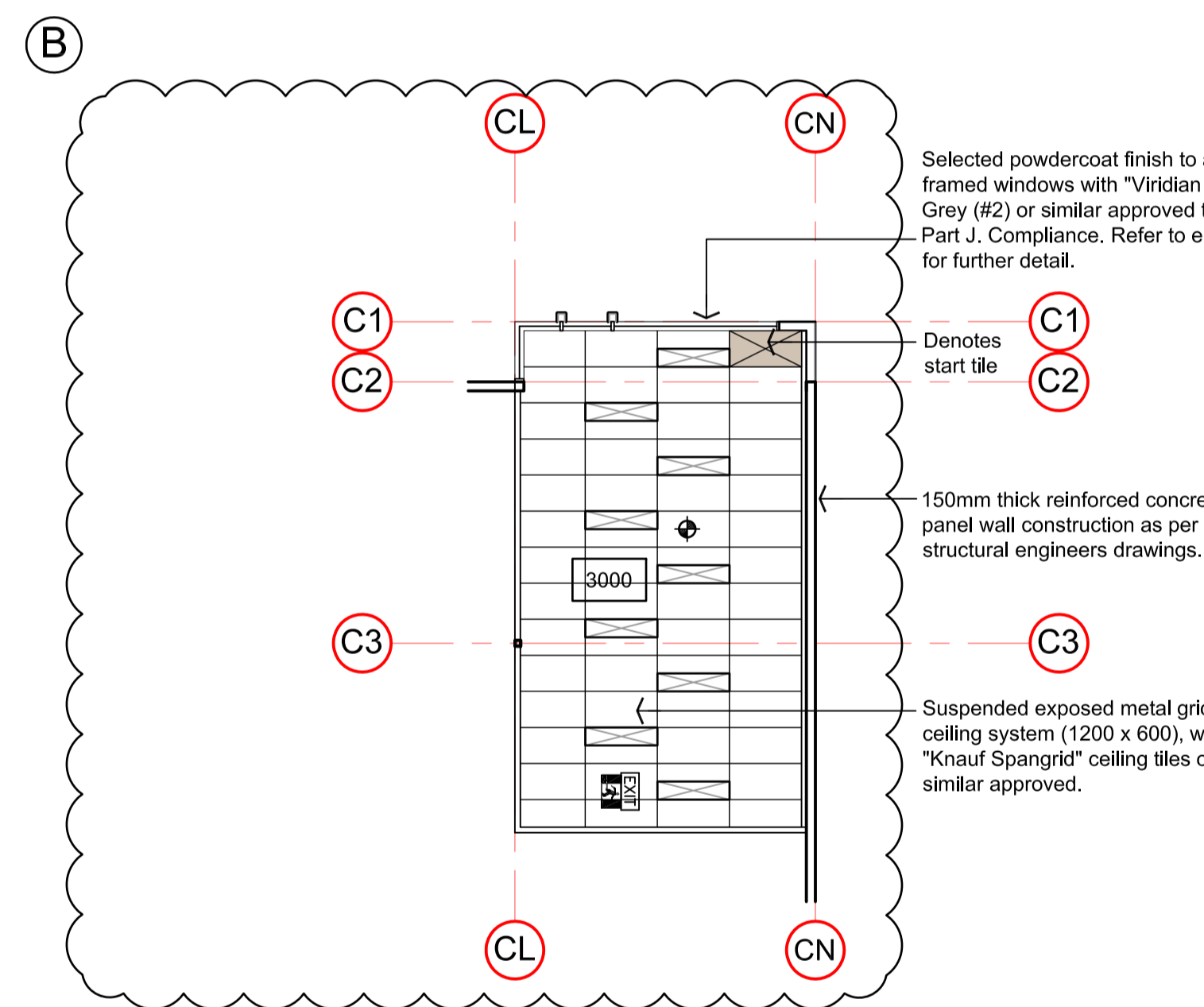
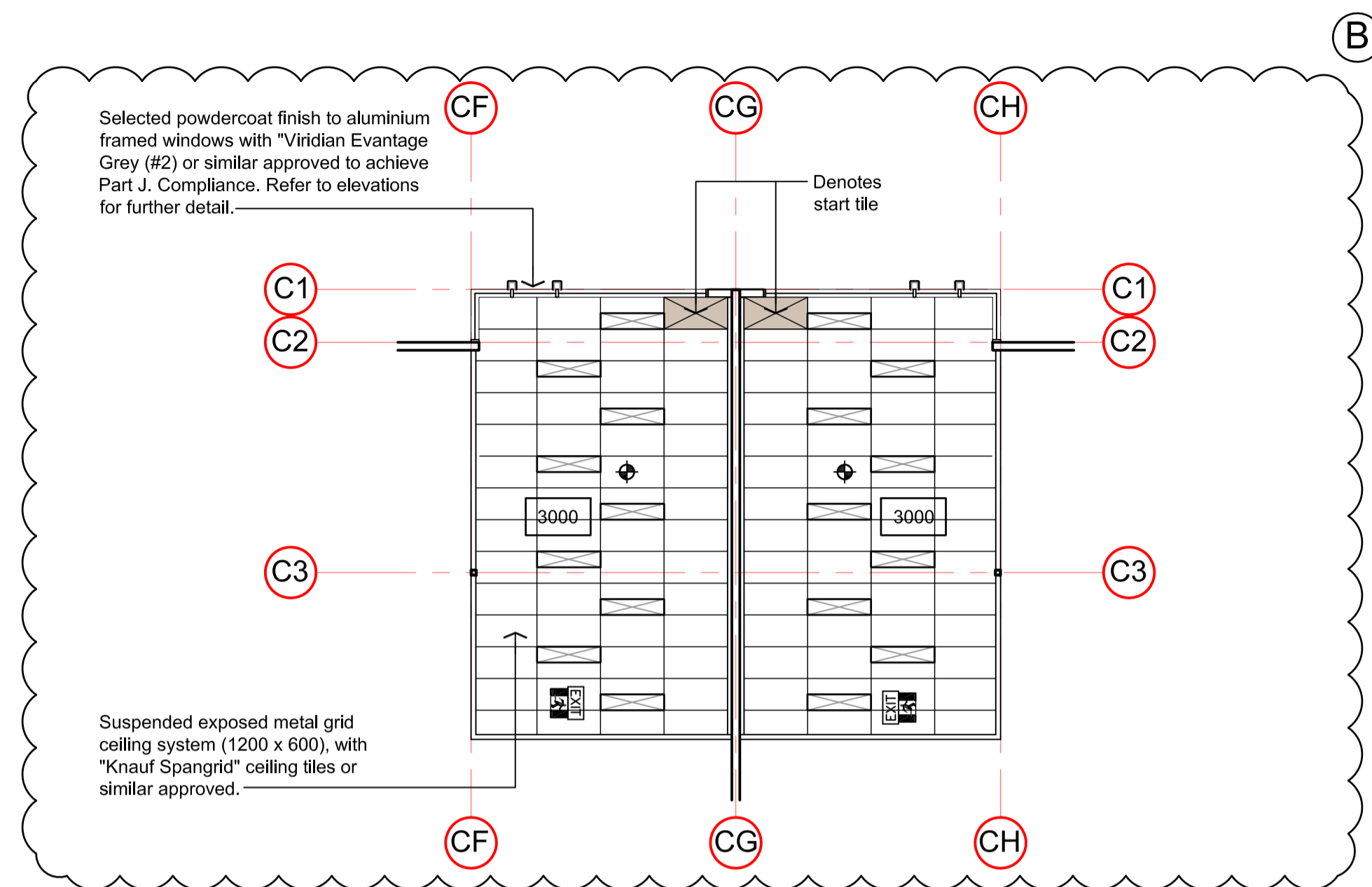
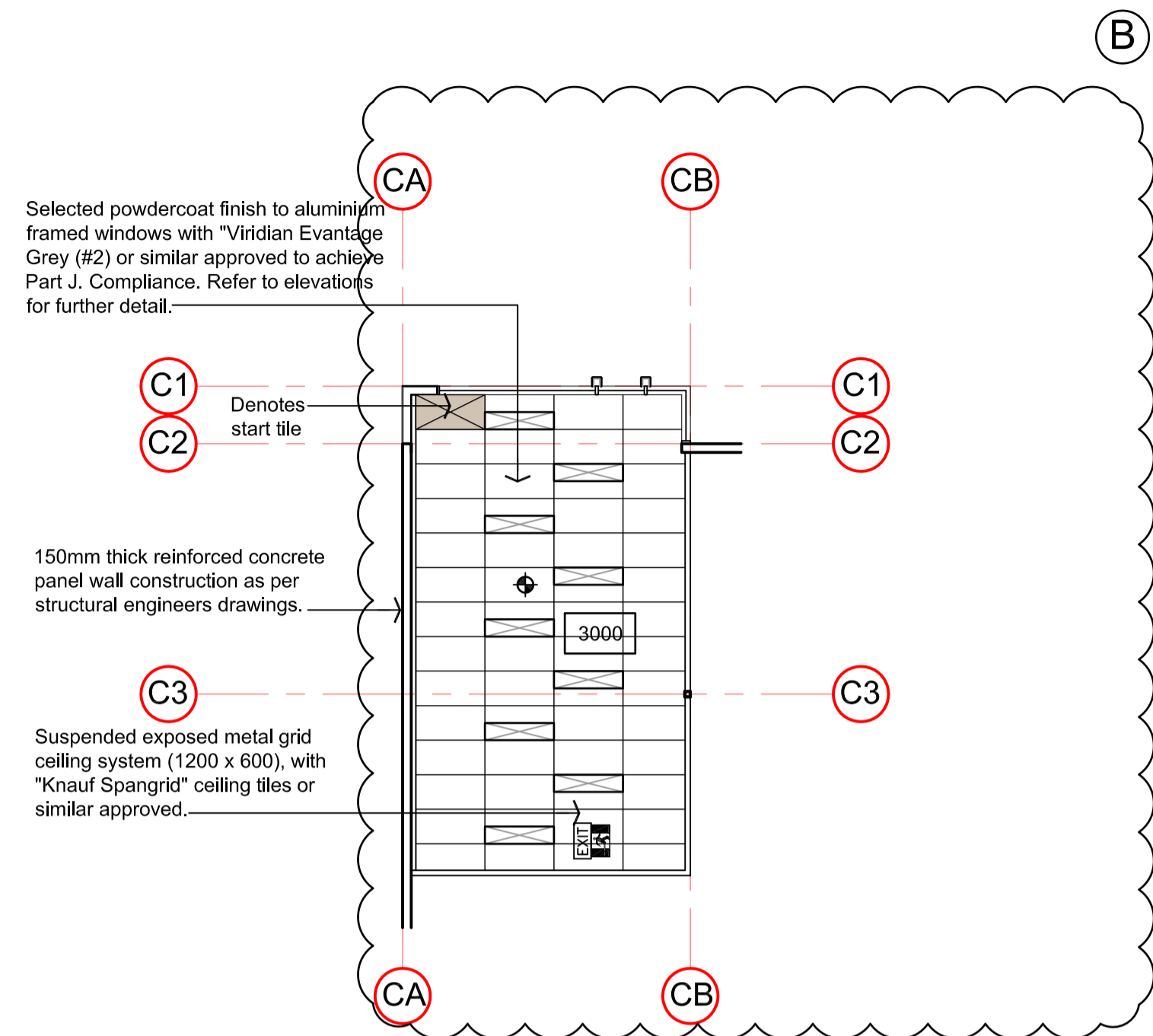
DRAWING TITLE

GF REFLECTED CEILING PLANS - WH 16-21

DATE	SCALE	DRG NO.
OCT 2018	1:100	A12
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	161017



Ground Floor Reflected Ceiling Plans 1:100 Warehouse 16-21



CEILING LEGEND:

- Suspended exposed metal grid ceiling system (1200 x 600), with "Knauf Spangrid" ceiling tiles or similar approved.
- Denotes flush plasterboard ceiling on metal batten ceiling joist system @ 450mm c/c's or similar approved. (2700mm high unless stated otherwise).
- 6mm FO sheet waterproof soffit lining with concealed fixings battens to underside of first floor office. Colours as per approved materials schedule
- "Alucobond Plus" or similar certified cladding fixed to structural steel framework. Colours as per approved materials schedule
- 2700 Finished ceiling height

NOTE: LIGHTING LAYOUT IS INDICATIVE ONLY, WITH FINAL DESIGN BY ELECTRICAL DESIGN AND CONSTRUCT CONSULTANT

LIGHTING LEGEND:

- DENOTES HIGH EFFICIENCY RECESSED FLUORESCENT LIGHT FITTING WITH PRISMATIC DIFFUSER.
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NOTE: INSTALL ALL LIGHTING POWER CONTROL DEVICES INCLUDING TIMERS, TIME SWITCHES, MOTION DETECTORS AND DAYLIGHT CONTROL DEVICES IN ACCORDANCE WITH 46.1-6.6 AND SPECIFICATION J6 OF THE BCA.

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A	29/05/2019	CONSTRUCTION ISSUE	M.C.
B	13/09/2019	FIRST FLOOR OFFICES REVISED	M.C.

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First Floor Reflected Ceiling Plans 1:100 Warehouse 1-6

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PROJECT

PROPOSED MULTI WAREHOUSE & OFFICE DEVELOPMENT
AT: 59 PARAWEENA DRIVE, TRUGANINA

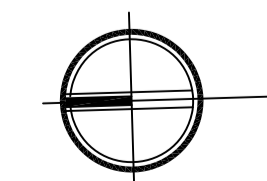
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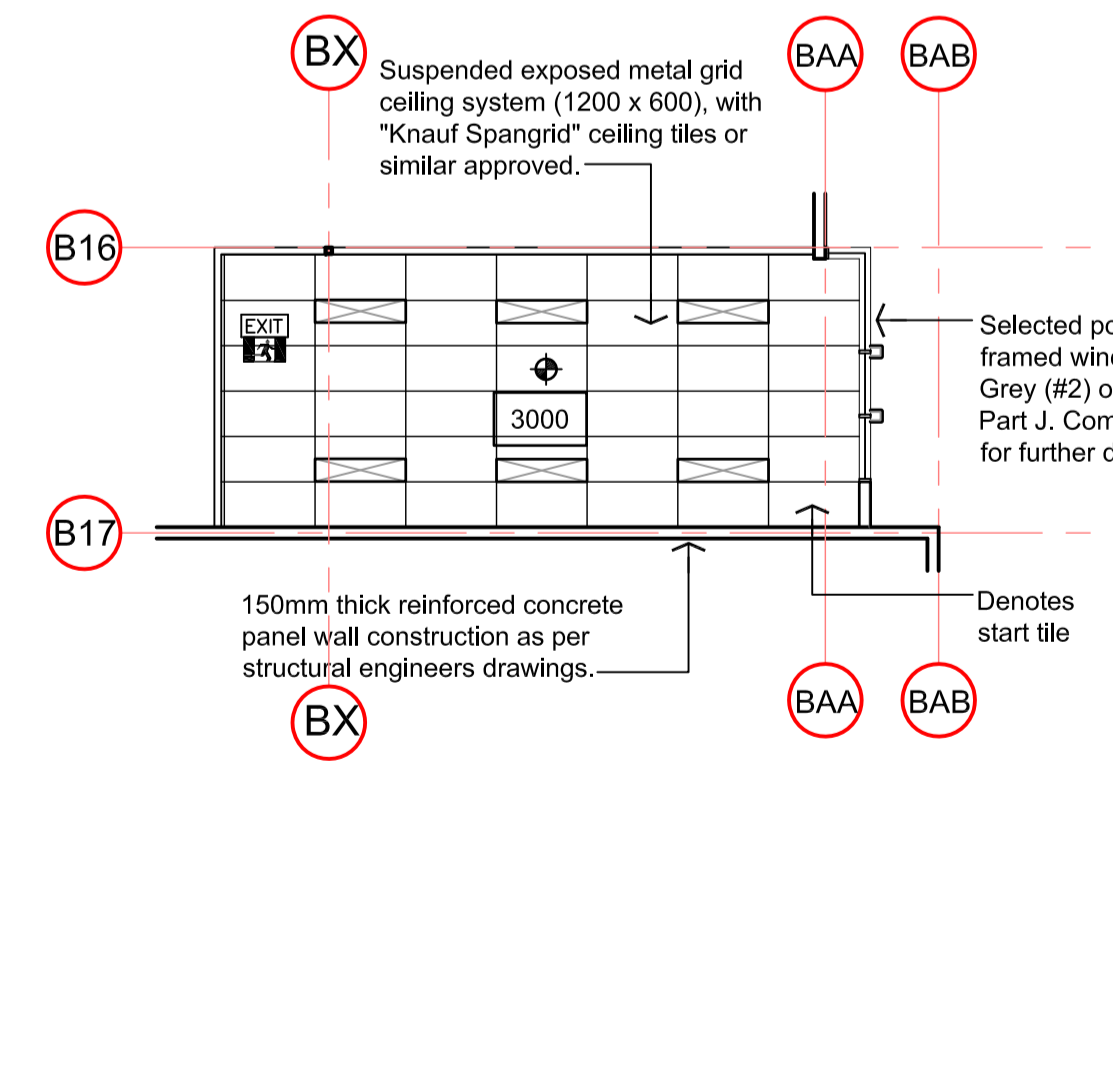
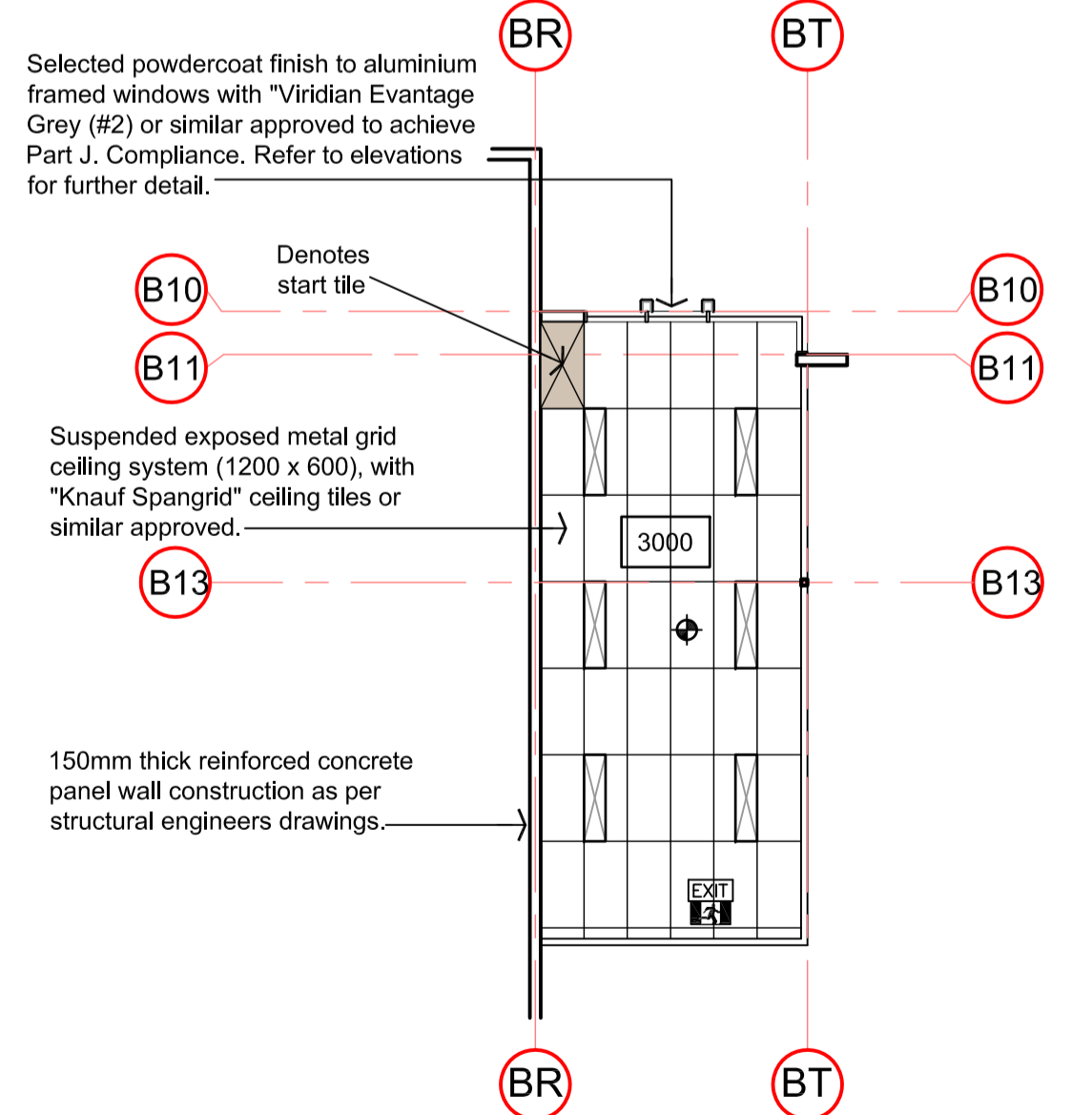
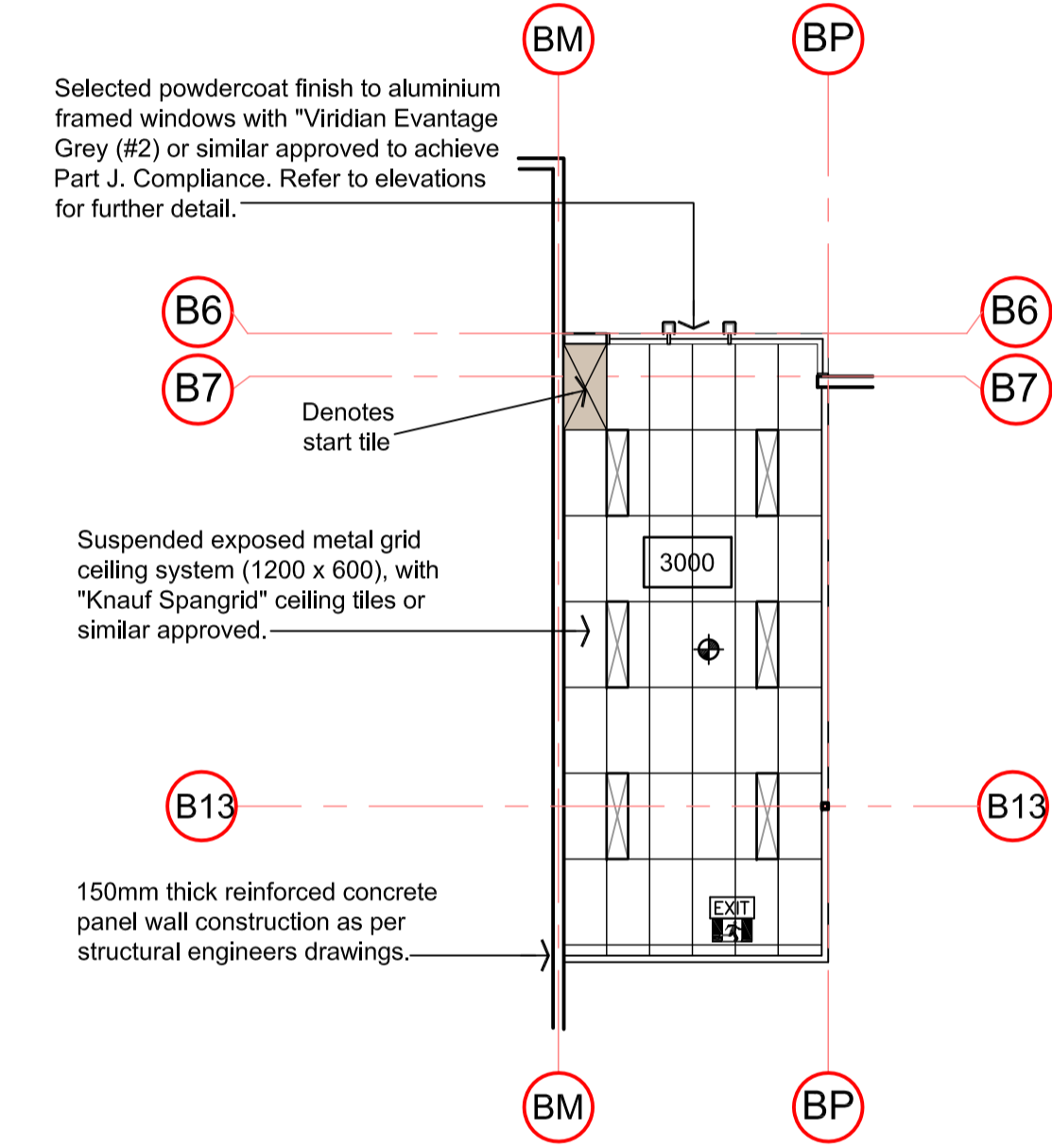
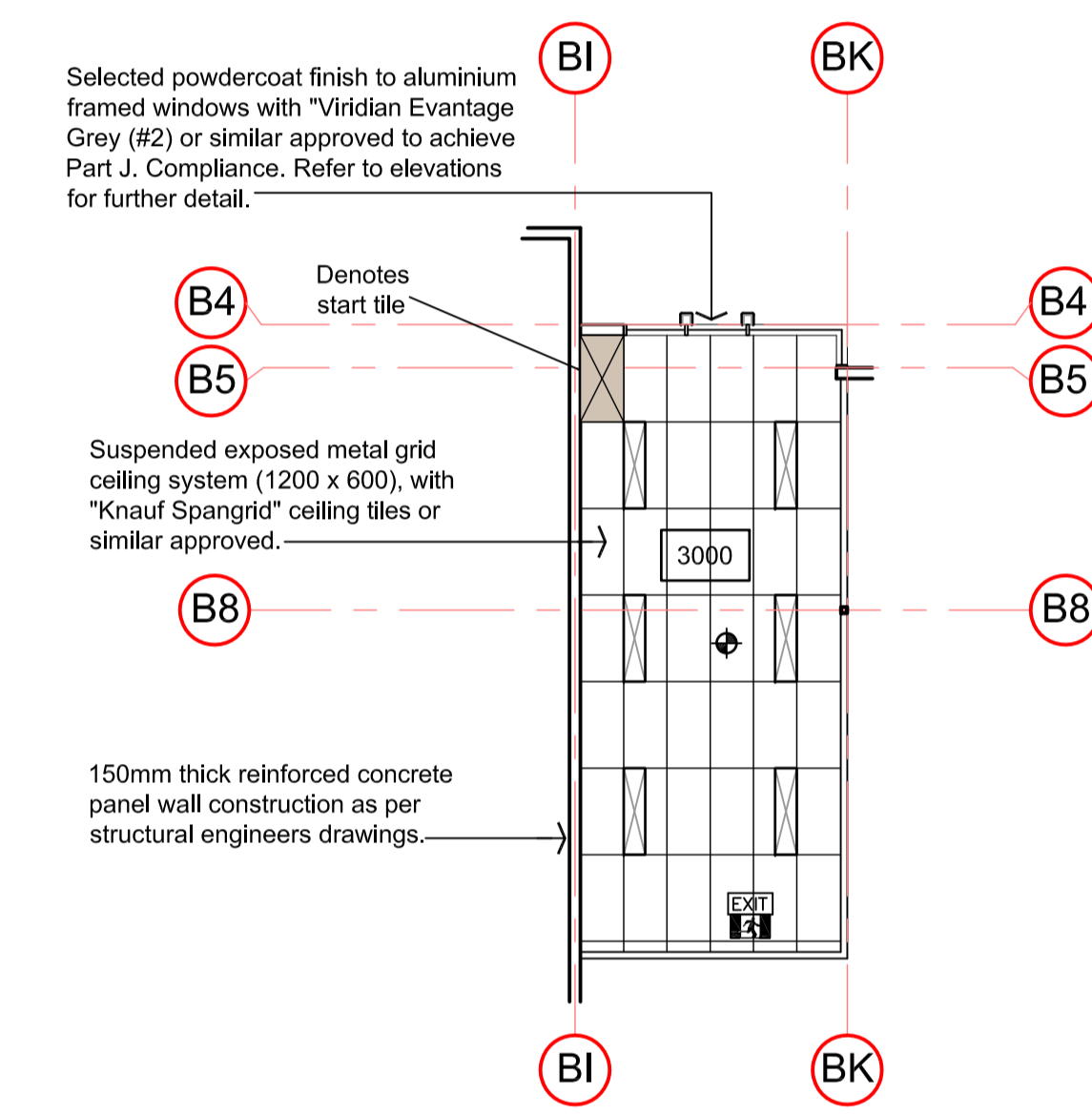
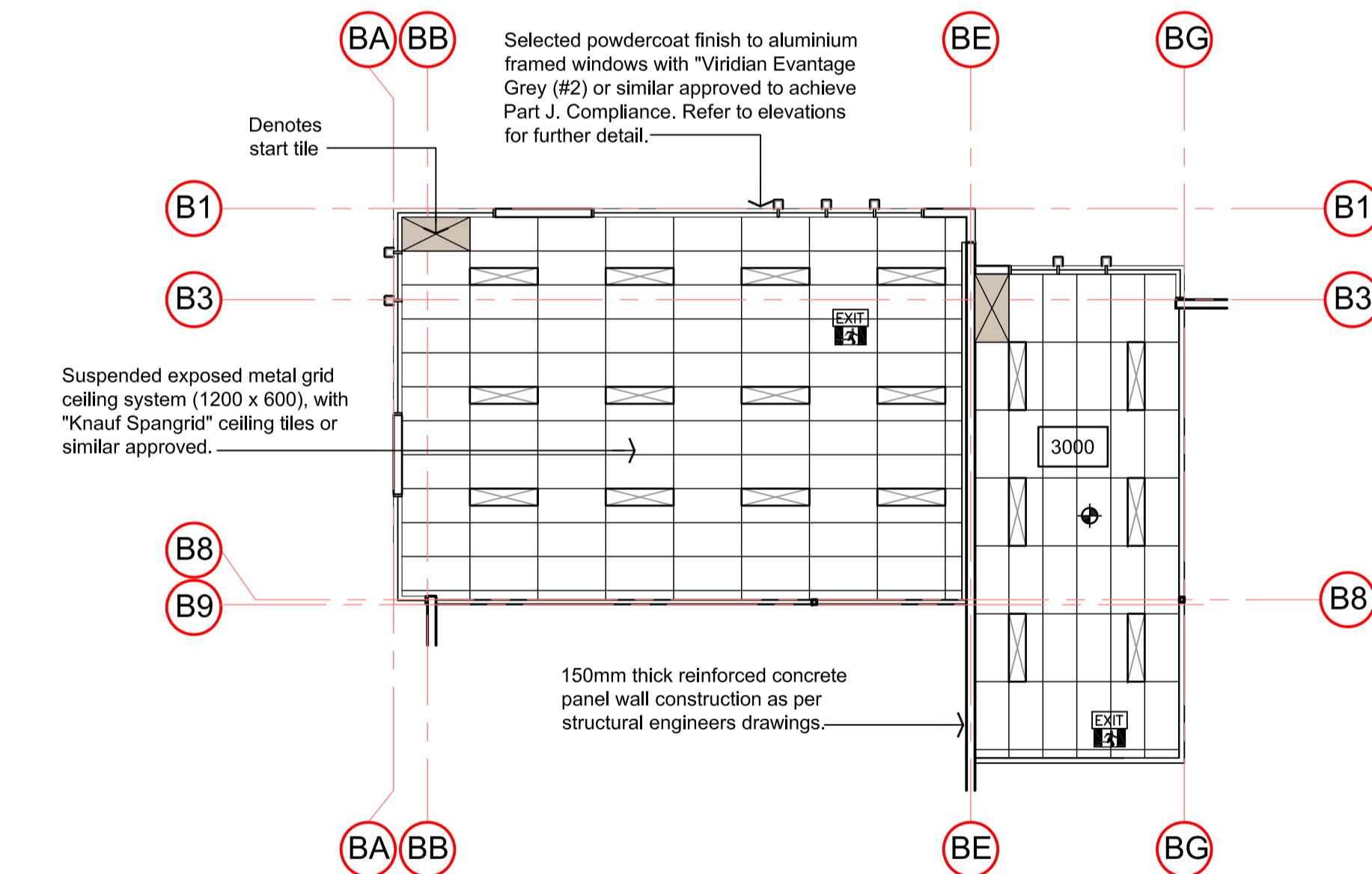
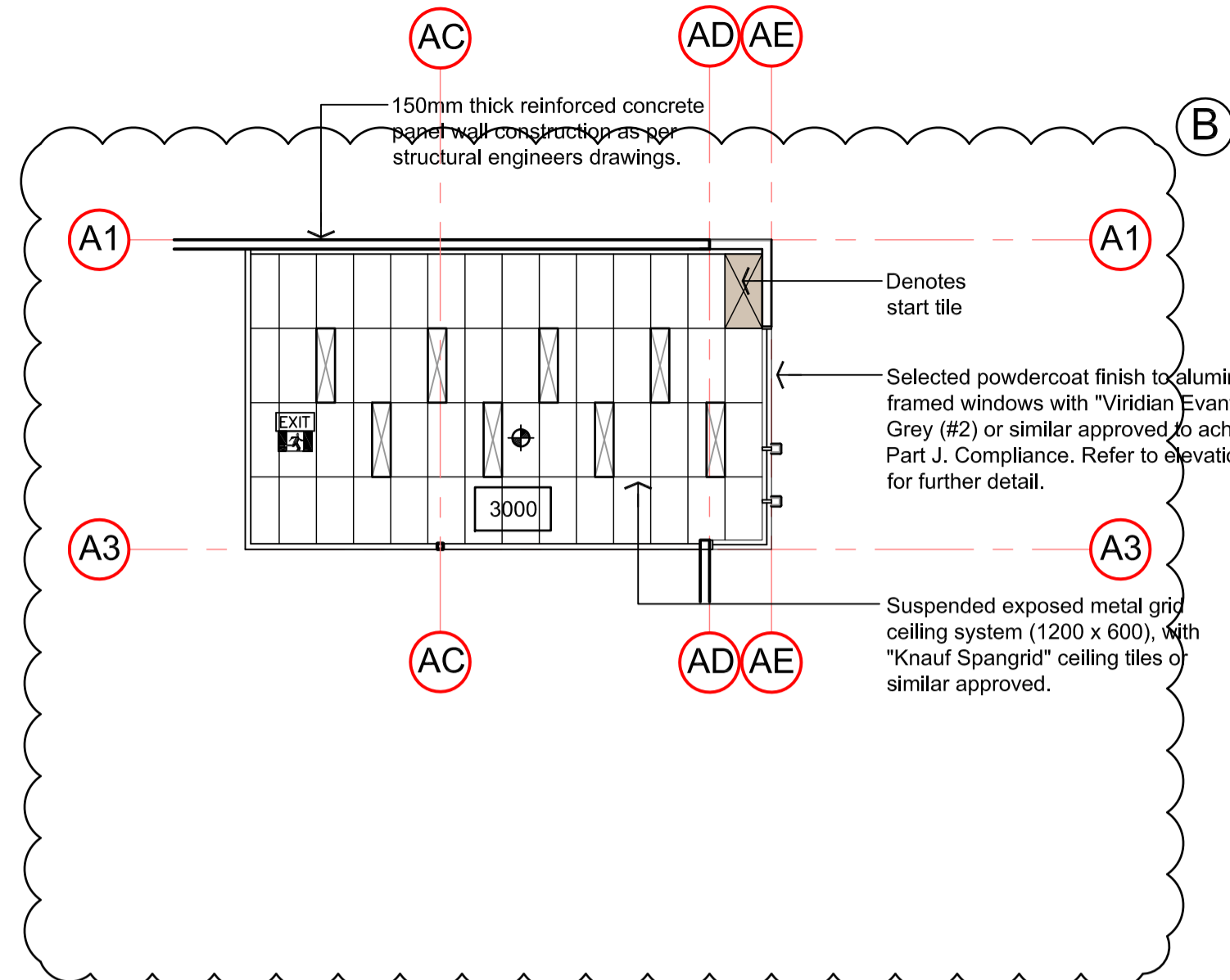
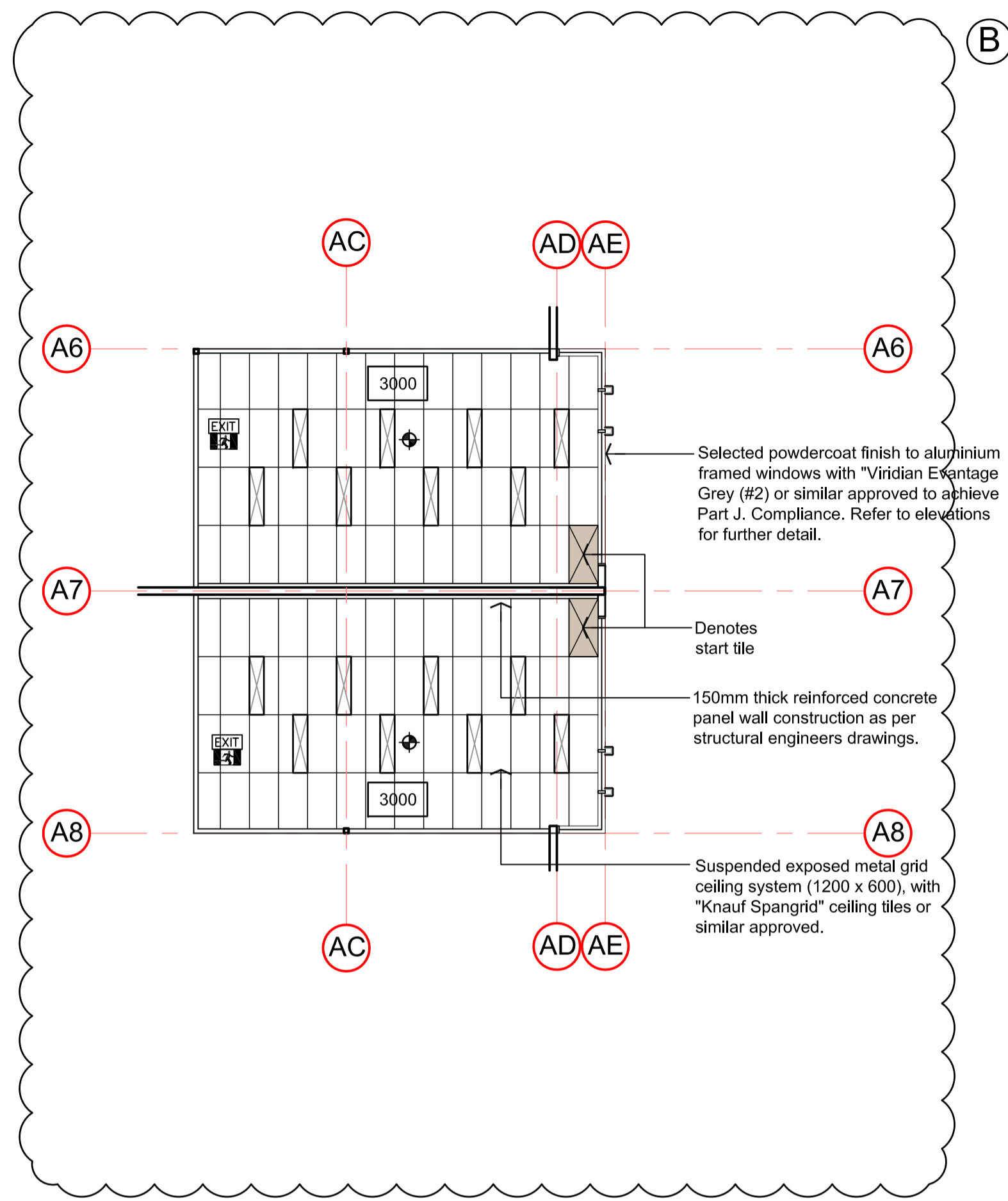
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DRAWING TITLE

FF REFLECTED CEILING PLANS - WH 1-6

DATE	SCALE	DRG NO.
OCT 2018	1:100	A13
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	161017





First Floor Reflected Ceiling Plans 1:100 Warehouse 7-15

CEILING LEGEND:

- Suspended exposed metal grid ceiling system (1200 x 600), with "Knauf Spangrid" ceiling tiles or similar approved.
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PROJECT

PROPOSED MULTI WAREHOUSE & OFFICE DEVELOPMENT AT: 59 PARAWEENA DRIVE, TRUGANINA

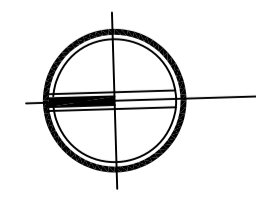
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DRAWING TITLE

FF REFLECTED CEILING PLANS - WH 7-15

DATE	SCALE	DRG NO.
OCT 2018	1:100	A14
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	161017



ROOFING NOTES:

METAL ROOF SHEETING TO COMPLY WITH AS 1562.1
 PROVIDE ZINCALUME TRIMDECK ROOF SHEETING AT 3.0° PITCH TO OFFICE/WAREHOUSE AS PER SPEC.
 ROOF SHEETING TO BE FIXED AND INSTALLED AS PER MANUFACTURERS REQUIREMENTS.
 PROVIDE 3mm L ZINC COATED SAFETY MESH 150mm X 300mm (150 BEING THE SPACING OF LONGITUDINAL WIRES PARALLEL TO THE CORRIGATIONS) UNDER ALL ROOF SHEETING.
 DO NOT USE ANY LEAD NAILS OR ANY LEAD A FLASHING, WASHERS, ETC.
 USE RECOMMENDED SEALANTS BY ROOFING MANUFACTURER.
 ALL DOWNPIPES TO BE 150mm Ø MINIMUM, UNLESS OTHERWISE NOTED. REFER TO CIVIL ENGINEERS DRAWINGS FOR DETAILS.

ALL PENETRATIONS IN ROOF SHEETING TO BE FLASHED WITH ZINCALUME FLASHING AS SUPPLIED BY ROOFING MANUFACTURER.
 PROVIDE WIRE MESH TO TOP OF ALL SUMPS.
 PROVIDE 300mm SOAKER GUTTERS AS REQUIRED TO ALL ROOF MOUNTED EQUIPMENT.
 PROVIDE OFFICE/WAREHOUSE BOX GUTTERS WITH 600 X 600 X 150MM DEEP SUMPS. PROVIDE 600 X 100MM OVERFLOW IN SUMP LOCATED CENTRAL. 30MM ABOVE BASE OF BOX GUTTER.
 ALL GUTTERS TO BE PROVIDED WITH A MINIMUM GRADE OF 1:200.

INSULATION, SISALATION AND SAFETY MESH

SUPPLY AND INSTALL AS SPECIFIED INSULATION, SISALATION AND SAFETY MESH OVER MILD STEEL PURLINS PRIOR TO LAYING AND FIXING ROOF SHEETS.
 SAFETY MESH TO BE FIXED TO RIDGE PURLIN AND PULLED TIGHT IN CONTINUOUS LENGTH FOR FULL SPAN OF ROOF. LAY SISALATION AND/OR INSULATION OVER SAFETY MESH IMMEDIATELY PRIOR TO LAYING ROOF SHEETS.
 ENSURE SISALATION/INSULATION IS ADEQUATELY LAPPED WITH ADJACENT SHEETS TO PROVIDE A CONTINUOUS INSULATION BARRIER TO THE FULL EXTENT OF ROOF. ENSURE INSULATION IS CONTINUED UNDER BOX GUTTERS AND FIXED IN POSITION. CHECK ALL INTERNAL EXPOSED SURFACES OF INSULATION FOR CONTINUITY AND MAKE GOOD AS REQUIRED.

PLANT PLATFORMS

CONTRACTOR IS TO PROVIDE GALVANISED MILD STEEL ROOF MOUNTED PLANT PLATFORMS TO ROOF MOUNTED UNITS. AS PER MANUFACTURES SPEC.

ROOF PENETRATIONS

CUT ROOF PENETRATIONS & INSTALL UNDERFLASHINGS WHERE DIRECTED OR AS SHOWN ON ARCHITECTURAL & MECHANICAL DRAWINGS. ENSURE UNDERFLASHING HAS SUFFICIENT UP TURN TO ALLOW OVERFLASHINGS TO BE SECURELY FIXED IN FINAL POSITION.
 USE A SUFFICIENCY OF SILICON SEALANT TO ENSURE UNDERFLASHING PROVIDES A WATERPROOF SEAL.

NOTE:
 ALL CEILING/ROOF INSULATION TO ACHIEVE A TOTAL MIN. R VALUE OF 3.2. (TO OFFICE AREA ONLY)

NOTE:
 RAH DENOTES LOCATION OF ROOF ACCESS HATCH. BUILDER TO PROVIDE NECESSARY FLASHING TO ENSURE WATERTIGHT FINISH

NOTE:
 NATURAL VENTILATION VIA FRESH AIR FAN DUCTED DIRECTLY TO OUTSIDE AIR WITH WALL MOUNTED SWITCH 200 LITRES PER SECOND MINIMUM CAPACITY

NOTE:
 ALL AMENITY EXHAUST FANS, TO BE DUCTED TO EXTERNAL AIR, VIA PENETRATIONS ON ROOF, IN ACCORDANCE WITH BCA & CONTRACTORS DESIGN & DETAIL

NOTE:
 ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL & CIVIL DRAWINGS AS PREPARED BY ZS CONSULTING

NATURAL LIGHT ANALYSIS

WAREHOUSE 1-4 FLOOR AREA:	222.38m²
REQ'D 10% NATURAL LIGHTING:	22.24m²
NATURAL LIGHT VIA CLEAR ROOF LIGHTS (85% TRANSPARENT OR SIMILAR):	19.72m²
0.76m W X 6.48 L = 4.93m² X 4 =	19.72m²
0.76m W X 4.65 L = 3.53m² X 2 =	7.07m²
TOTAL NATURAL LIGHTING	26.79m²
WAREHOUSE 5-9 FLOOR AREA:	247.78m²
REQ'D 10% NATURAL LIGHTING:	24.78m²
NATURAL LIGHT VIA CLEAR ROOF LIGHTS (85% TRANSPARENT OR SIMILAR):	21.47m²
0.76m W X 7.34 L = 5.58m² X 4 =	22.31m²
0.76m W X 6.36 L = 4.83m² X 2 =	9.66m²
TOTAL NATURAL LIGHTING	31.97m²
WAREHOUSE 10 FLOOR AREA:	235.92m²
REQ'D 10% NATURAL LIGHTING:	23.59m²
NATURAL LIGHT VIA CLEAR ROOF LIGHTS (85% TRANSPARENT OR SIMILAR):	20.40m²
0.76m W X 8.47 L = 6.44m² X 4 =	25.76m²
WAREHOUSE 11 FLOOR AREA:	234.02m²
REQ'D 10% NATURAL LIGHTING:	23.40m²
NATURAL LIGHT VIA CLEAR ROOF LIGHTS (85% TRANSPARENT OR SIMILAR):	20.40m²
0.76m W X 8.87 L = 6.74m² X 4 =	26.98m²
WAREHOUSE 12 FLOOR AREA:	193.77m²
REQ'D 10% NATURAL LIGHTING:	19.37m²
NATURAL LIGHT VIA CLEAR ROOF LIGHTS (85% TRANSPARENT OR SIMILAR):	16.66m²
0.76m W X 7.90 L = 6.00m² X 4 =	24.00m²
WAREHOUSE 13 FLOOR AREA:	184.57m²
REQ'D 10% NATURAL LIGHTING:	18.46m²
NATURAL LIGHT VIA CLEAR ROOF LIGHTS (85% TRANSPARENT OR SIMILAR):	15.87m²
0.76m W X 8.47 L = 6.44m² X 2 =	12.88m²
0.76m W X 5.37 L = 4.08m² X 2 =	8.16m²
TOTAL NATURAL LIGHTING	21.04m²
WAREHOUSE 14 FLOOR AREA:	141.73m²
REQ'D 10% NATURAL LIGHTING:	14.17m²
NATURAL LIGHT VIA CLEAR ROOF LIGHTS (85% TRANSPARENT OR SIMILAR):	12.12m²
0.76m W X 7.95 L = 6.04m² X 2 =	12.08m²
0.76m W X 4.66 L = 3.54m² X 2 =	7.08m²
TOTAL NATURAL LIGHTING	21.04m²
WAREHOUSE 15 FLOOR AREA:	143.96m²
REQ'D 10% NATURAL LIGHTING:	14.39m²
NATURAL LIGHT VIA CLEAR ROOF LIGHTS (85% TRANSPARENT OR SIMILAR):	12.44m²
0.76m W X 5.96 L = 4.52m² X 4 =	18.11m²
0.76m W X 2.76 L = 2.09m² X 3 =	6.29m²
TOTAL NATURAL LIGHTING	24.40m²
WAREHOUSE 16-20 FLOOR AREA:	174.68m²
REQ'D 10% NATURAL LIGHTING:	17.47m²
NATURAL LIGHT VIA CLEAR ROOF LIGHTS (85% TRANSPARENT OR SIMILAR):	15.07m²
0.76m W X 5.16 L = 3.92m² X 6 =	23.52m²
WAREHOUSE 21 FLOOR AREA:	426.61m²
REQ'D 10% NATURAL LIGHTING:	42.66m²
NATURAL LIGHT VIA CLEAR ROOF LIGHTS (85% TRANSPARENT OR SIMILAR):	36.49m²
0.76m W X 12.45 L = 9.46m² X 4 =	37.85m²
0.76m W X 2.93 L = 2.22m² X 4 =	8.90m²
Angled Roof Lights Total =	19.50m²
TOTAL NATURAL LIGHTING	66.25m²

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-	14/11/2018	PRELIMINARY ISSUE	M.C.
A	29/05/2019	CONSTRUCTION ISSUE	M.C.
B	13/09/2019	FIRST FLOOR OFFICES REVISED	M.C.

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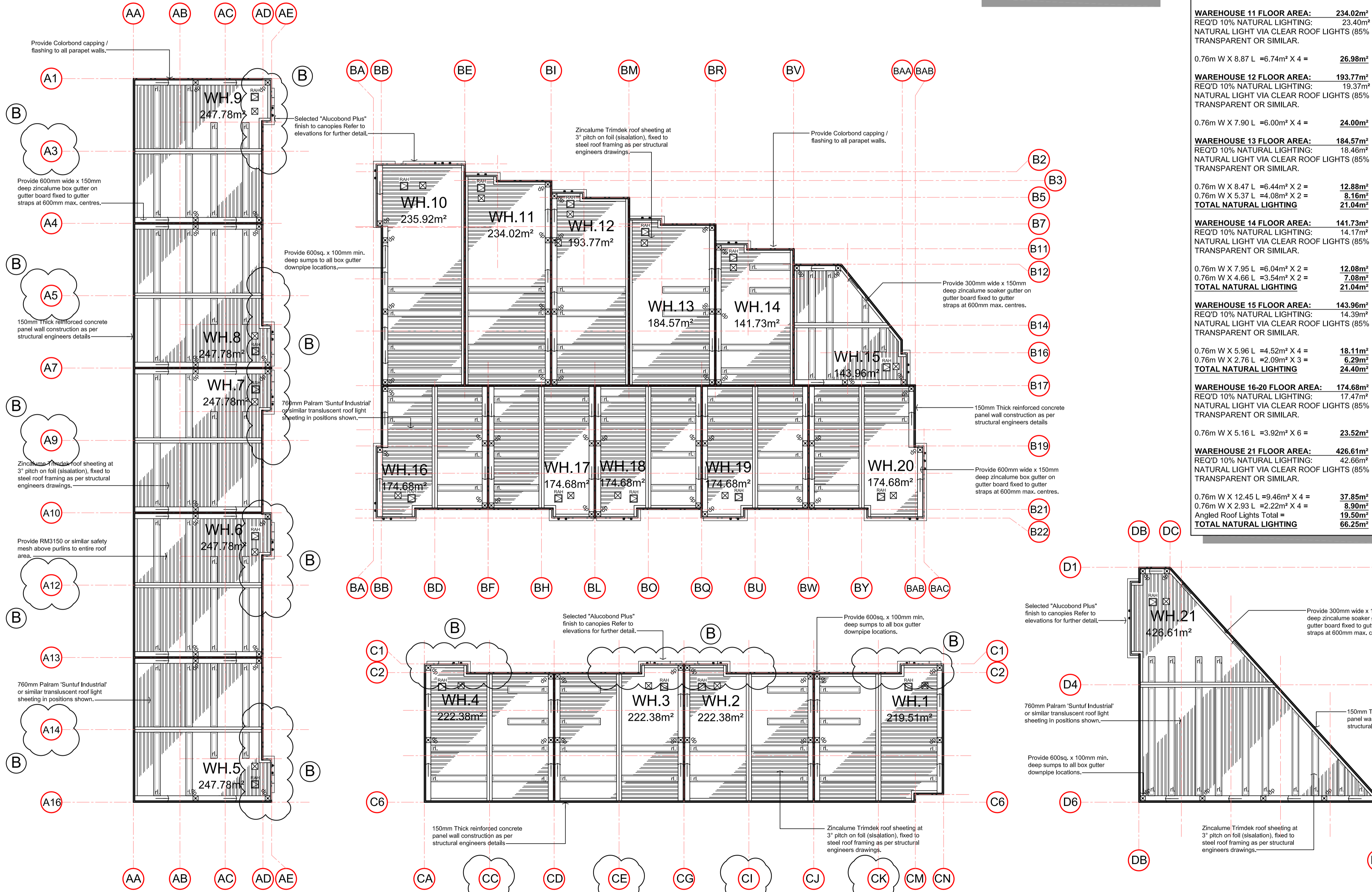
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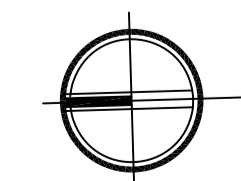
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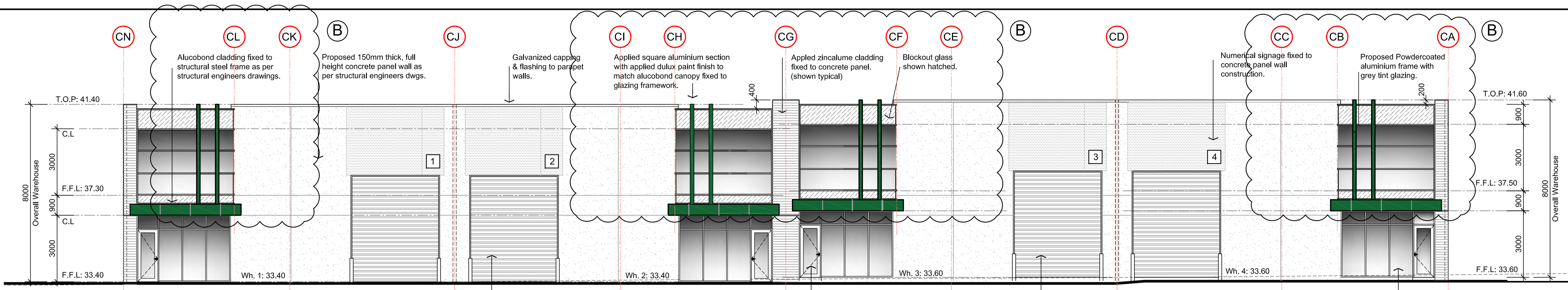
DRAWING TITLE
ROOF PLAN

DATE	SCALE	DRG NO.
OCT 2018	1:250	A16
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M.C.	B.B.	161017

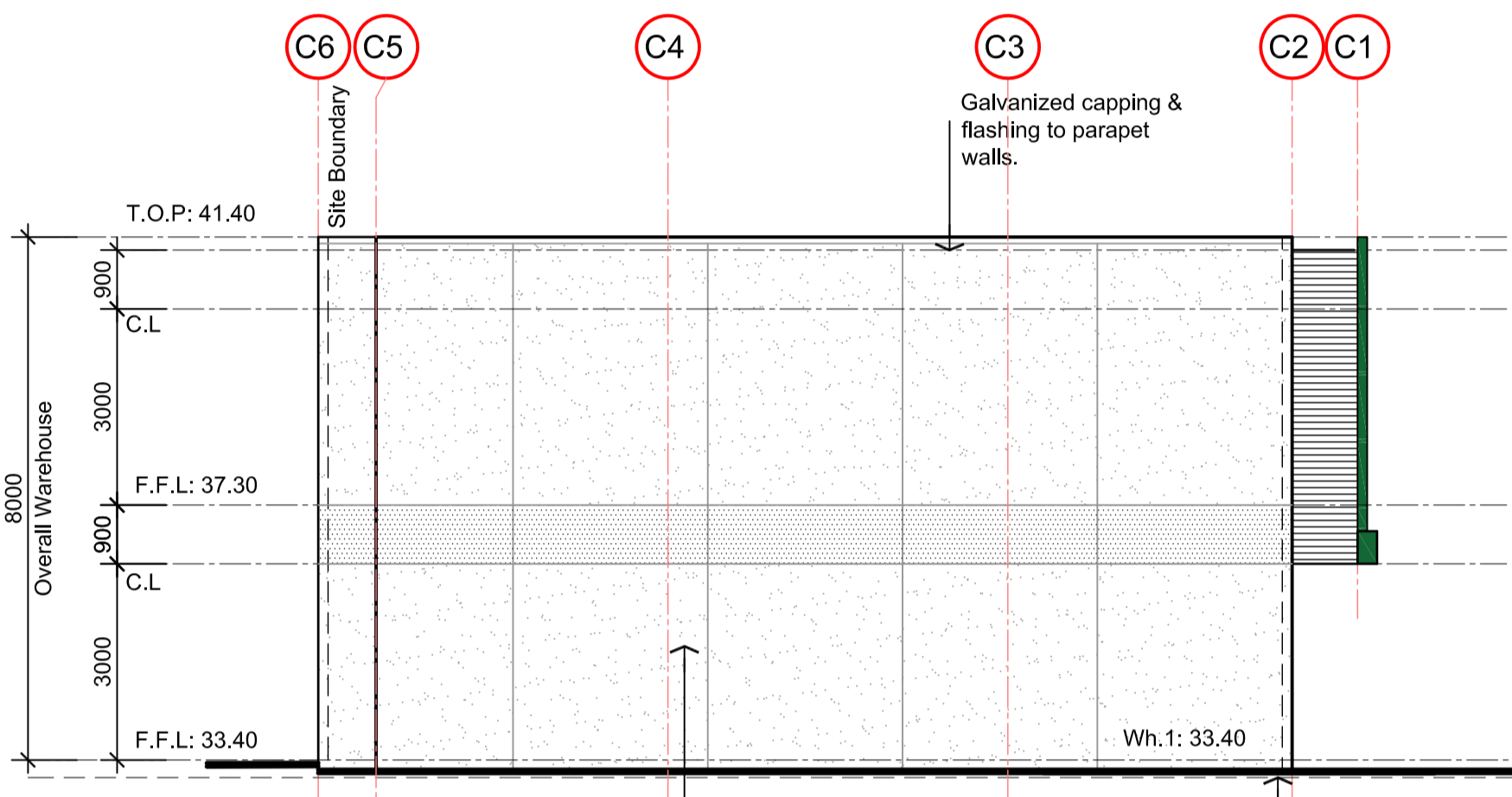


Roof Plan 1:250

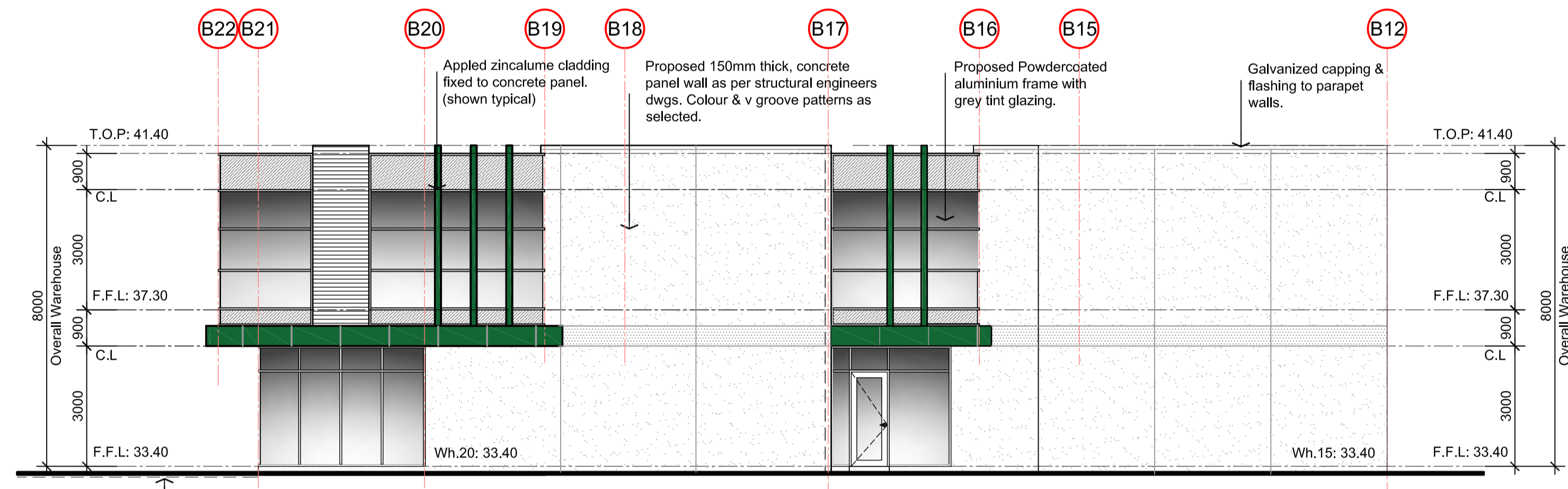




East Elevation 1:100
Warehouse 1 - 4



South Elevation 1:100
Warehouse 1, 15 & 20



Part West Elevation 1:100
Warehouse 1-5, 21

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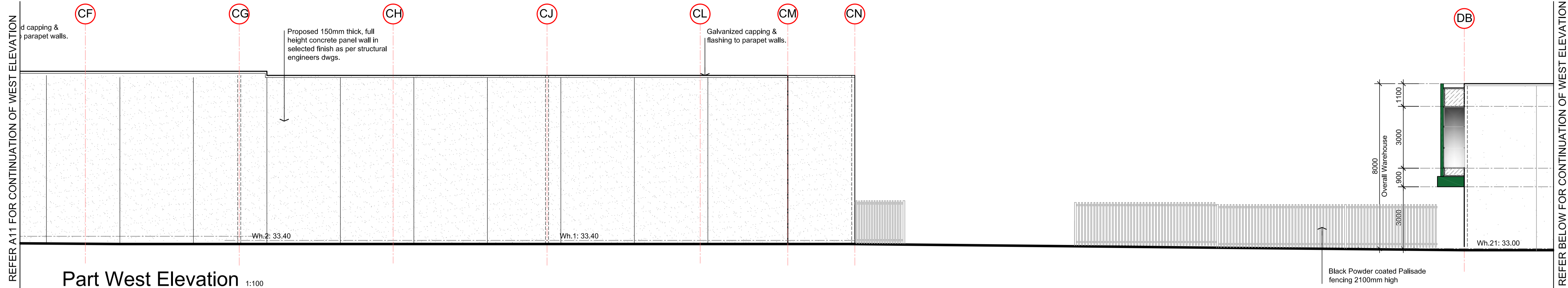

PROJECT
PROPOSED MULTI WAREHOUSE & OFFICE DEVELOPMENT
AT: 59 PARAWEENA DRIVE,
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ELEVATIONS



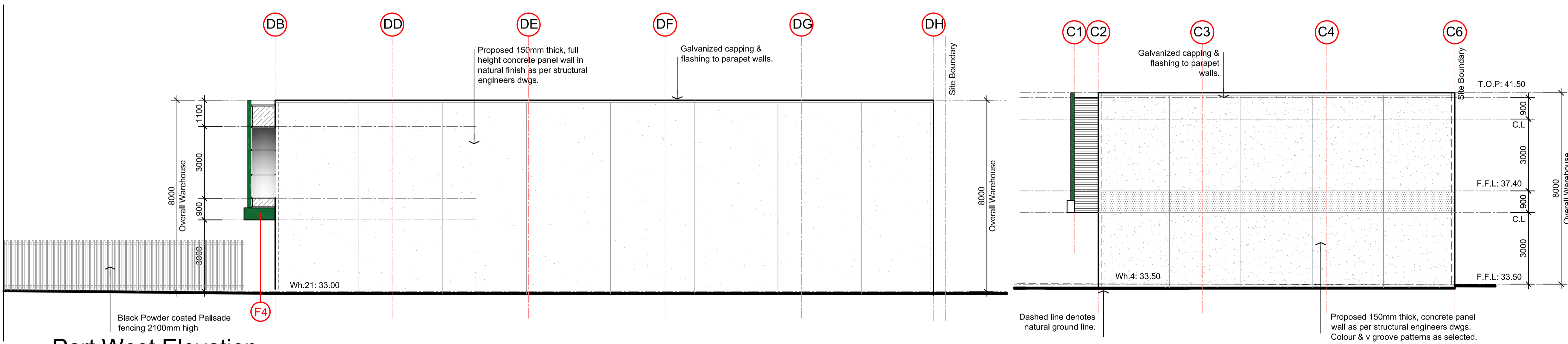
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DRAWN	CHECKED	JOB NO.
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REFER A11 FOR CONTINUATION OF WEST ELEVATION



Part West Elevation 1:100

Warehouse 1-5, 21



Part West Elevation 1:100

Warehouse 1-5, 21

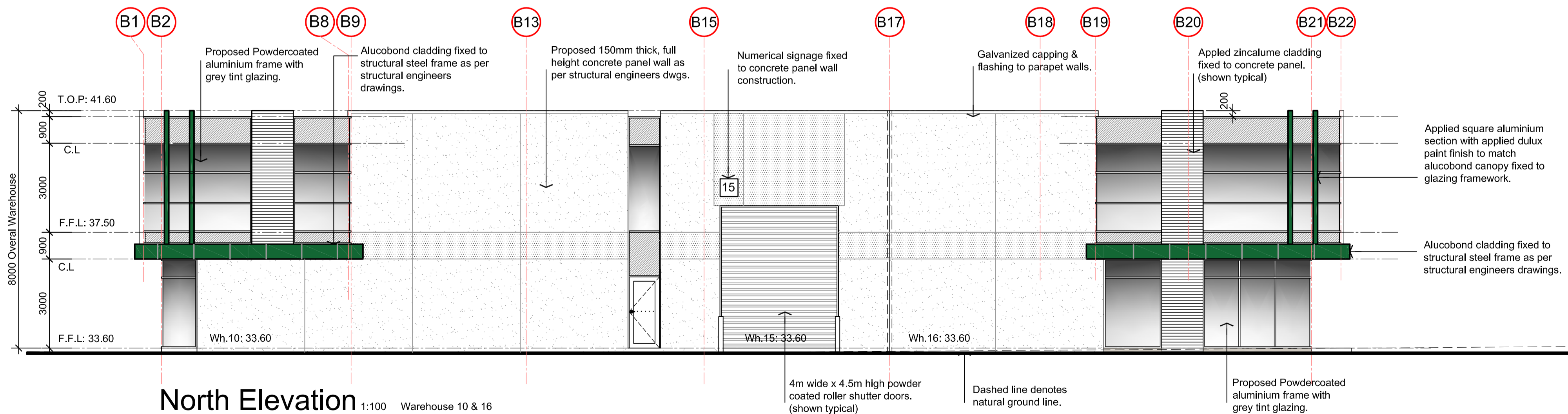
North Elevation 1:100 Warehouse 4

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North Elevation 1:100

Warehouse 10 & 16

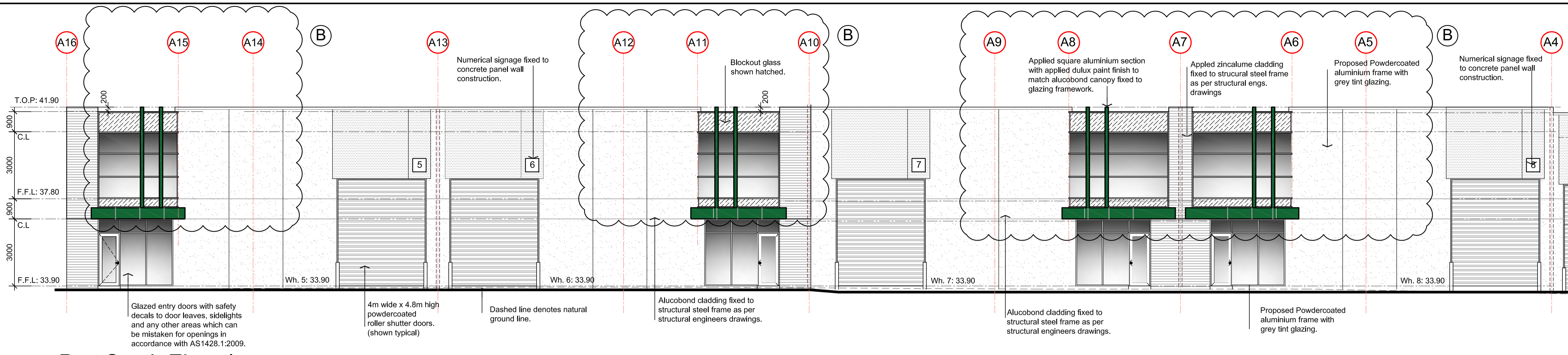
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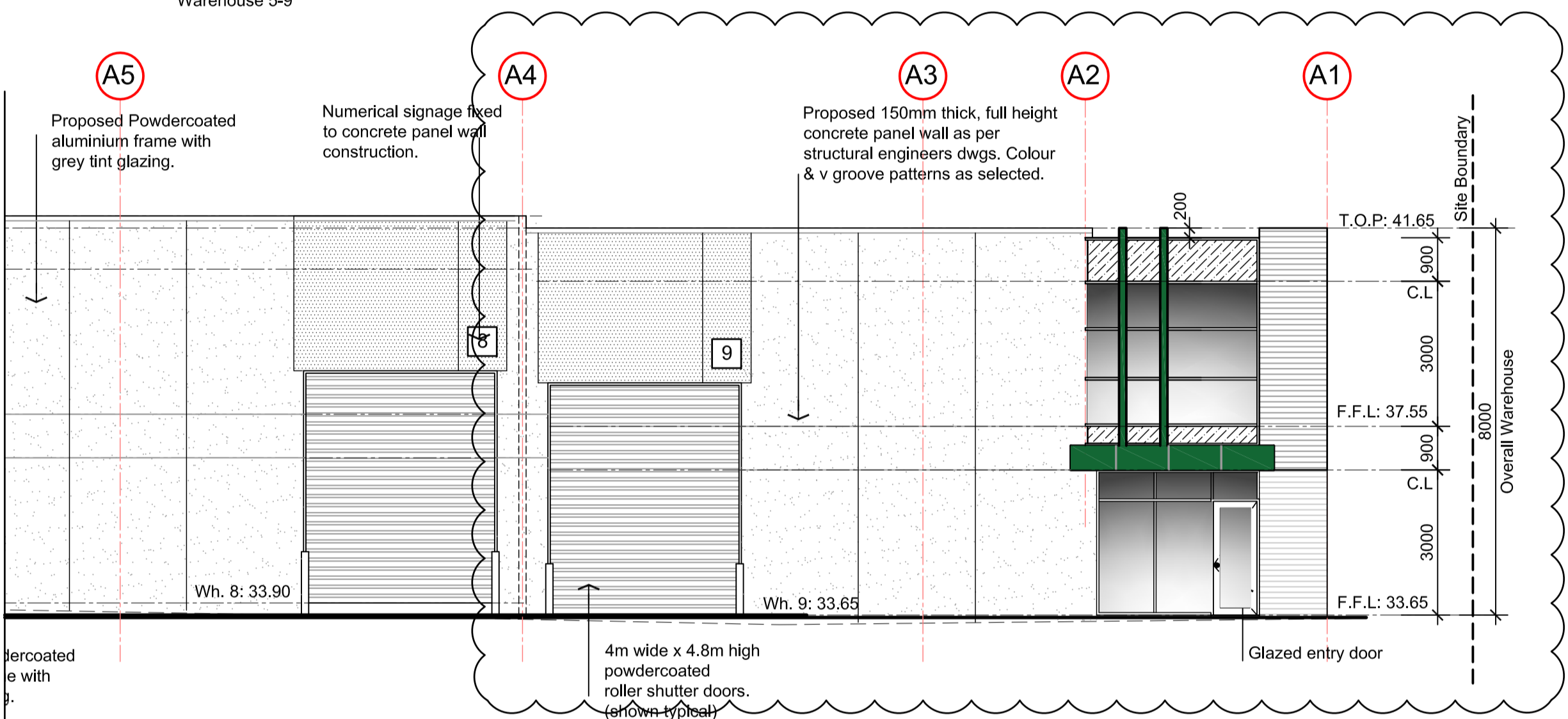
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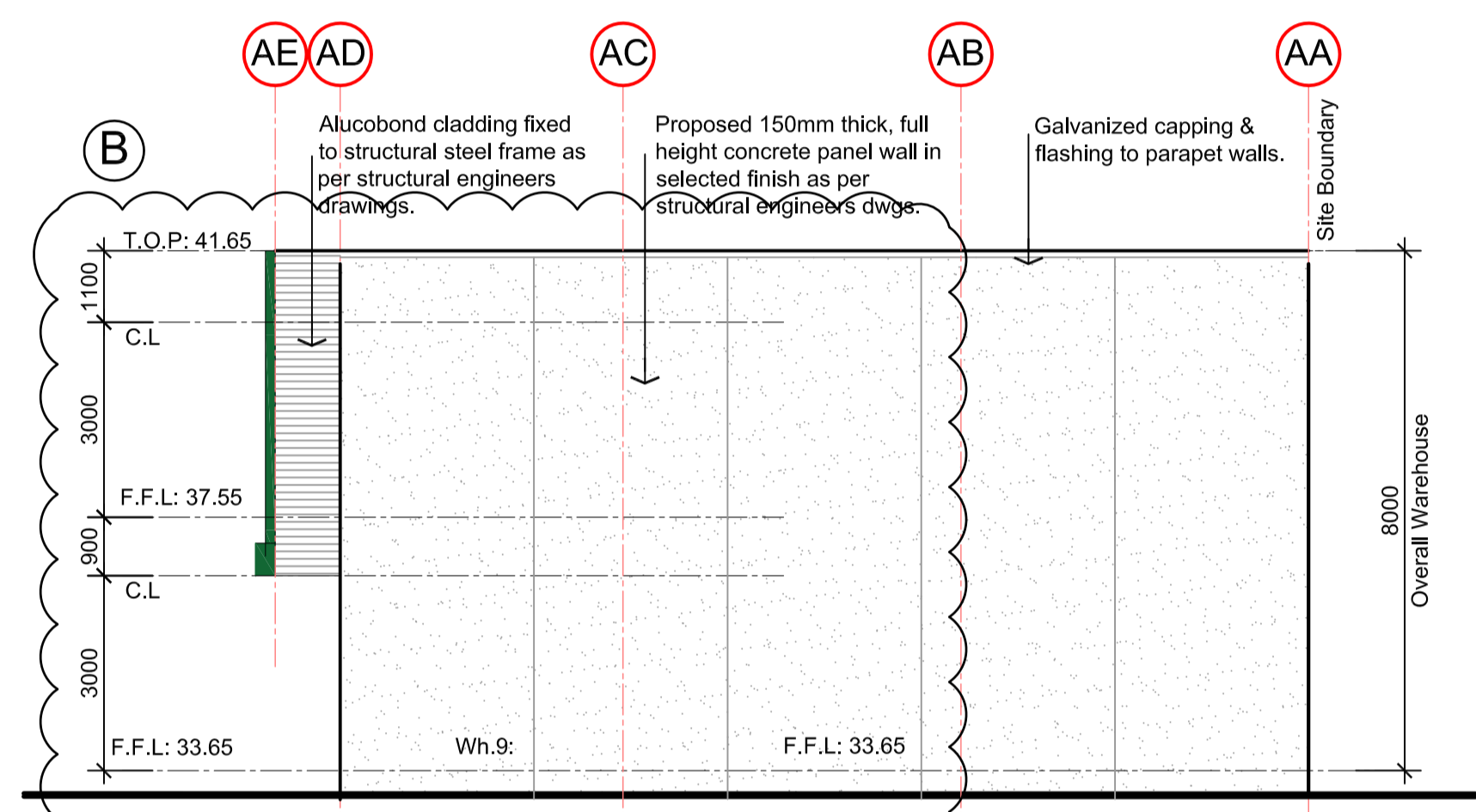
Part South Elevation 1:100
Warehouse 5-9

REFER BELOW FOR CONTINUATION OF SOUTH ELEVATION

REFER ABOVE FOR CONTINUATION OF SOUTH ELEVATION



Part South Elevation 1:100
Warehouse 5-9



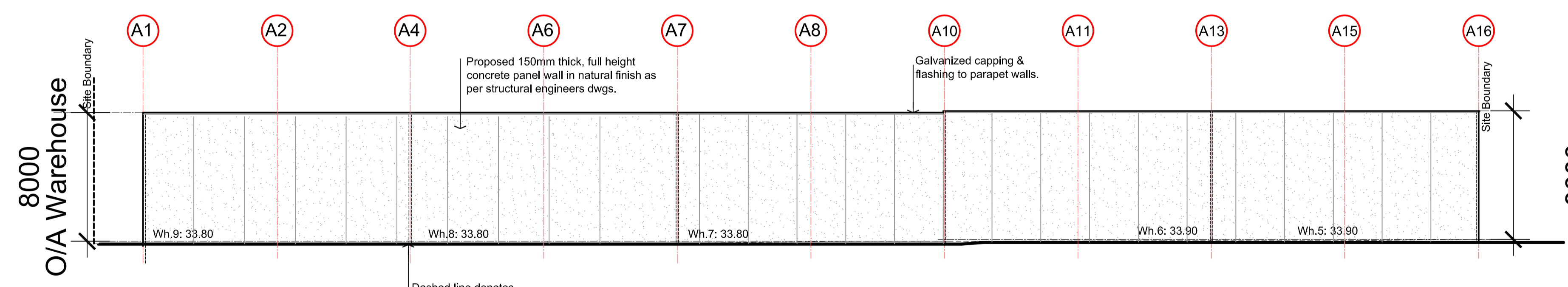
East Elevation 1:100 Warehouse 9

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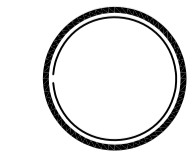
North Elevation 1:100
Warehouse 5-9

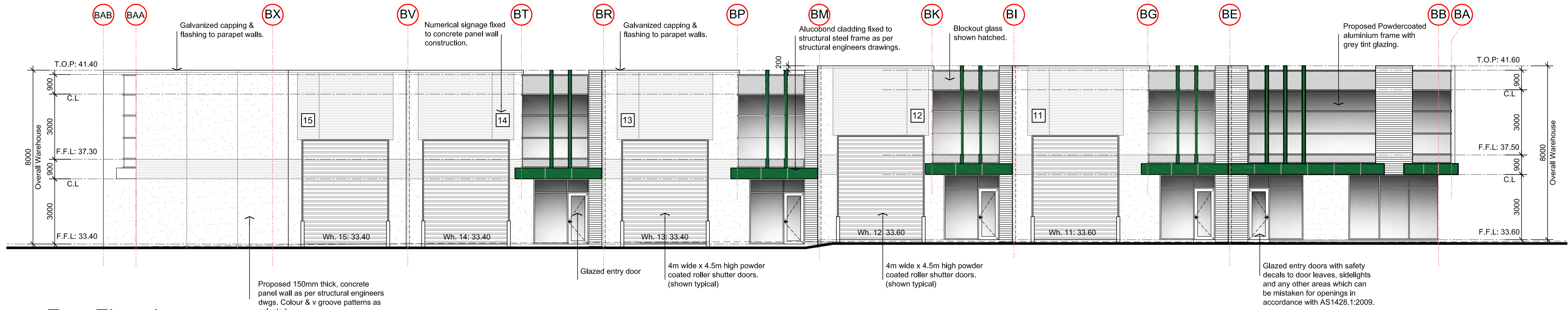
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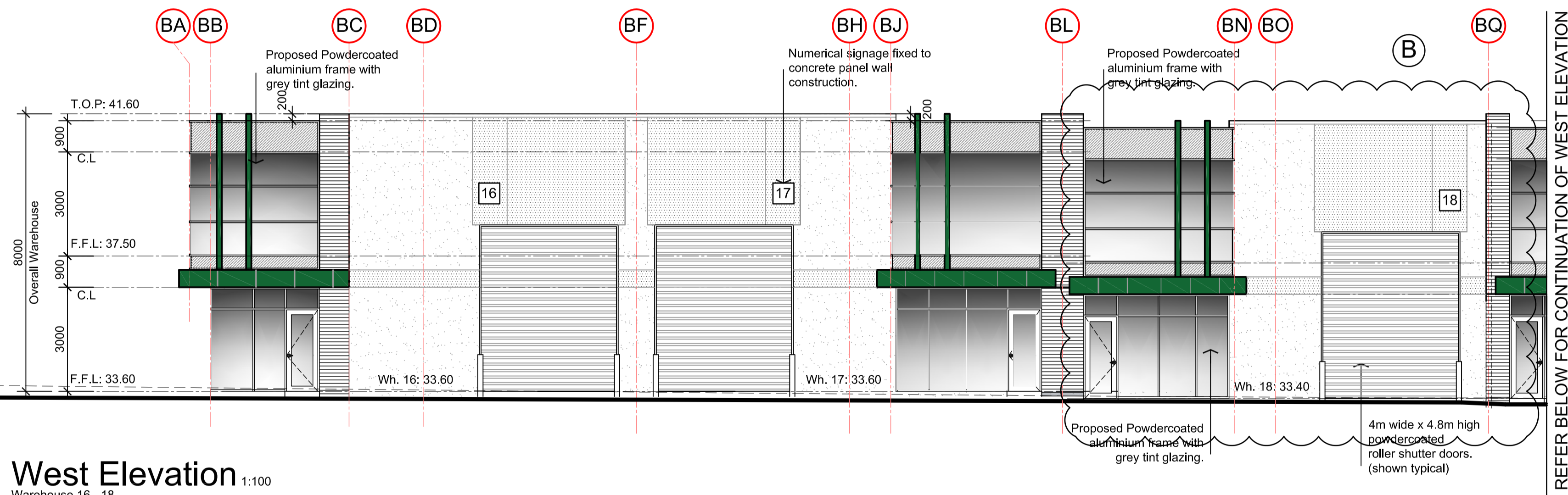
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DRAWING TITLE
ELEVATIONS

DATE	SCALE	DRG NO.
OCT 2018	1:100	A19
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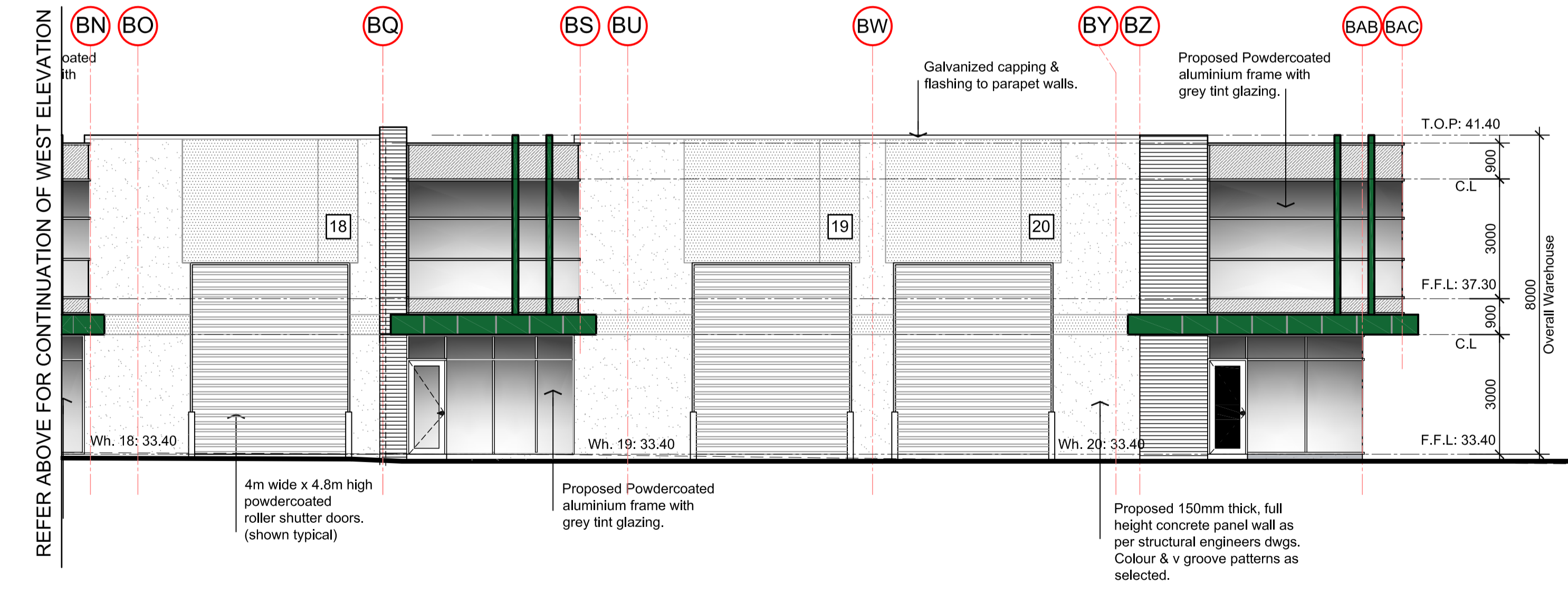




East Elevation 1:100 Warehouse 15 - 20



West Elevation 1:100 Warehouse 16 - 18



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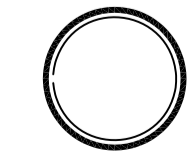
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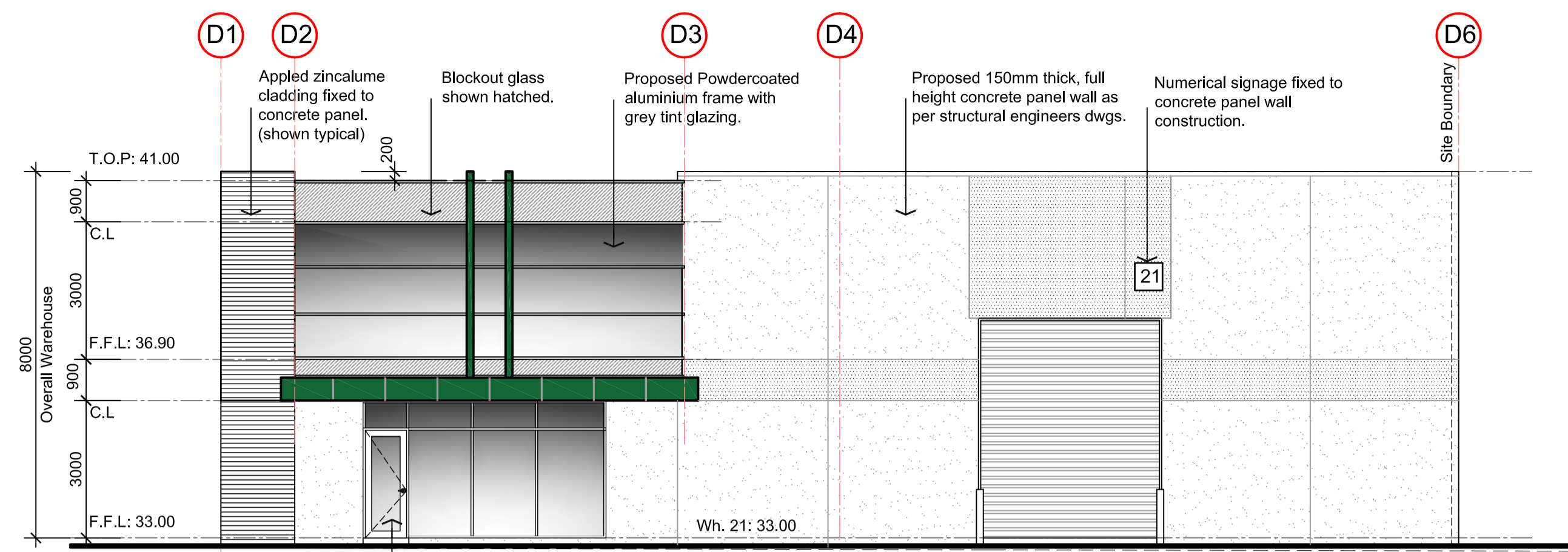



PROJECT
PROPOSED MULTI WAREHOUSE & OFFICE DEVELOPMENT AT: 59 PARAWEENA DRIVE, TRUGANINA

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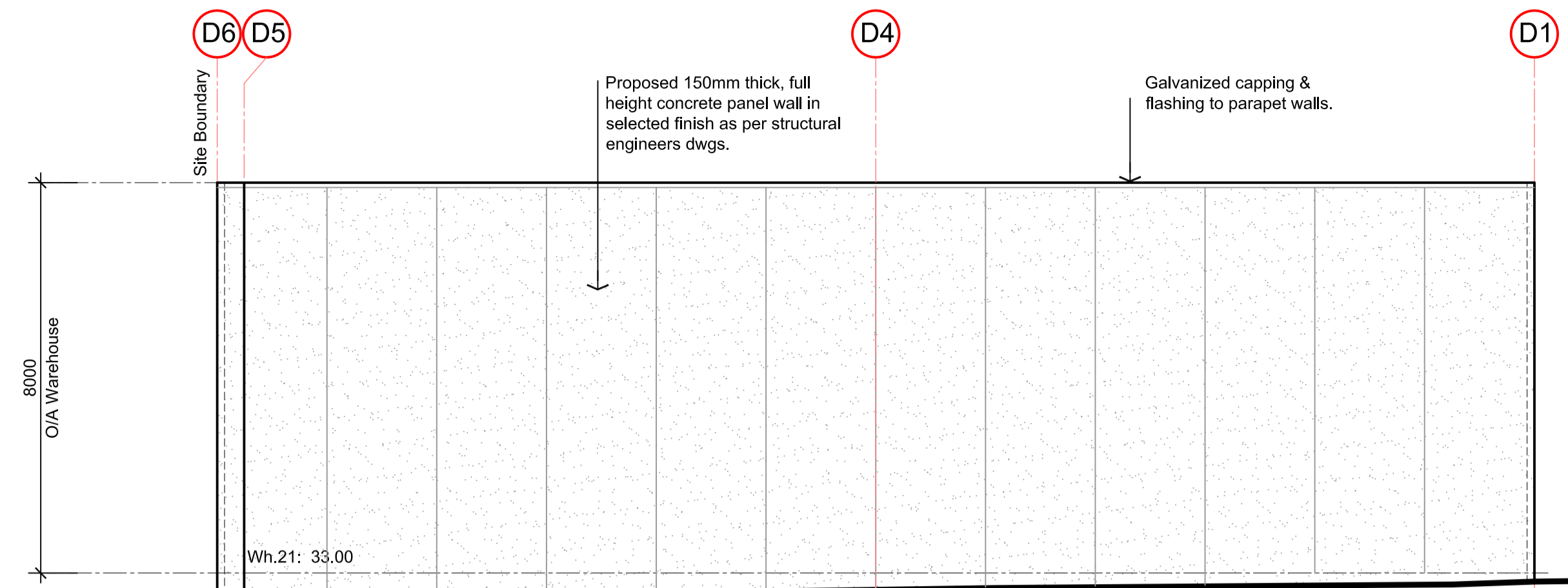
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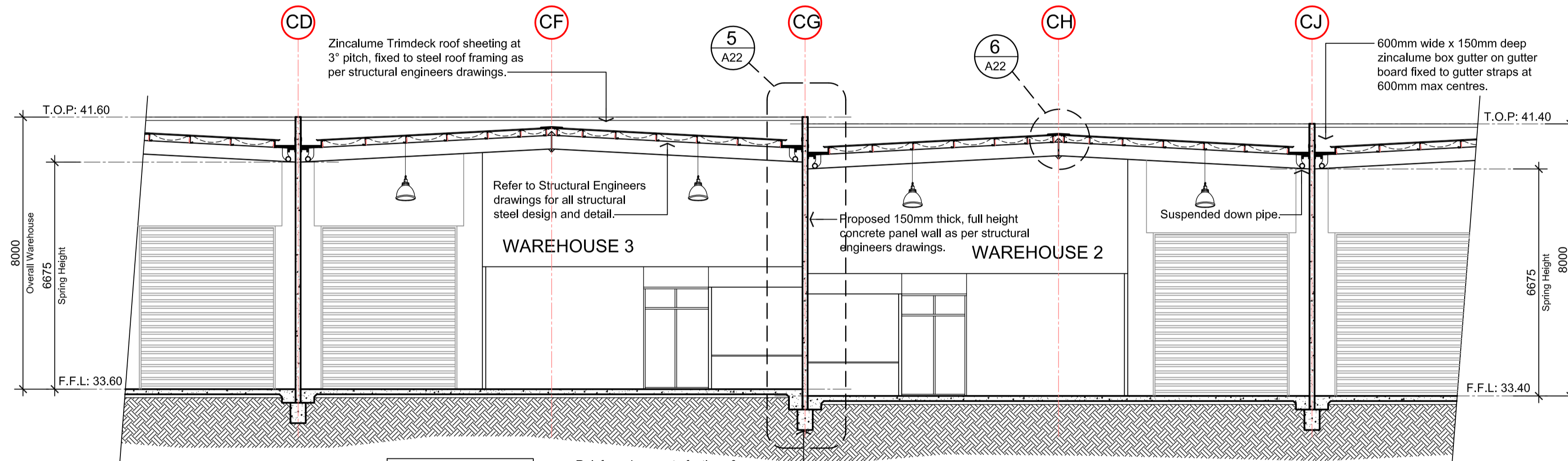


North Elevation 1:100
Warehouse 21

Glazed entry doors with safety decals to door leaves, sidelights and any other areas which can be mistaken for openings in accordance with AS1428.1:2009.



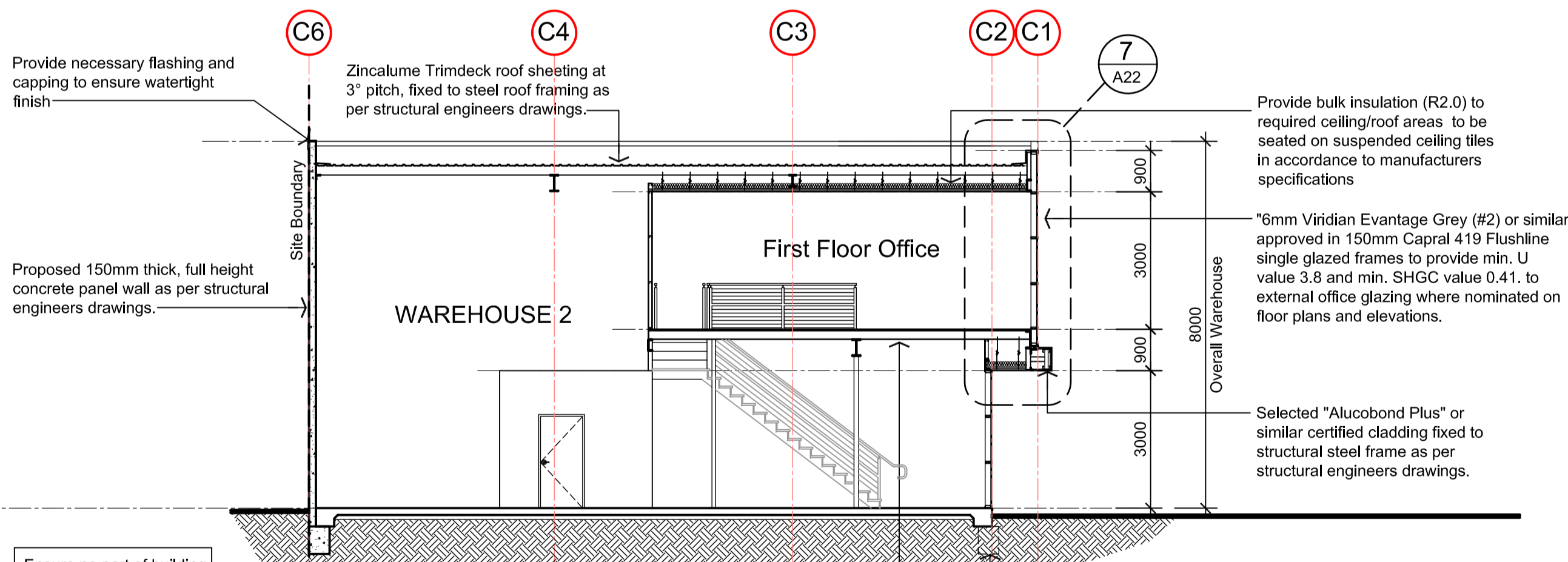
South Elevation 1:100
Warehouse 21



Section A-A
Scale 1:100

Ensure no part of building / footing encroaches title boundary

Reinforced concrete footings & floor slab as per structural engineers drawings.



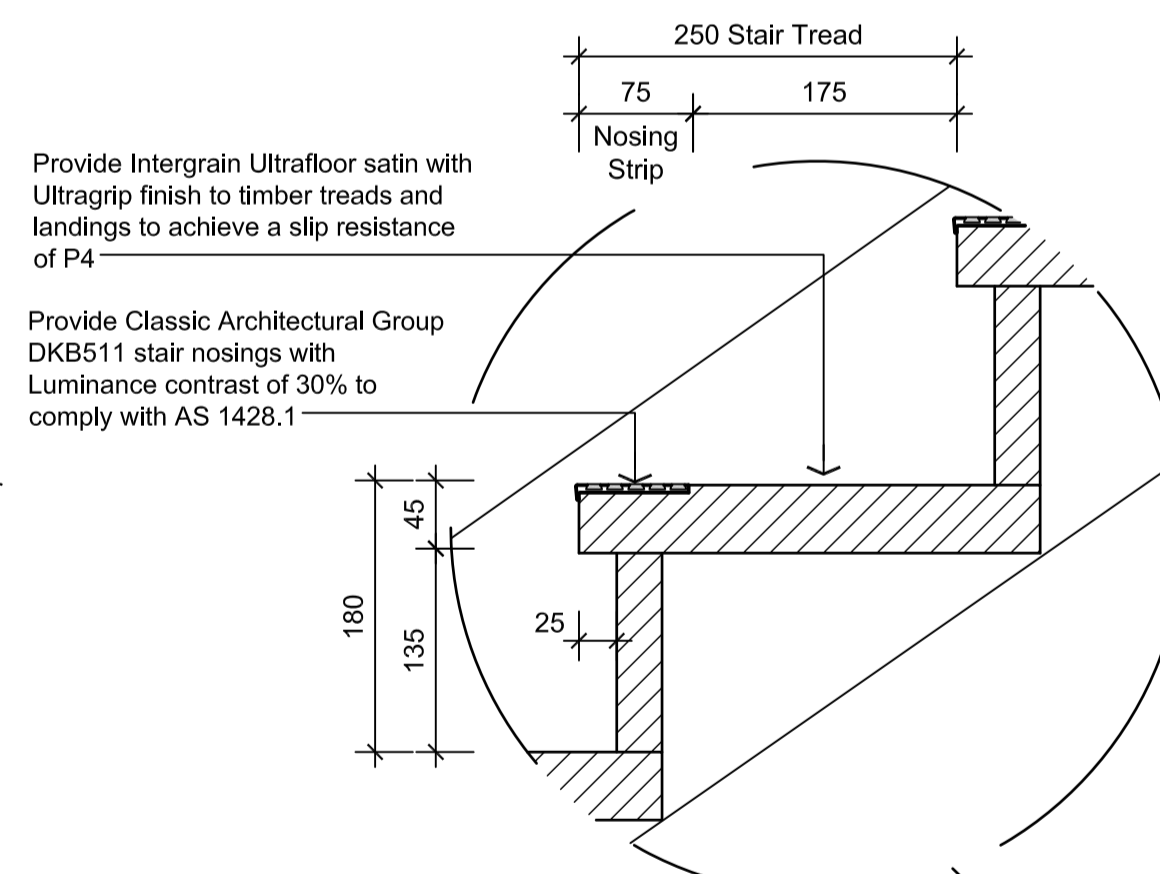
Section B-B
Scale 1:100

Ensure no part of building / footing encroaches title boundary

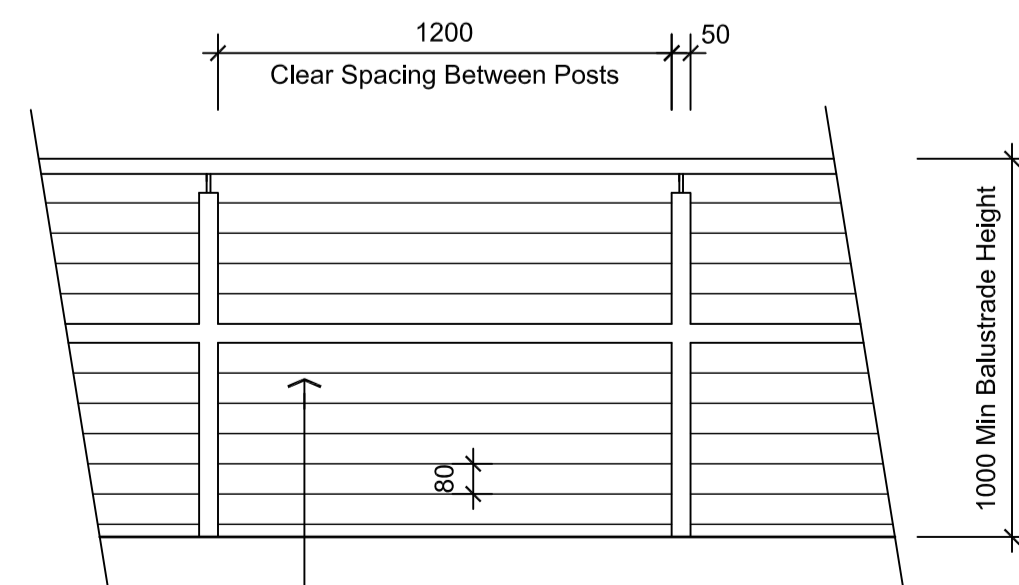
Exposed floor framing to structural engineers drawings

Reinforced concrete footings & floor slab as per structural engineers drawings.

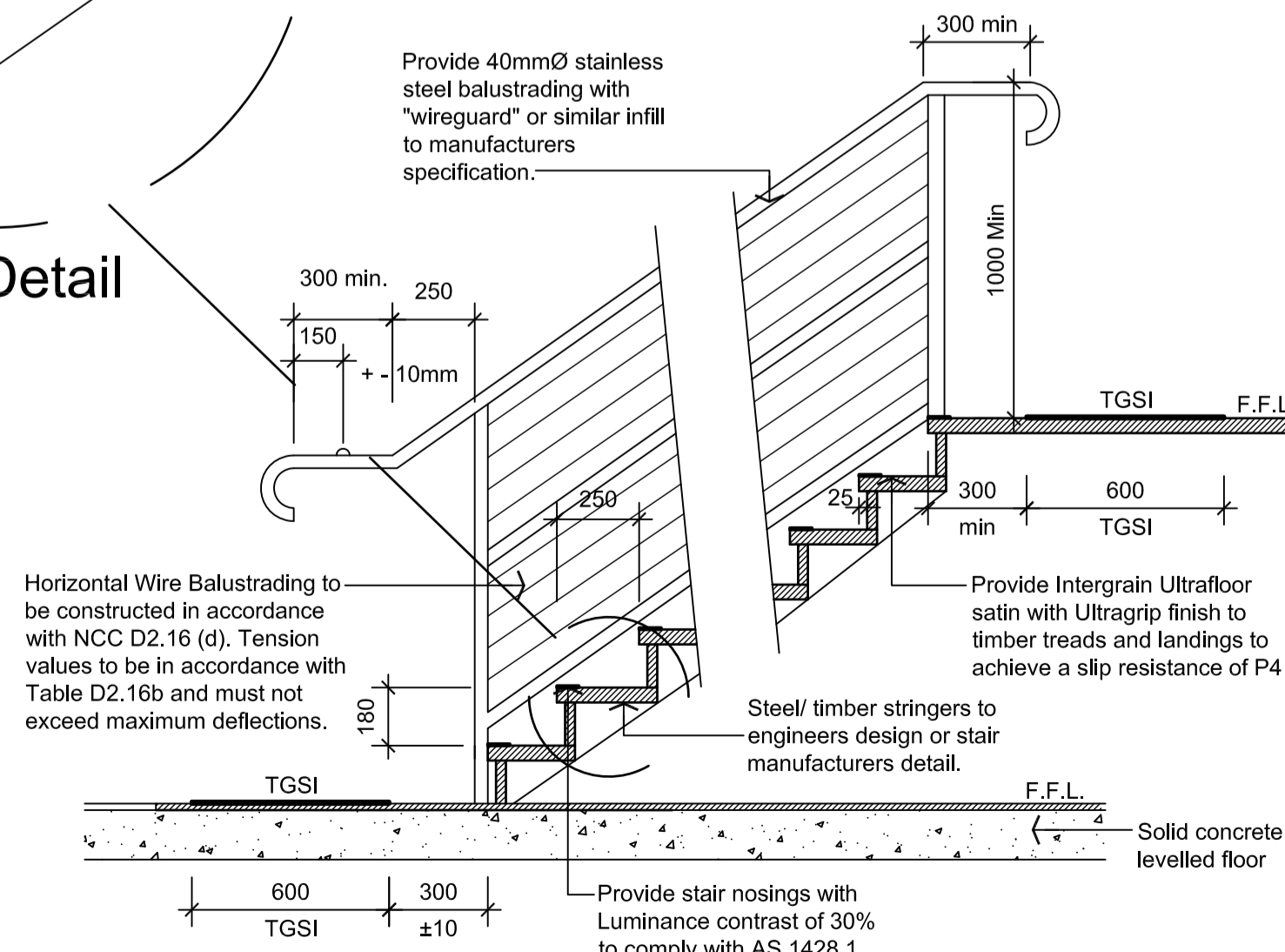
NOTE:
ENSURE NO HORIZONTAL MEMBERS BETWEEN 150mm AND 750mm ABOVE THE FLOOR WITHIN BALUSTRADES IS PERMITTED WHEN THE LOWER FFL IS GREATER THAN 4.0m



Tread Detail
SCALE 1:5



Typical Balustrade Detail
SCALE 1:20



Typical Stair Detail
SCALE 1:20

Stair Note:

REQUIRED STAIR/STEP NOSINGS

ENSURE THAT STAIR NOSINGS HAVE A 50mm HIGH / WIDE COLOURED STRIP OF A COLOUR CONTRASTING TO THE BACKGROUND COLOUR AND TACTILE STRIPS OF GROOVES SET 300mm EACH SIDE OF THE STEP OR STAIR (AND RAMP WHERE FALL IS GREATER THE 1 : 20)

ENSURE THAT STAIR TREADS HAVE OPAQUE RISERS IN ACCORD WITH AS 1428.1:2009

STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE-
RISERS (R) 190mm MAXIMUM AND 115mm MINIMUM
GOING (G) 355mm MAXIMUM AND 250mm MINIMUM
2R + 1G = 700mm MAXIMUM AND 550mm MINIMUM
125mm MAXIMUM GAP TO OPEN TREADS

ALL INTERNAL STEPS, LANDINGS AND THE LIKE TO HAVE A SLIP RESISTANCE OF P3 OR R10. ALL INTERNAL STAIR NOSING STRIPS TO HAVE A SLIP RESISTANCE OF P3 IN ACCORDANCE WITH AS 4586

PROVIDE BALUSTRADES WHERE CHANGE IN LEVEL EXCEEDS 1000mm ABOVE THE SURFACE & BENEATH BALUSTRADES TO BE- 1000mm MIN. ABOVE BALCONIES, LANDINGS OR THE LIKE, AND 865mm MIN. ABOVE STAIR NOSING OR RAMP, AND VERTICAL WITH A 125mm MAXIMUM GAP BETWEEN.

HAND RAILS TO BE 1000MM MINIMUM ABOVE STAIR NOSING HANDRAILS ARE REQUIRED ON BOTH SIDES OF THE STAIR AND WITH 300MM EXTENSIONS AT TOP AND BOTTOM AS SHOWN.

THE WIDTH OF A FLIGHT OF STAIRS (MEASURED CLEAR OF HANDRAILS & OBSTRUCTIONS) SHALL BE 1000MM MIN. AND CONSTANT.

THE MINIMUM HEAD ROOM CLEARANCE TO BE 2000mm.

TACTILE INDICATORS ARE REQUIRED AT THE TOP, BOTTOM & LANDINGS OF THE STAIR FOR VISION IMPAIRED PEOPLE. REFER TO FLOOR PLANS FOR LOCATION.

TENSIONED WIRE BALUSTRADES TO HAVE A WIRE DIAMETER OF 3mm, A LAY OF 7x7 & WIRE SPACING OF 80mm AND A CLEAR DISTANCE OF 1200mm BETWEEN POSTS AND COMPLY WITH NCC D2.16 (d)

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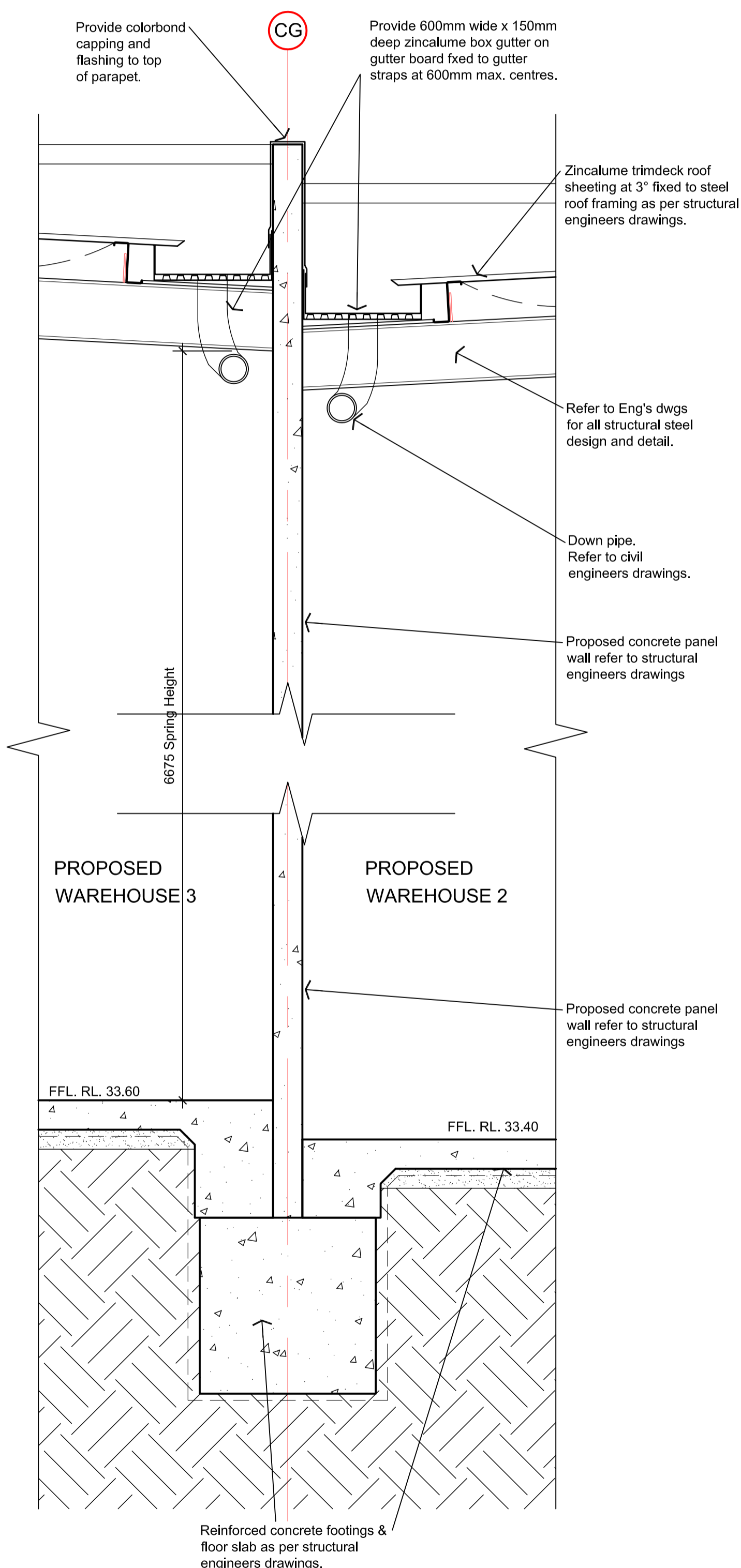
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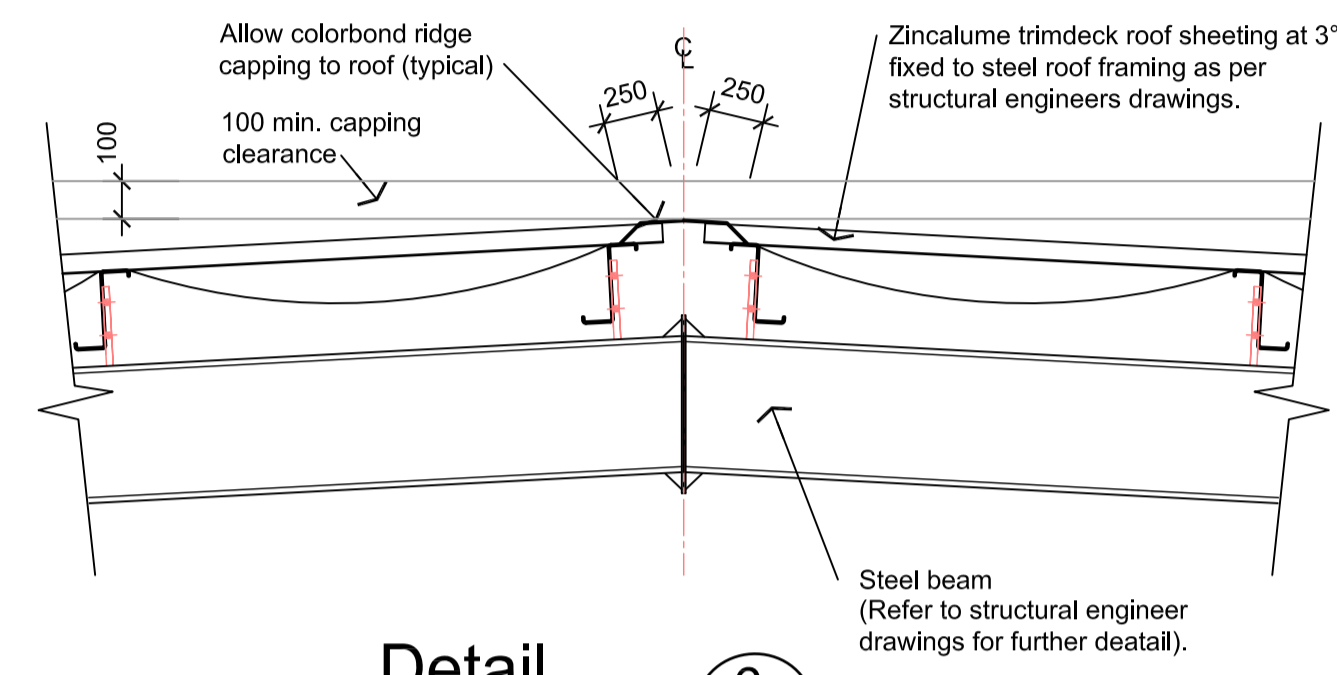
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DRAWING TITLE
ELEVATIONS - SECTIONS - DETAILS

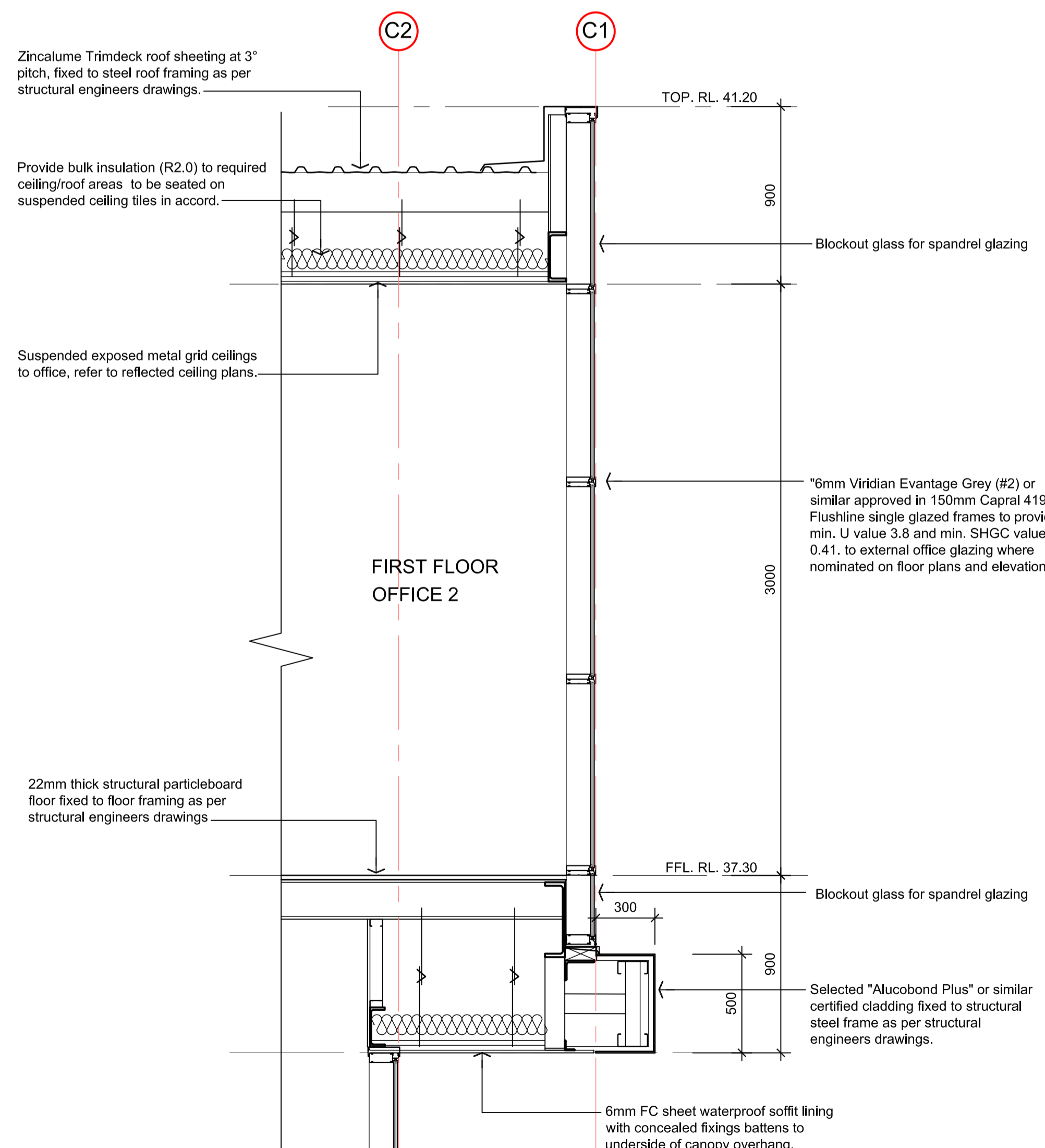
DATE	SCALE	DRG NO.
OCT 2018	AS SHOWN	A21
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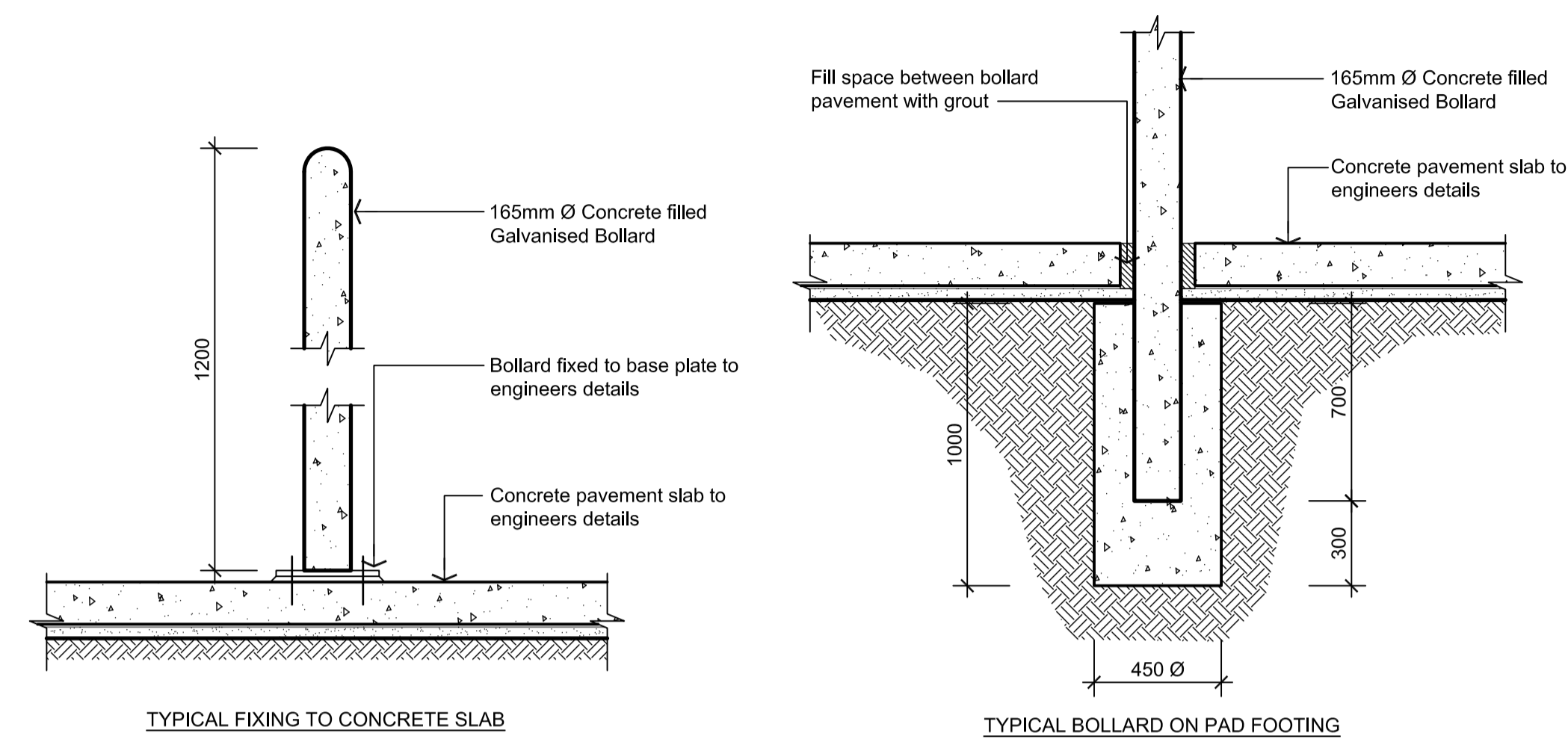
Detail 5
SCALE 1:20
A21



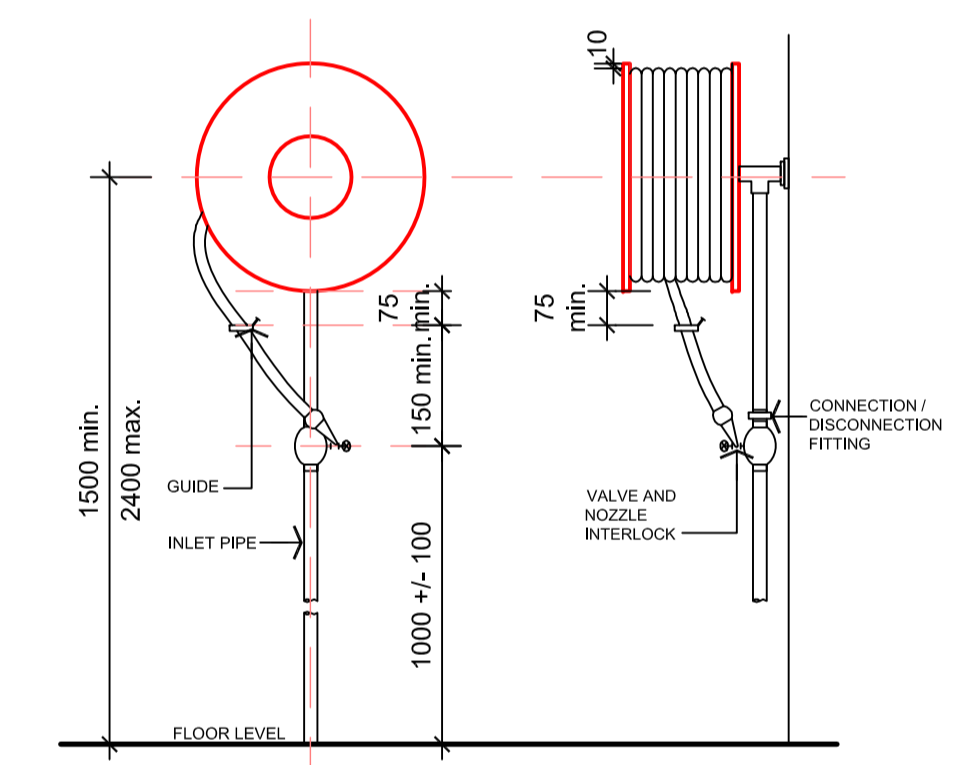
Detail 6
SCALE 1:20
A21



Detail 7
SCALE 1:20
A21



Typical Steel Bollard Details 8
SCALE 1:20



Typical Fire Hose Reel Detail 9
SCALE 1:20

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PROJECT

PROPOSED MULTI WAREHOUSE & OFFICE DEVELOPMENT AT: 59 PARAWEENA DRIVE, TRUGANINA

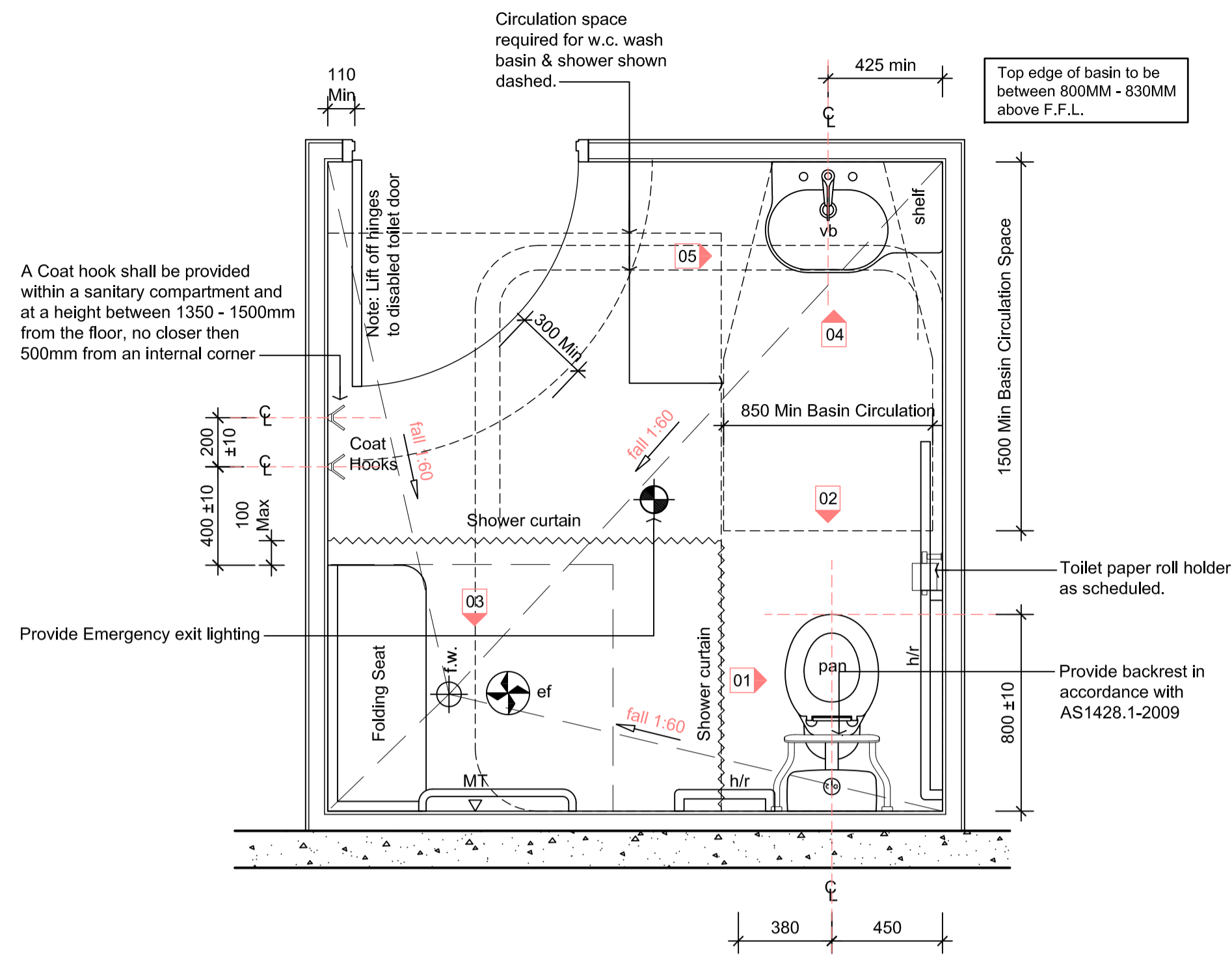
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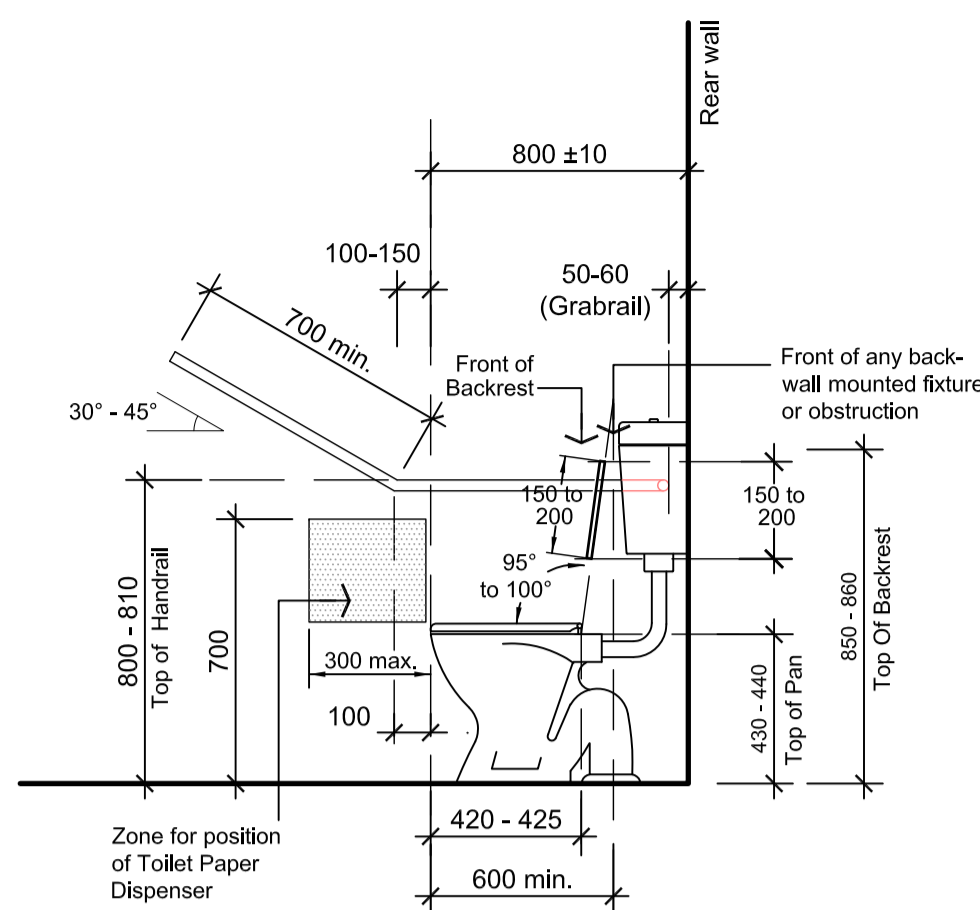
DRAWING TITLE

DETAILS

DATE	SCALE	DRG NO.
OCT 2018	1:20	A22
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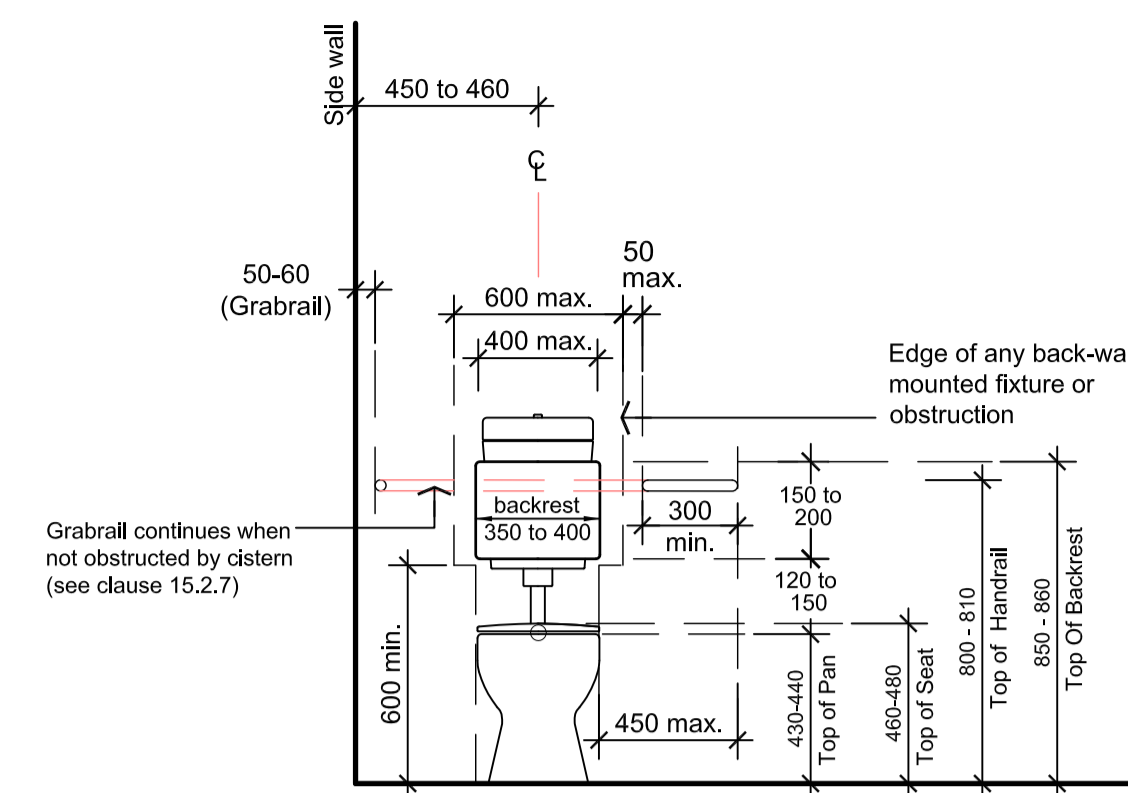


Typical Accessible Toilet Detail 10
SCALE 1:20

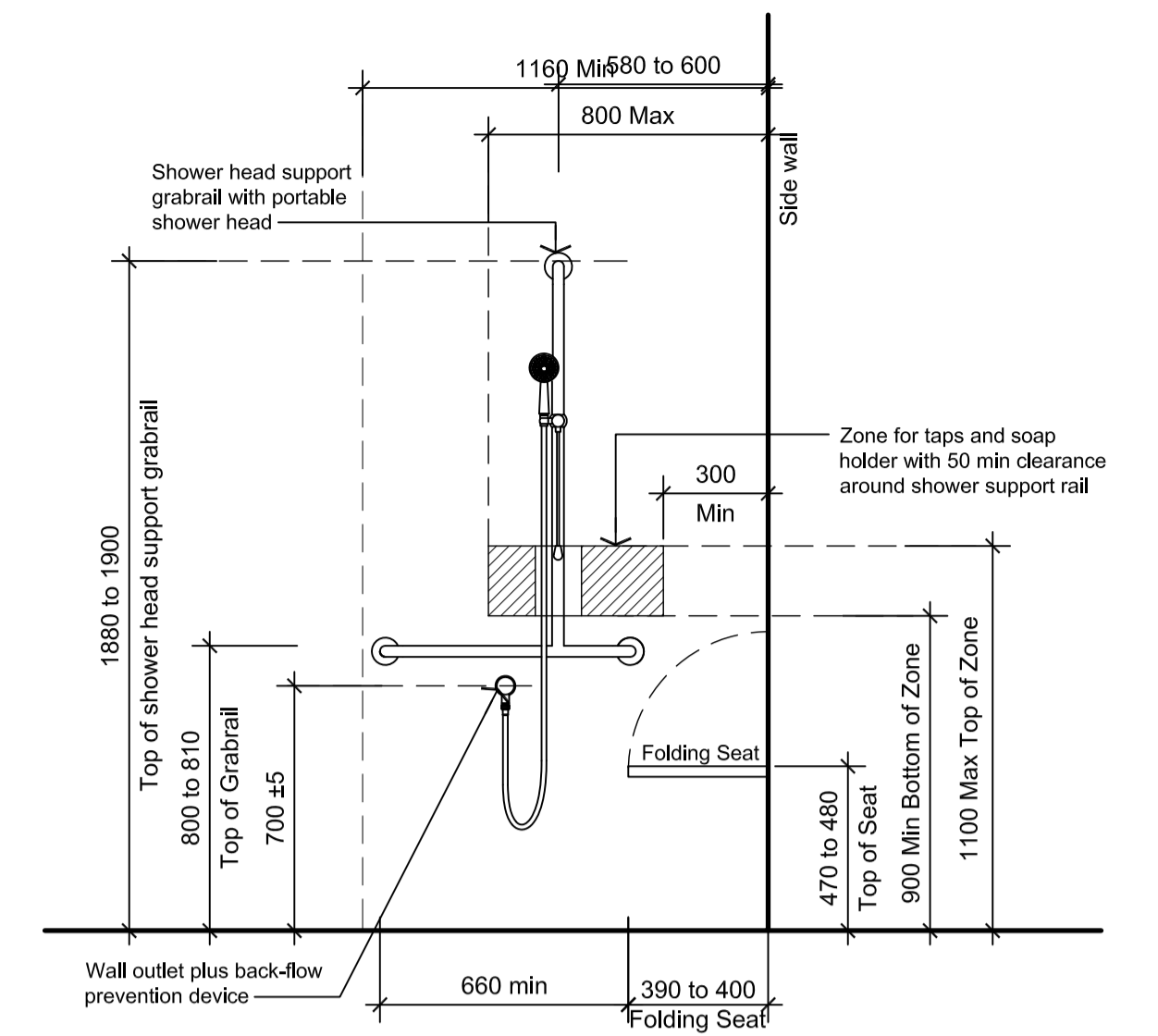


Elevation 01
Accessible Toilet - Side
SCALE 1:20

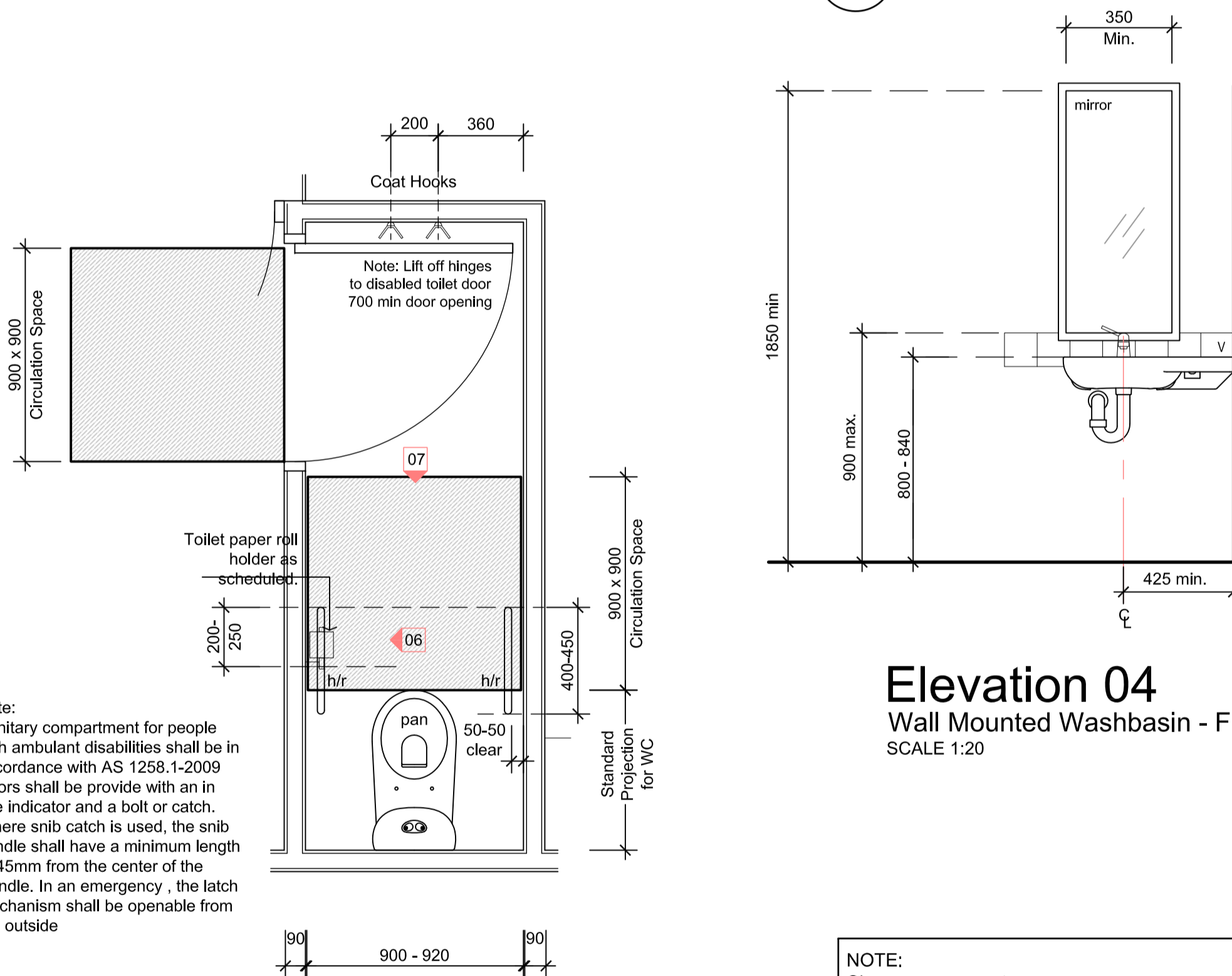
Note:
Accessible persons amenities & circulation spaces must comply fully with AS 1428.1:2009.



Elevation 02
Accessible Toilet - Front
SCALE 1:20



Elevation 03
Shower - Front
SCALE 1:20



Typical Ambulant Toilet Detail
SCALE 1:20

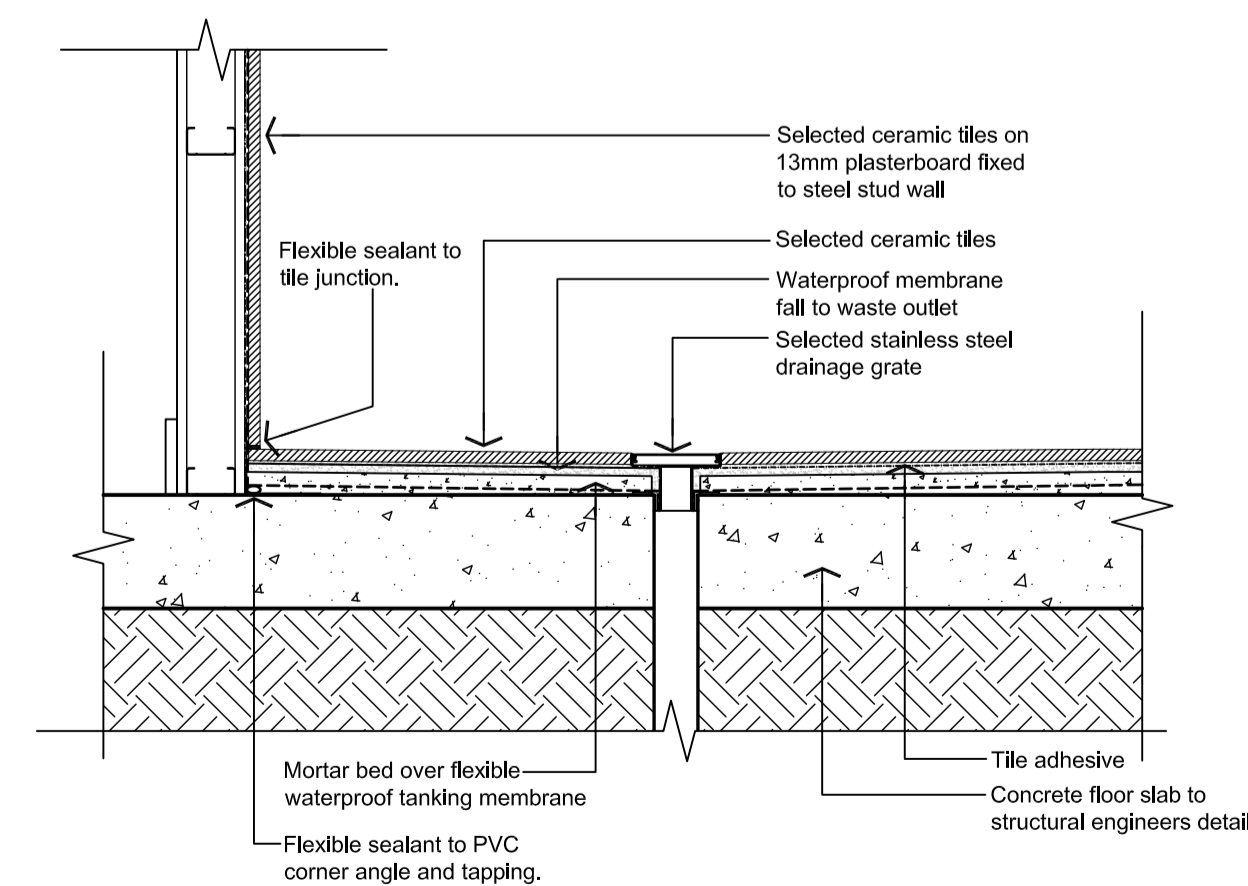
Elevation 04
Wall Mounted Washbasin - Front
SCALE 1:20

Elevation 05
Wall Mounted Washbasin - Side
SCALE 1:20

Elevation 06
Ambulant Toilet - Side
SCALE 1:20

Elevation 07
Ambulant Toilet - Front
SCALE 1:20

NOTE:
Shower areas must;
- Have waterproof floors for the shower area, and
- Have waterproof walls to a height the greater of
- Not less than 150mm above the floor substrate or,
- Not less than 25mm above the maximum retained water level and,
- Be water resistant walls in the shower area to not less than 1800mm above finished floor level of the shower, and
- Be waterproof wall and wall/floor junctions within the shower area, and
- Be waterproof any penetrations in the shower area.
Walls adjoining sinks must;
- Be water resistant to a height not less than 150mm above the sink for the extent of the sink
Water closet areas must;
- Have a water resistant floor, and
- Have a waterproof wall/floor junctions



Typical Shower Waterproofing Detail
SCALE 1:10

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PROJECT

PROPOSED MULTI WAREHOUSE & OFFICE DEVELOPMENT AT: 59 PARAWENA DRIVE, TRUGANINA

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ACCESSIBLE & AMBULANT WC DETAILS

DATE	SCALE	DRG NO.
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**GENERAL NOTES FOR
BCA SECTION J COMPLIANCE:**

J1. BUILDING FABRIC.
ALL REQUIRED INSULATION TO COMPLY WITH AS4859.1 AND BE INSTALLED THAT:
OVERLAPS ADJOINING INSULATION
FORMS CONTINUOUS BARRIER WITH CEILING, WALLS, BULKHEADS FLOORS AND THE LIKE
DOES NOT AFFECT THE SAFE EFFECTIVE OPERATION OF SERVICES OR FITTINGS.
REFLECTIVE INSULATION MUST BE CLOSE FITTING AGAINST ANY PENETRATION, DOOR OR WINDOW AND ADEQUATELY SUPPORTED BY FRAMING MEMBERS. (REFER TO MANUFACTURES SPECIFICATION)
INSTALLED WITH EACH ADJOINING SHEET OF ROLL MEMBRANE BEING OVERLAPPED NOT LESS THAN 50MM OR TAPED TOGETHER.
BULK INSULATION IN ROOF SPACE MUST BE INSTALLED TO MAINTAIN ITS POSITION AND THICKNESS, OTHER THAN WHERE IT CROSSES BATTERNS, WATER PIPES, ELECTRICAL CABLING OR THE LIKE.

ALL ROOF LIGHTS TO WAREHOUSE TO COMPLY WITH PART J1.4 AND PROVIDE A MINIMUM U-VALUE OF 1.3w/m² AND SHGC OF .25 (REFER TO MANUFACTURES SPECIFICATION.)

ALL REQUIRED EXTERNAL WALLS TO BE FITTED WITH "RETROSHIELD" OR SIMILAR INSULATION TO ACHIEVE MIN R2.8 VALUE IN ACCORDANCE WITH PART J1.5 OF BCA. TO BE FITTED IN ACCORD. WITH MANUFACTURES SPECIFICATION.

J2. EXTERNAL GLAZING.
PROVIDE SINGLE LEAF GLAZING- OR SIMILAR TO PROVIDE MIN. U VALUE AND MIN. SHGC VALUE. ALL EXTERNAL OFFICE GLAZING. AS PER THE LEGEND BELOW.

ALL GLAZING TO BE IN ACCORDANCE WITH AS1288-1999 AND AS2047.

J3. BUILDING SEALING.
ALL WINDOWS TO COMPLY WITH AS 2047.

ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND ANY OPENINGS SUCH AS A WINDOW, DOOR OR THE LIKE SHALL BE ENCLOSED BY INTERNAL LINING SYSTEMS THAT ARE CLOSE FITTING AT CEILING, WALL AND FLOOR JUNCTIONS OR SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE IN ALL CONDITIONED SPACES.

SELF CLOSING DEVICE TO MAIN ENTRANCE DOORS IF MANUALLY OPERATED. PROVIDE RUBBER COMPRESSIBLE STRIP SEALS OR SIMILAR TO ENTIRE PERIMETER OF DOOR FRAMES EXCLUDING FIRE OR SMOKE DOORS.

ALL EXHAUST FANS SHALL BE FITTED WITH SELF CLOSING DAMPER OR SIMILAR APPROVED.

J4. AIR MOVEMENT.

NOT APPLICABLE

J5. HVAC SYSTEMS.

AIR CONDITIONING AND VENTILATION SYSTEMS TO COMPLY WITH PART J5 OF THE BCA 2014. MECHANICAL ENGINEER/CONTRACTOR TO PROVIDE BUILDING SURVEYOR WITH CERTIFICATE OF COMPLIANCE.

J6. ARTIFICIAL LIGHTING AND POWER

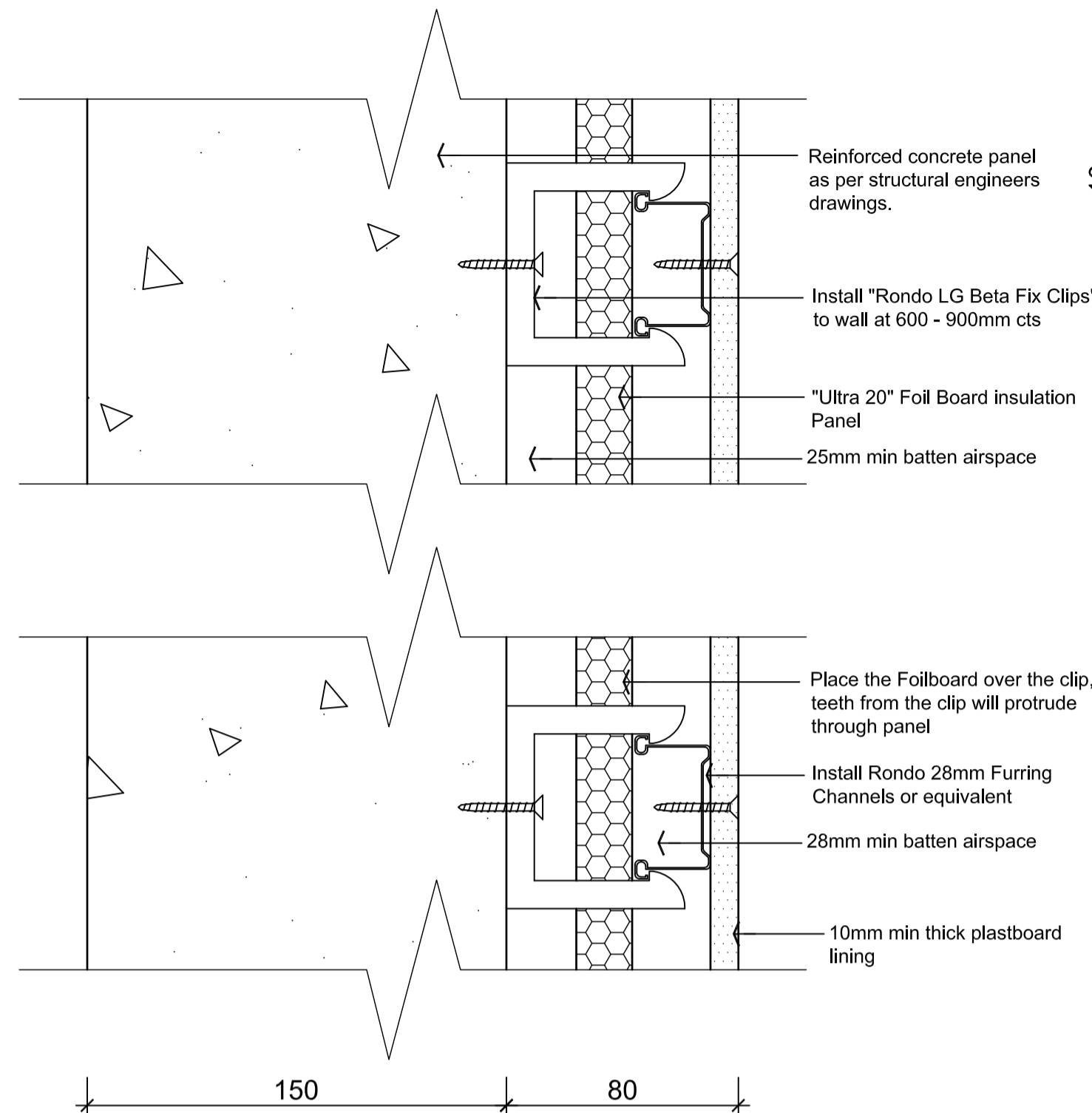
ARTIFICIAL LIGHTING AND POWER SYSTEMS TO COMPLY WITH PART J6 OF THE BCA 2014. ELECTRICAL ENGINEER/CONTRACTOR TO PROVIDE BUILDING SURVEYOR WITH CERTIFICATE OF COMPLIANCE.

NOTE: INSTALL ALL LIGHTING POWER CONTROL DEVICES INCLUDING TIMERS, TIME SWITCHES, MOTION DETECTORS AND DAYLIGHT CONTROL DEVICES IN ACCORDANCE WITH J6.1-6.6 AND SPECIFICATION J6 OF THE BCA.

ARTIFICIAL LIGHTING TO THE EXTERNAL PERIMETER OF THE BUILDING TO BE CONTROLLED BY DAYLIGHT SENSORS AND HAVE A MAX 40LUMENS/W.

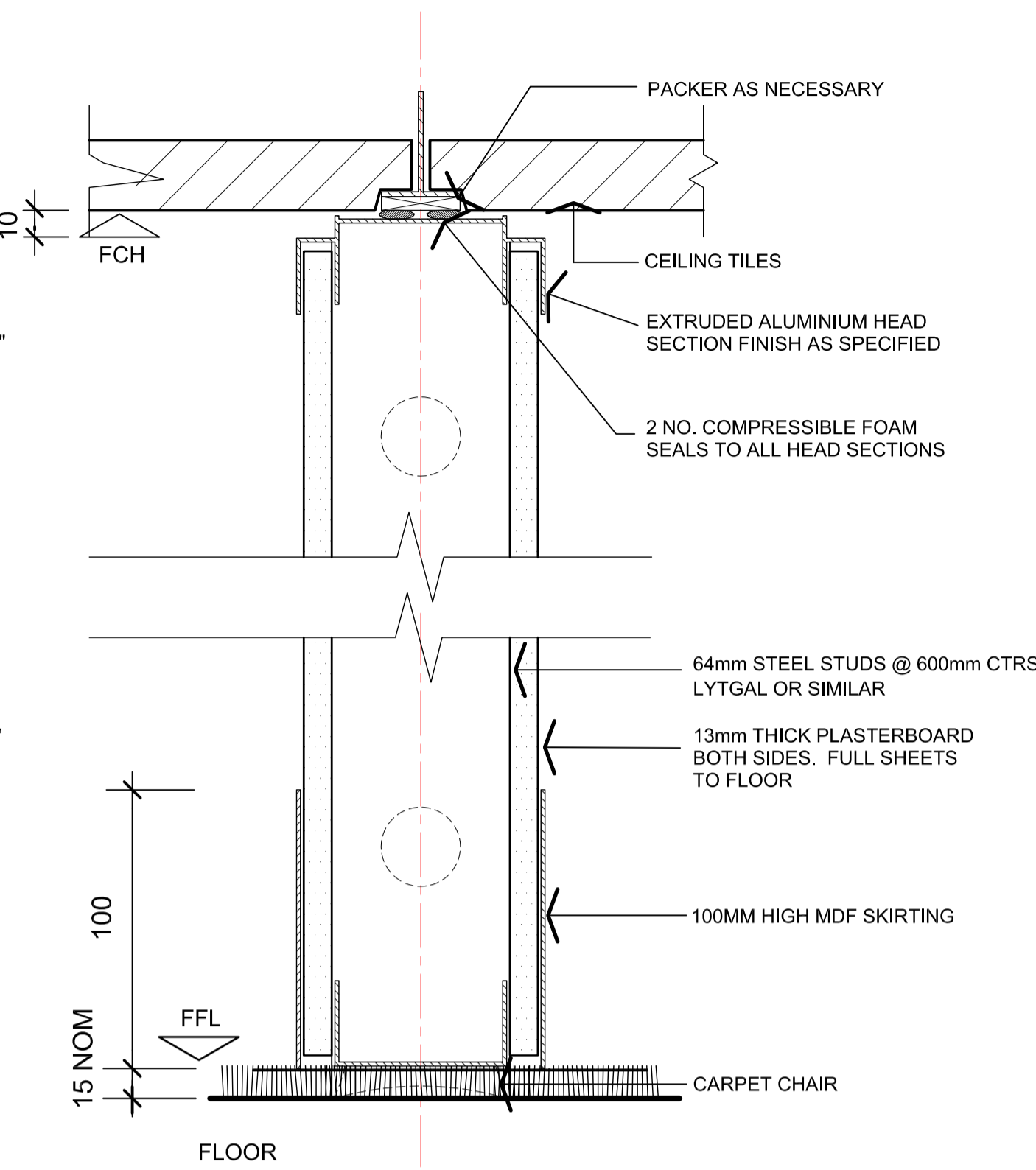
Wall Legend

- P1** 150mm Thick Concrete Panel Wall
- P2** 150mm Thick Concrete Panel Wall with Zincalume Custom Orb cladding on furring channels fixed to Concrete Panel
- P3** 150mm Thick Concrete Panel Wall with "Foil Board Ultra 20-" insulation Panel or similar to all external walls only to achieve R2.8 min. Refer to detail for further information. (floor to ceiling)
- P4** Solid partition internal walls (metal stud & plasterboard) to 2700mm high (floor to ceiling)
- P5** Solid partition external walls (metal stud & plasterboard) full height with "Bulk Insulation" b/w studs or similar. Provide Zincalume Custom Orb cladding as noted on the elevations.
- G1** *6mm Viridian Everage Grey (#2) or similar approved in 150mm Capral 419 Flushline single glazed frames to provide min. U value 3.8 and min. SHGC value 0.41. to external office glazing where nominated on floor plans and elevations.



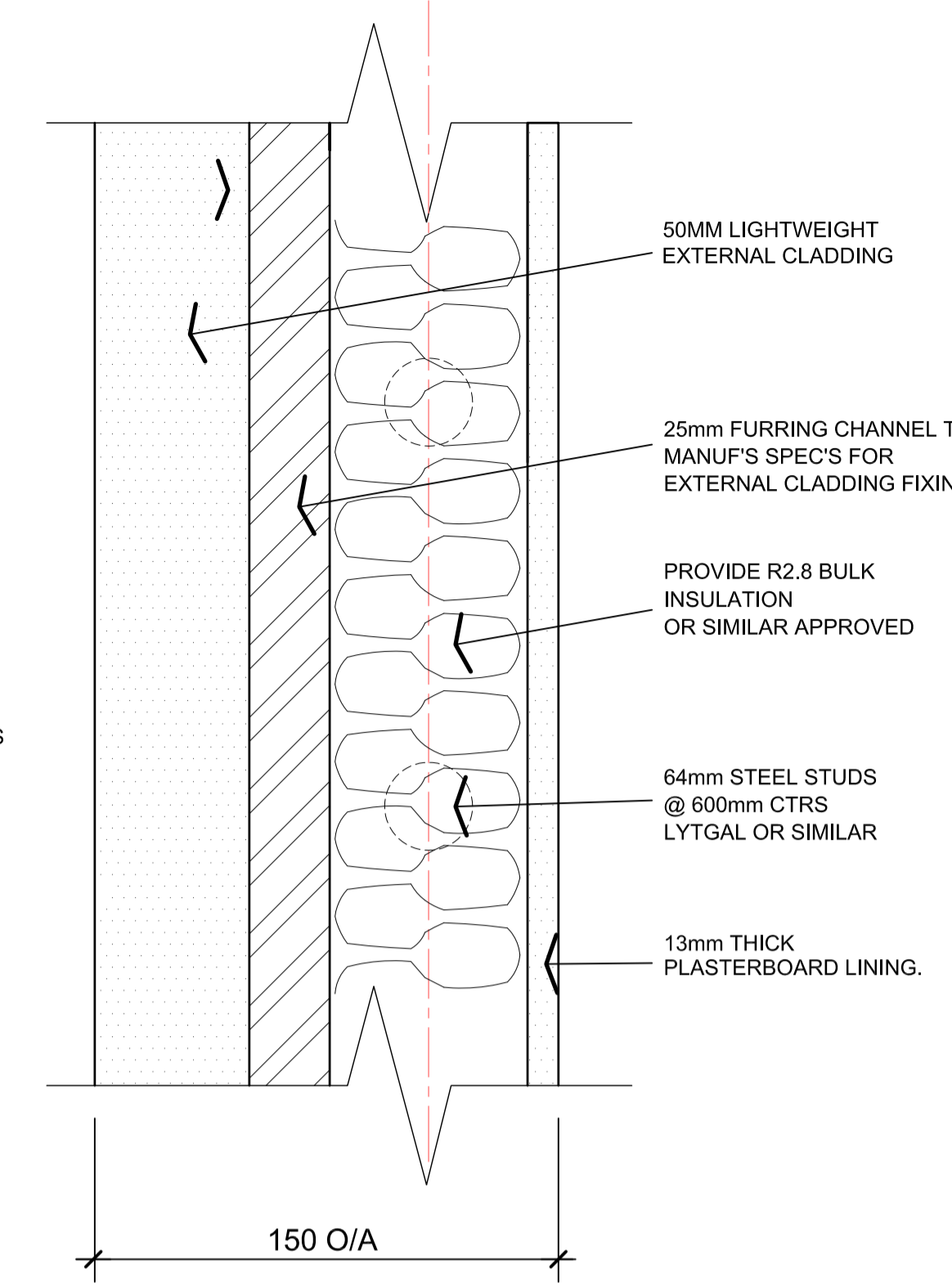
Section - Typ. External Wall Treatment "P3"

SCALE 1:2



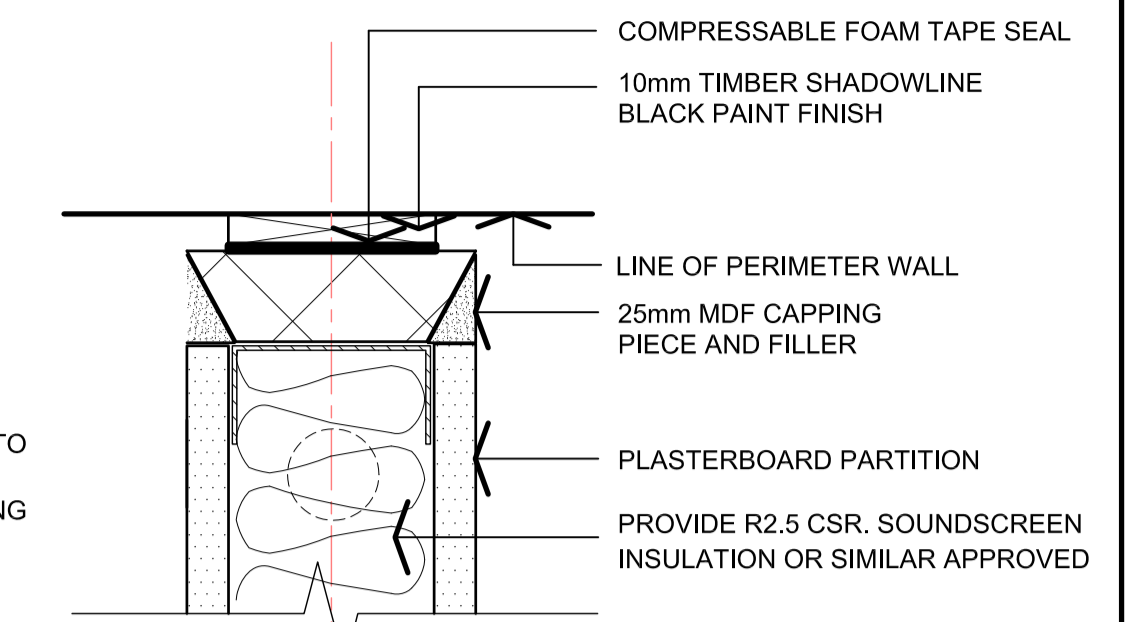
Section - Partition Type "P4"

SCALE 1:2



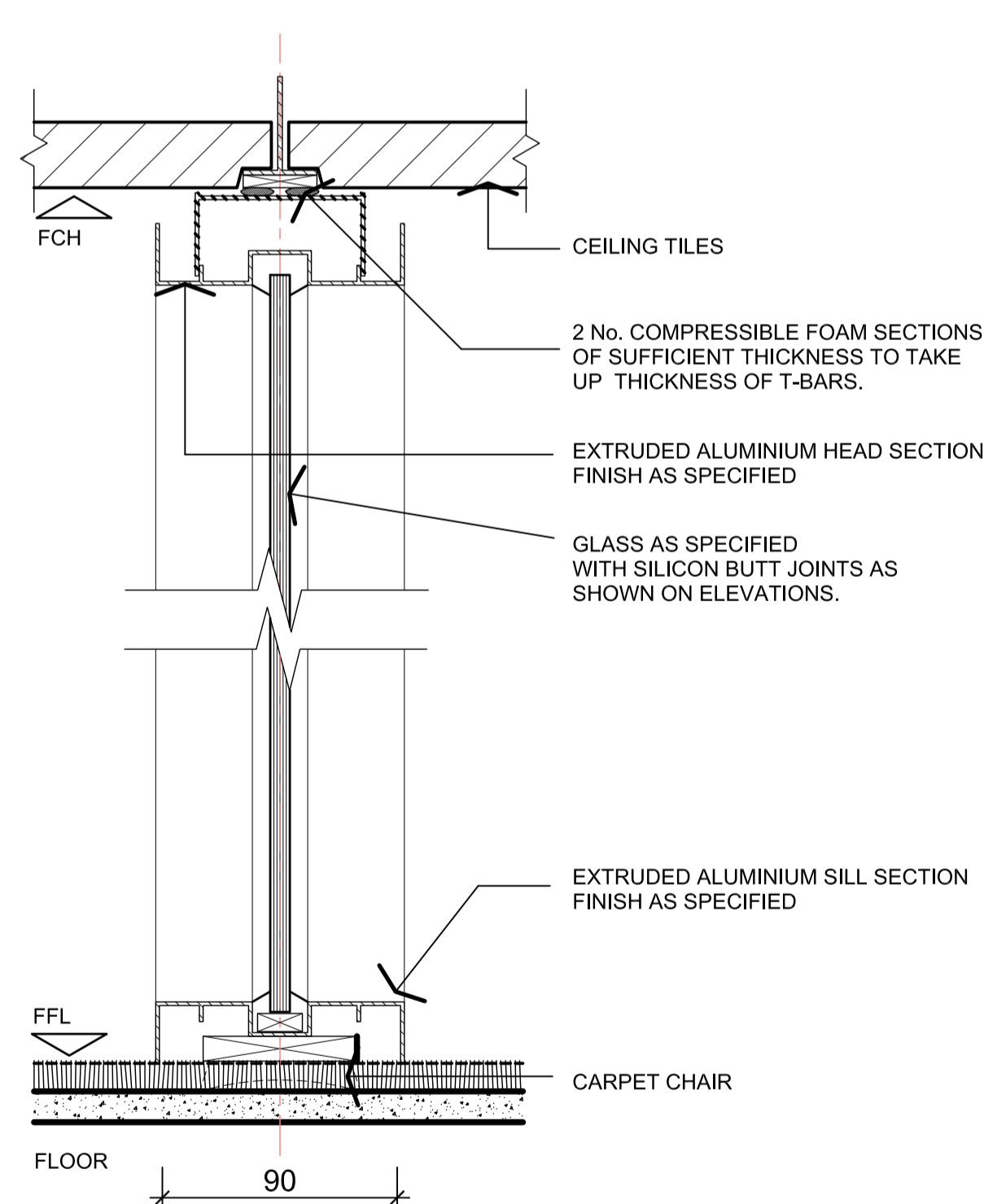
Section - Typ. External Wall Treatment "P5"

SCALE 1:2



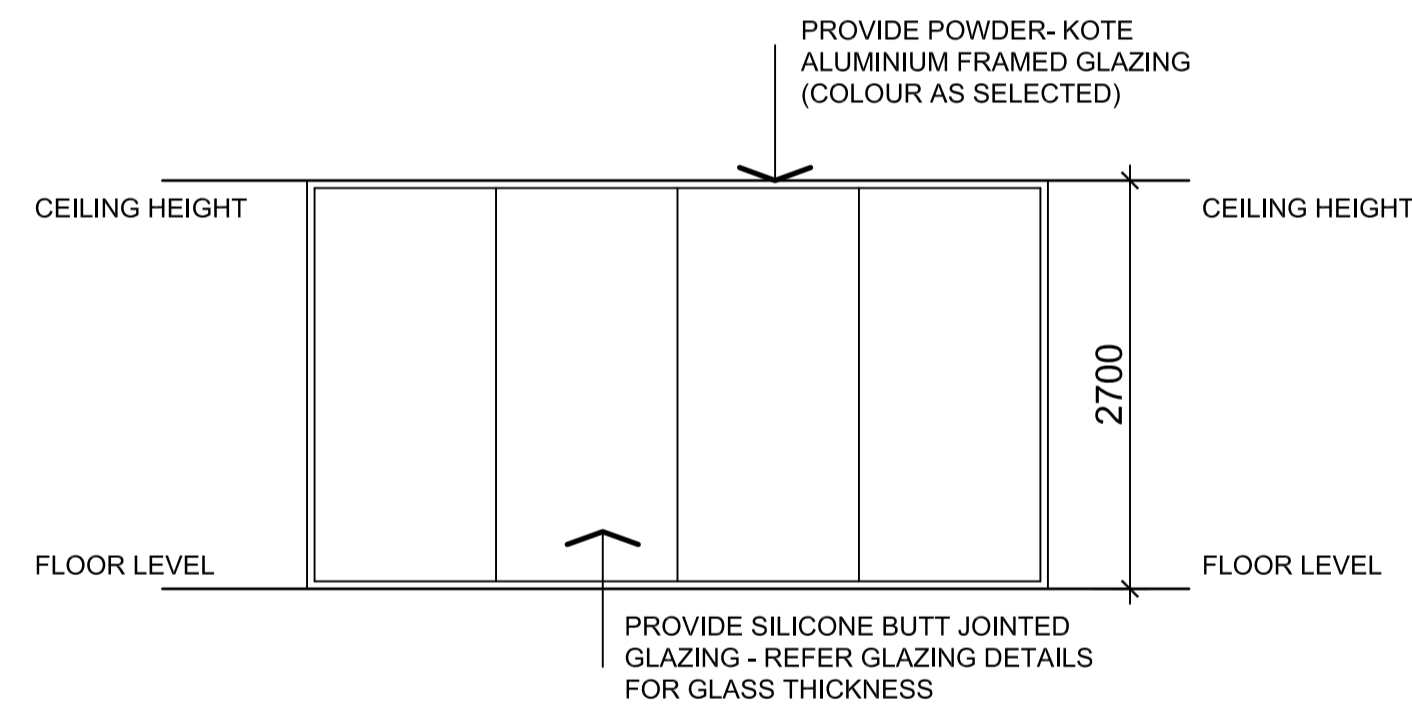
Plan Detail - Perimeter Wall Junction

SCALE 1:2



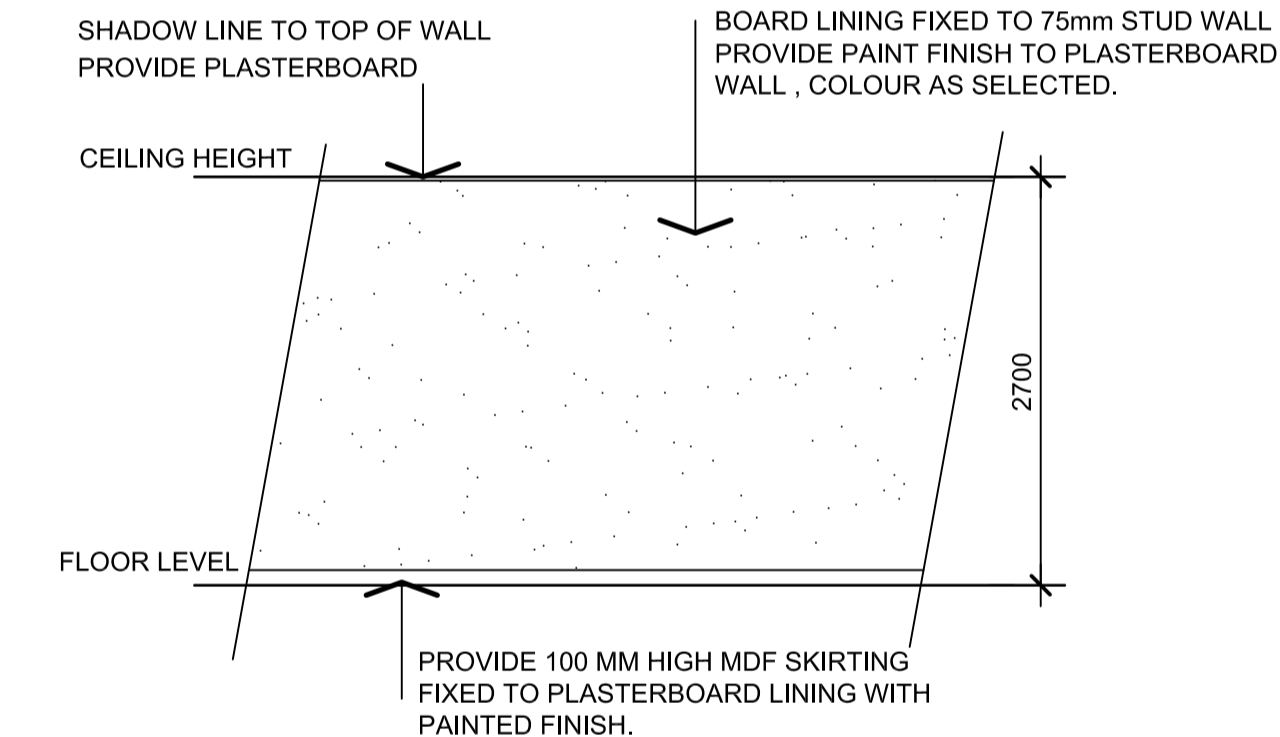
Section - Glazed Partition

SCALE 1:2



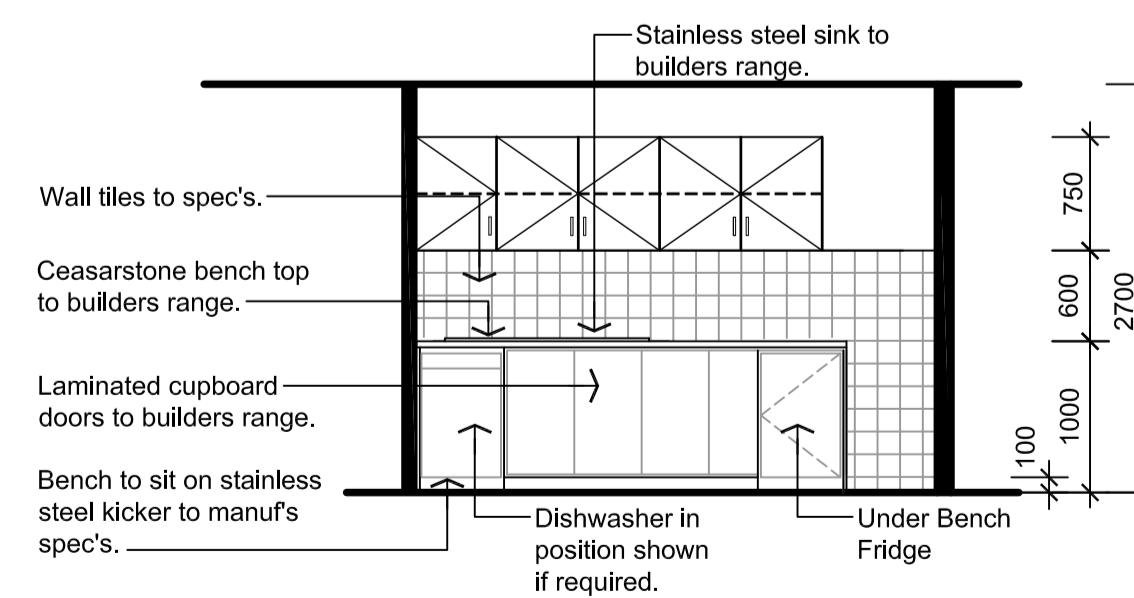
Full height Glazed Partition Wall

SCALE 1:50



Full height Plasterboard lined partition Wall (P3,4,5)

SCALE 1:50



Indicative Tea Room Bench Elevation

SCALE 1:50

PROVIDE 13 MM THICK PLASTER

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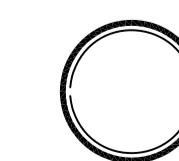
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PROPOSED MULTI WAREHOUSE & OFFICE DEVELOPMENT AT: 59 PARAWEENA DRIVE, TRUGANINA

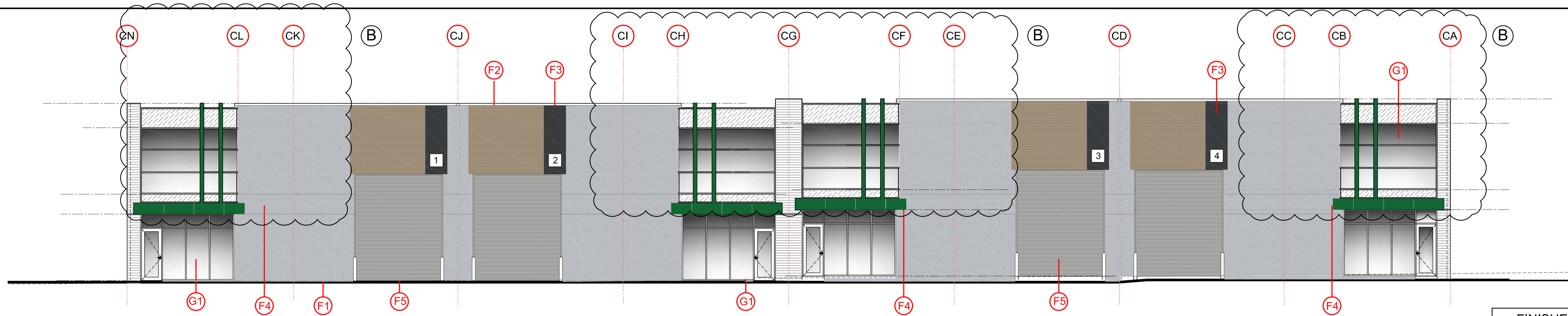


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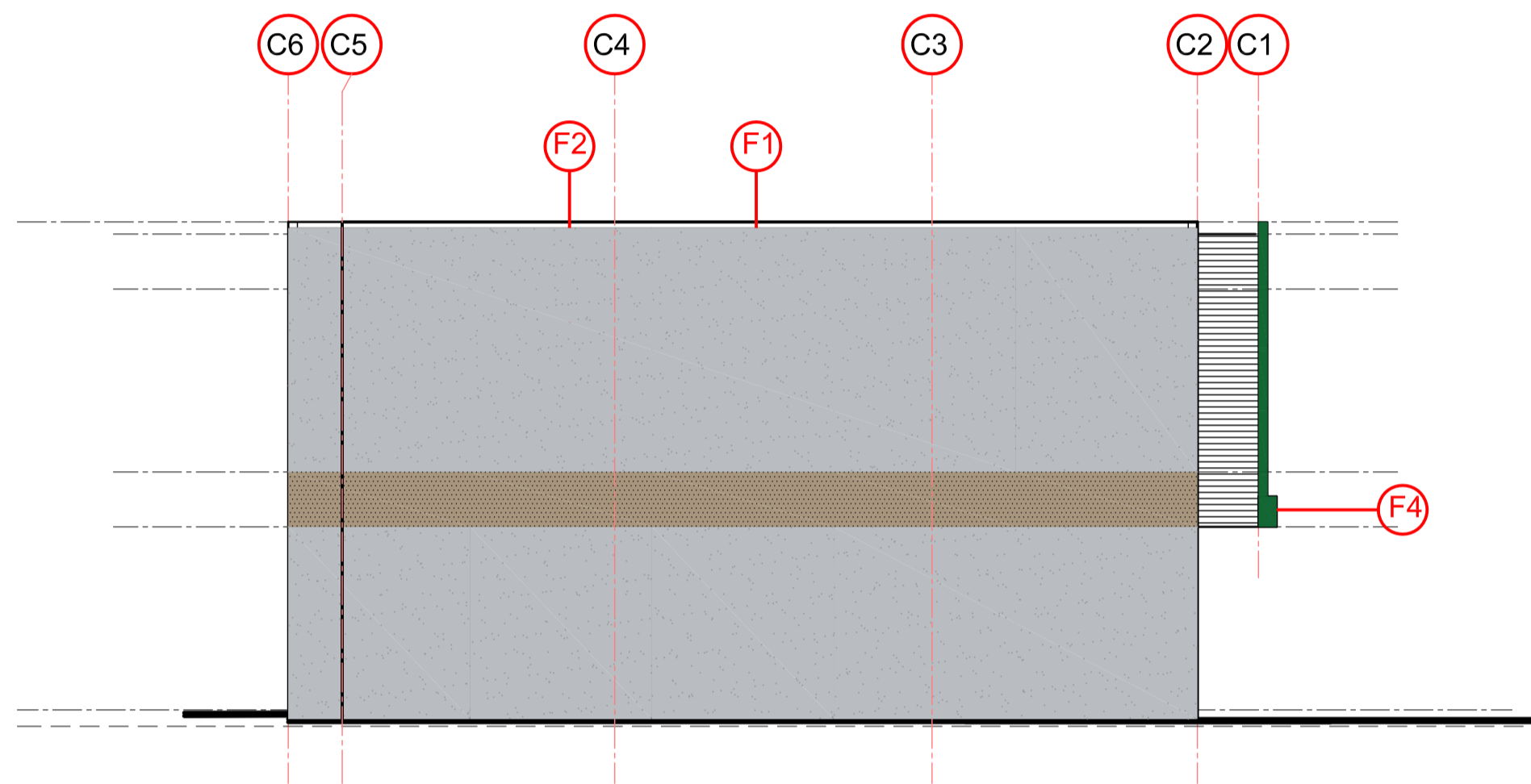
DRAWING TITLE
WALL TYPE & PART J COMPLIANCE NOTES

DATE	SCALE	DRG NO.
OCT 2018	AS SHOWN	A24
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	161017

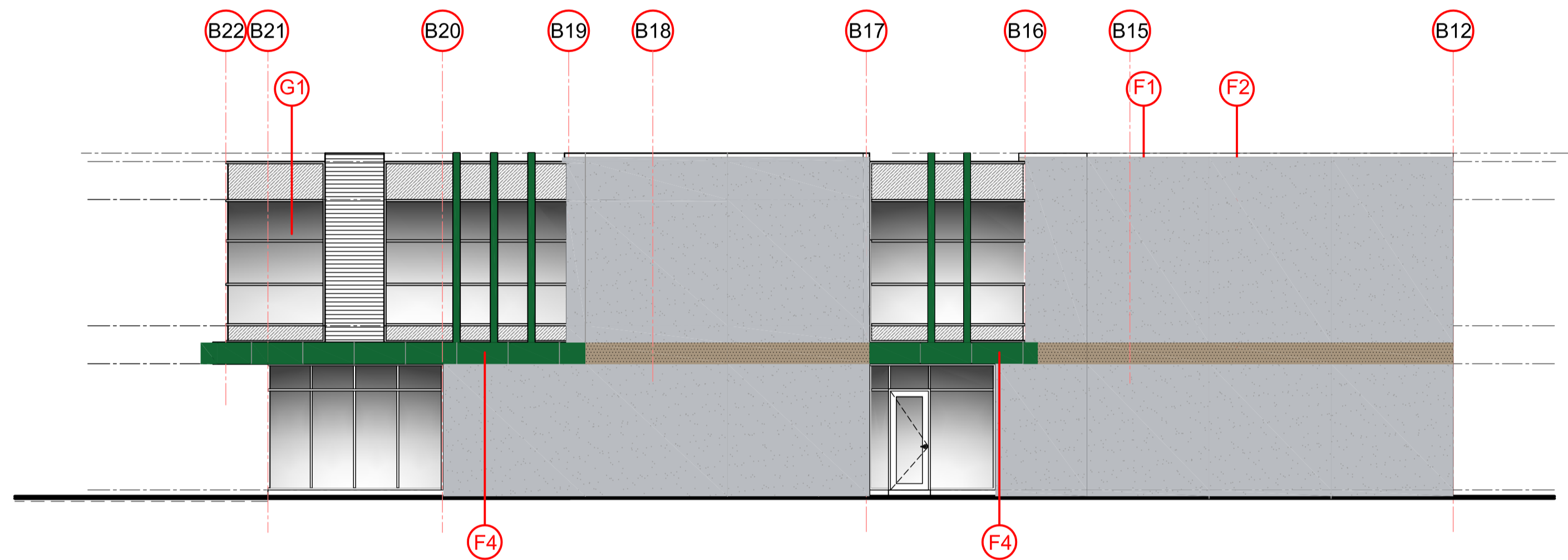




East Elevation 1:100
Warehouse 1 - 4



South Elevation 1:100



Part West Elevation 1:100
Warehouse 1-5, 21

FINISHES SCHEDULE	
(F1)	DULUX "MENISCUS" Warehouse Concrete Panel R.185 G.188 B.193
(F2)	DULUX "YARRA RIVER" Warehouse Concrete Panel R.145 G.151 B.157
(F3)	DULUX "WALHALLA" Cafe Columns/ Warehouse Number R.60 G.63 B.65
(F4)	ALUCOBOND PLUS "GREEN" Lightweight Canopy Cladding
(F5)	COLORBOND "SHALE GREY" Roller Doors/ Window Frames
(G1)	VIRIDIAN EVANTAGE "GREY #2" Office Glazing

No.	DATE	DESCRIPTION	APPD.
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AT: 59 PARAWEENA DRIVE,
TRUGANINA**

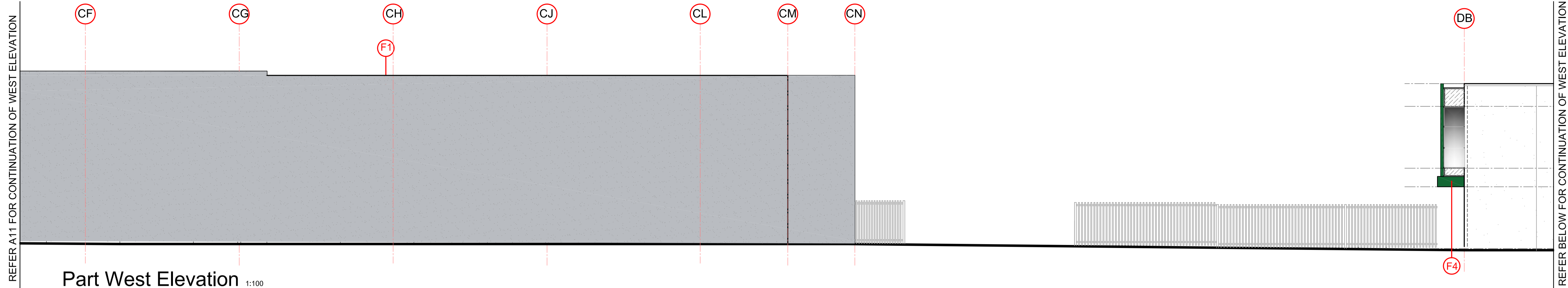
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FINISHES SCHEDULE

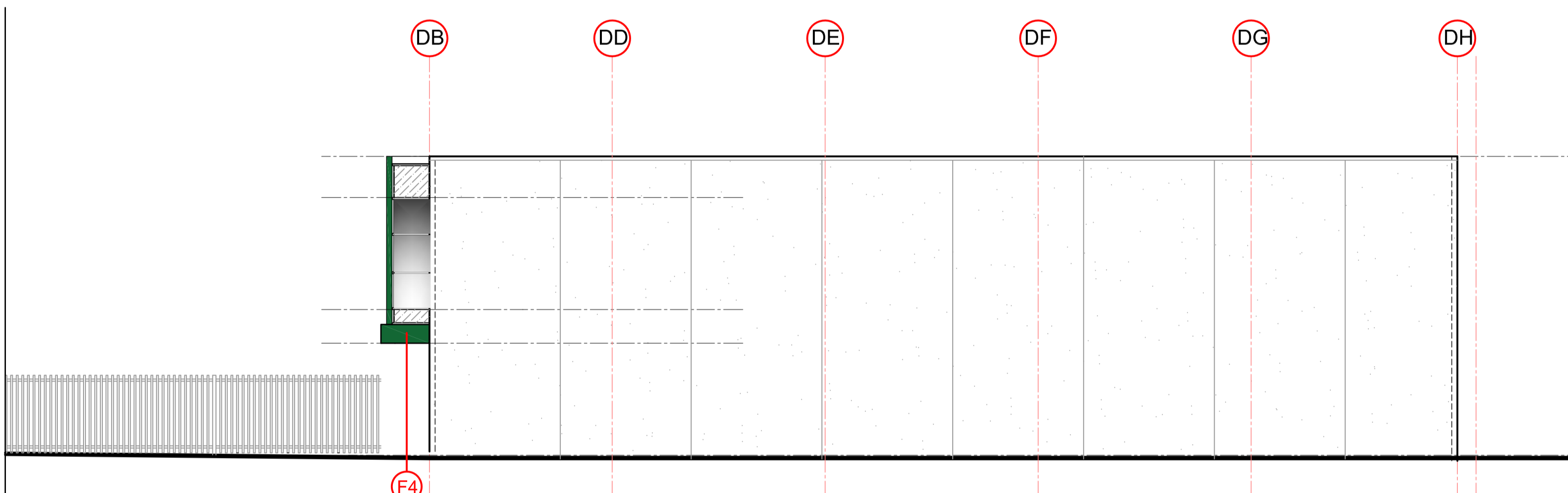
DATE	SCALE	DRG NO.
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DRAWN	CHECKED	JOB NO.
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REFER A11 FOR CONTINUATION OF WEST ELEVATION



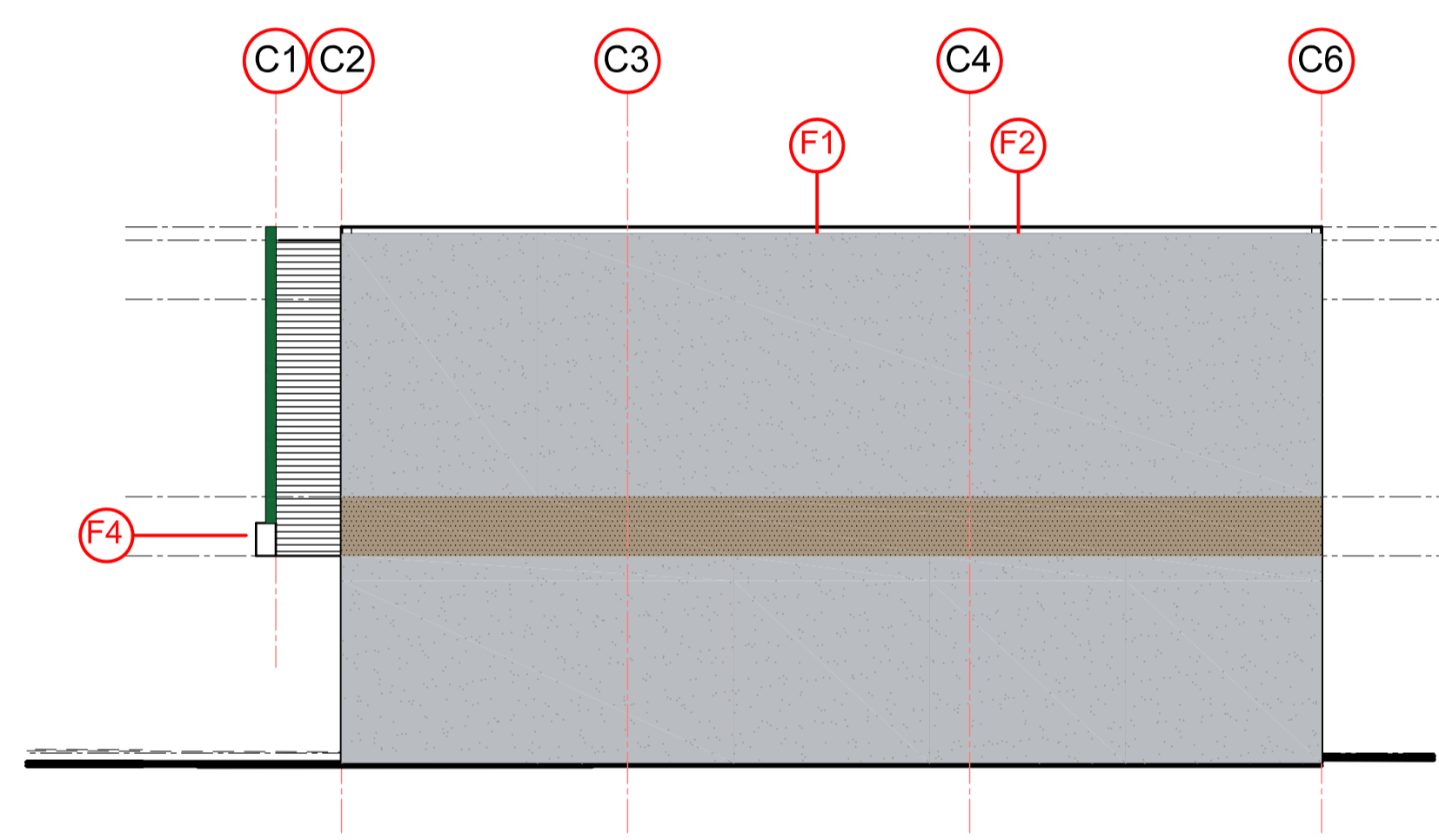
Part West Elevation 1:100

Warehouse 1-5, 21



Part West Elevation 1:100

Warehouse 1-5, 21



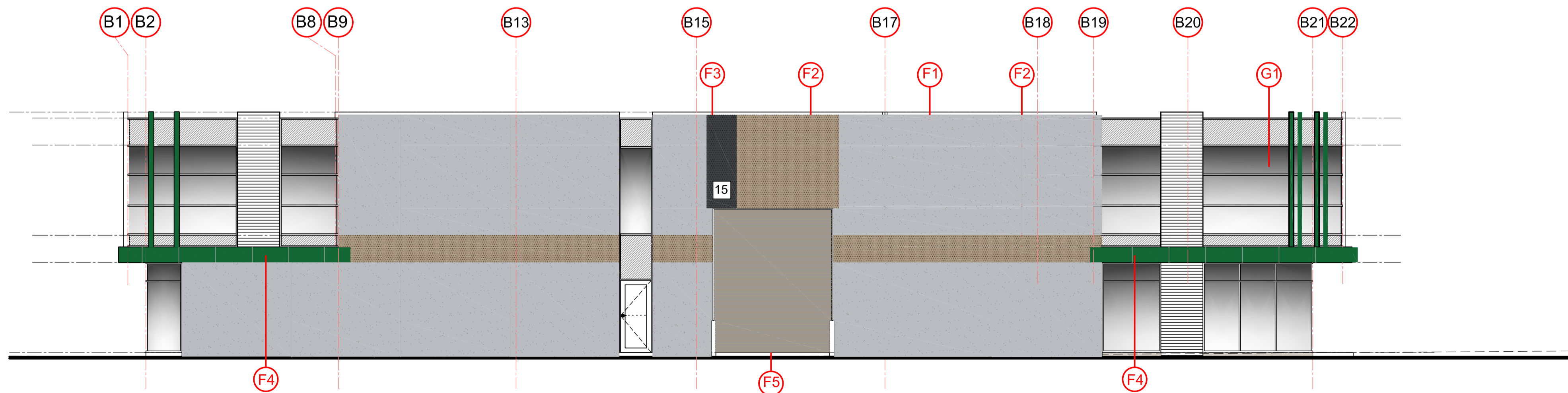
North Elevation 1:100 Warehouse 4

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North Elevation 1:100 Warehouse 10 & 16

FINISHES SCHEDULE

- F1 DULUX "MENISCUS" Warehouse Concrete Panel R.185 G.188 B.193
- F2 DULUX "YARRA RIVER" Warehouse Concrete Panel R.145 G.151 B.157
- F3 DULUX "WALHALLA" Cafe Columns/ Warehouse Number R.60 G.63 B.65
- F4 ALUCOBOND PLUS "GREEN" Lightweight Canopy Cladding
- F5 COLORBOND "SHALE GREY" Roller Doors/ Window Frames
- G1 VIRIDIAN EVANTAGE "GREY #2" Office Glazing

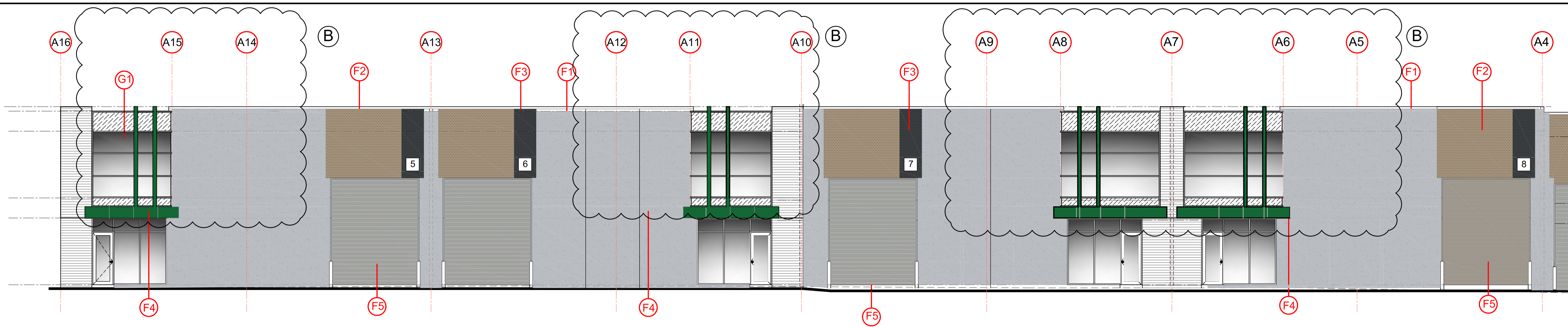
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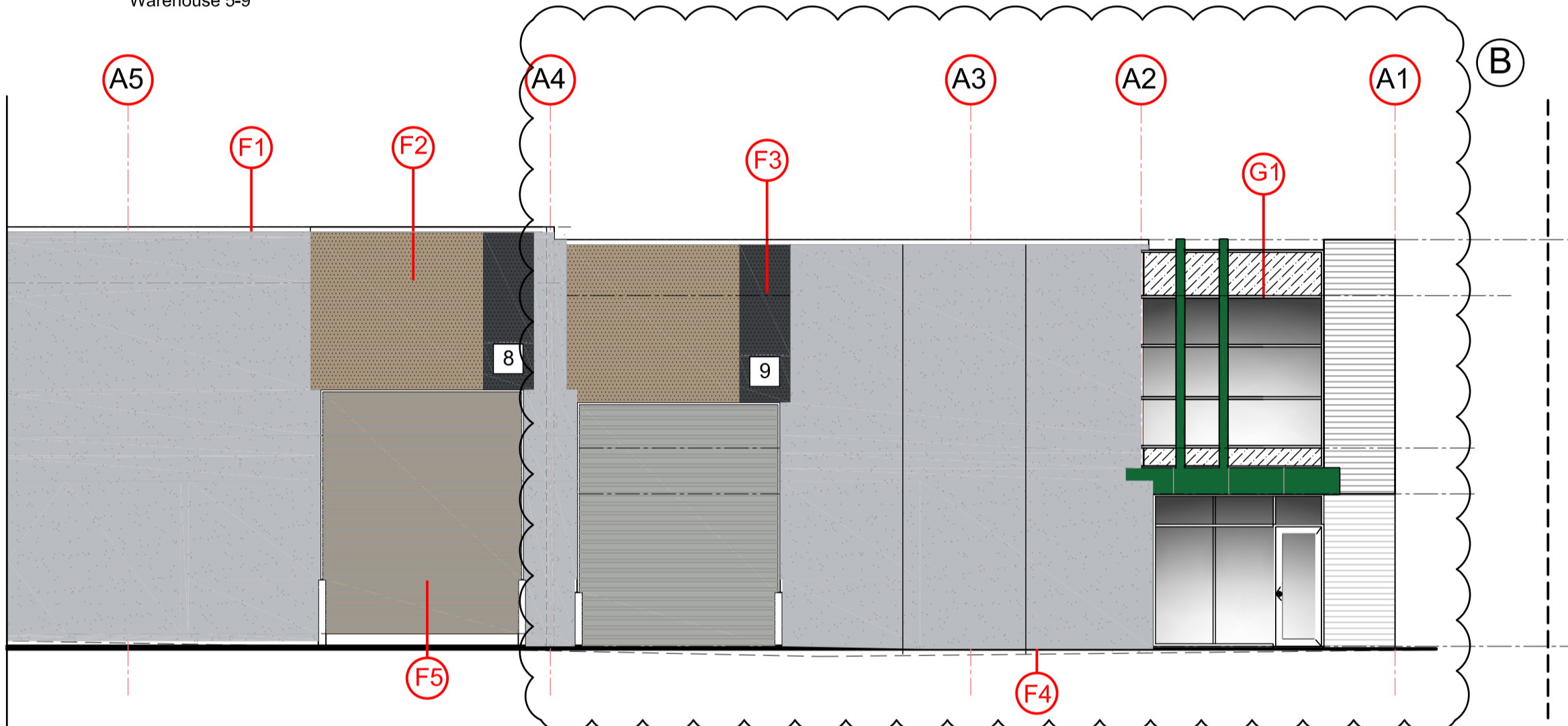
DRAWING TITLE
FINISHES SCHEDULE

DATE	SCALE	DRG NO.
OCT 2018	1:100	A26
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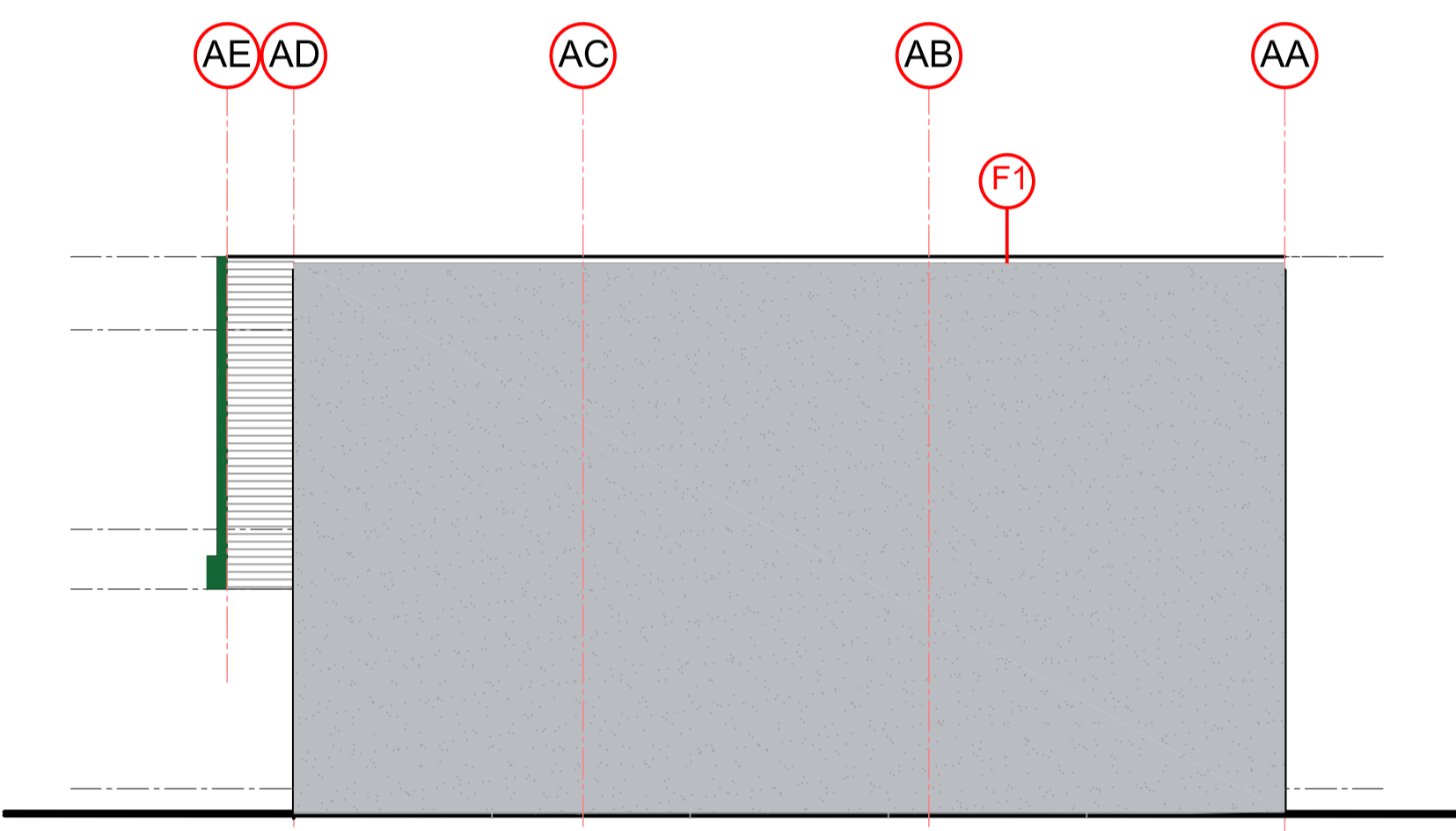
REFER BELOW FOR CONTINUATION OF SOUTH ELEVATION

Part South Elevation 1:100
Warehouse 5-9



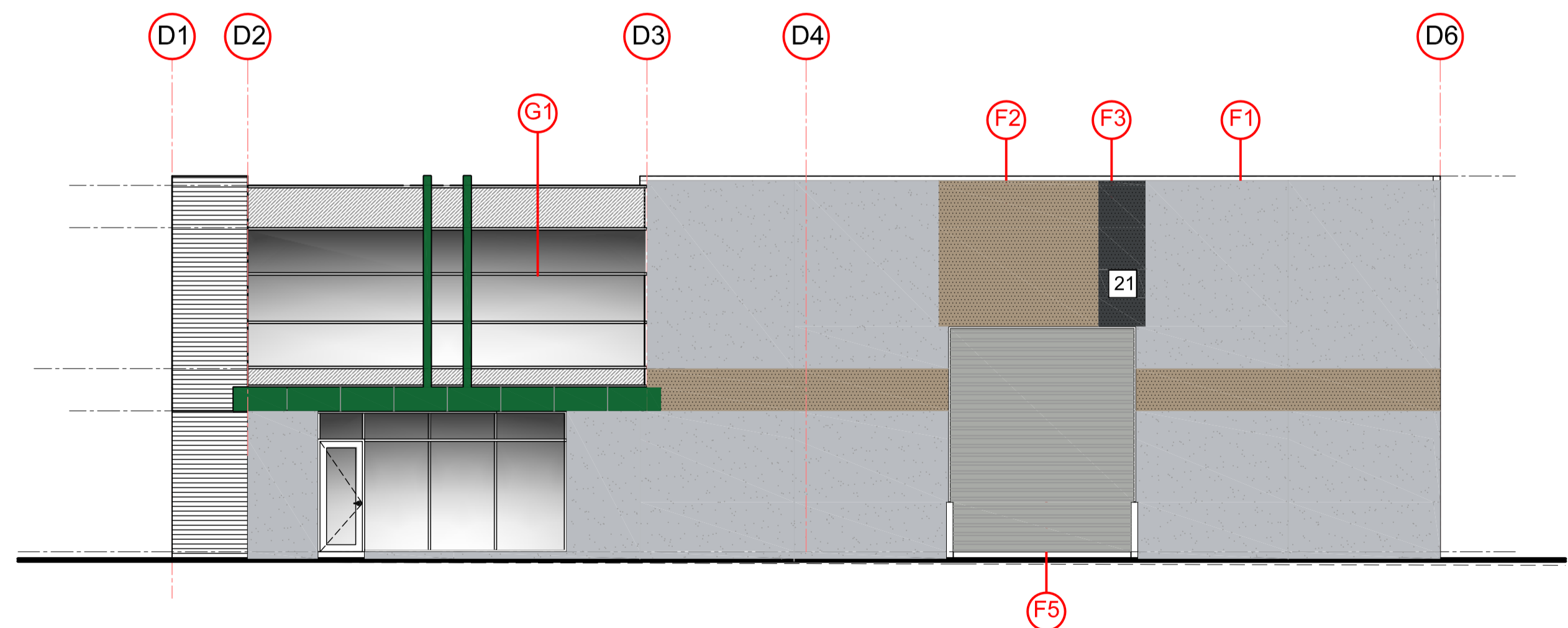
REFER ABOVE FOR CONTINUATION OF SOUTH ELEVATION

Part South Elevation 1:100
Warehouse 5-9



East Elevation 1:100 Warehouse 9

FINISHES SCHEDULE	
F1	DULUX "MENISCUS" Warehouse Concrete Panel R.185 G.188 B.193
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G1	VIRIDIAN EVANTAGE "GREY #2" Office Glazing



North Elevation 1:100
Warehouse 21

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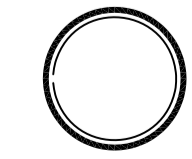
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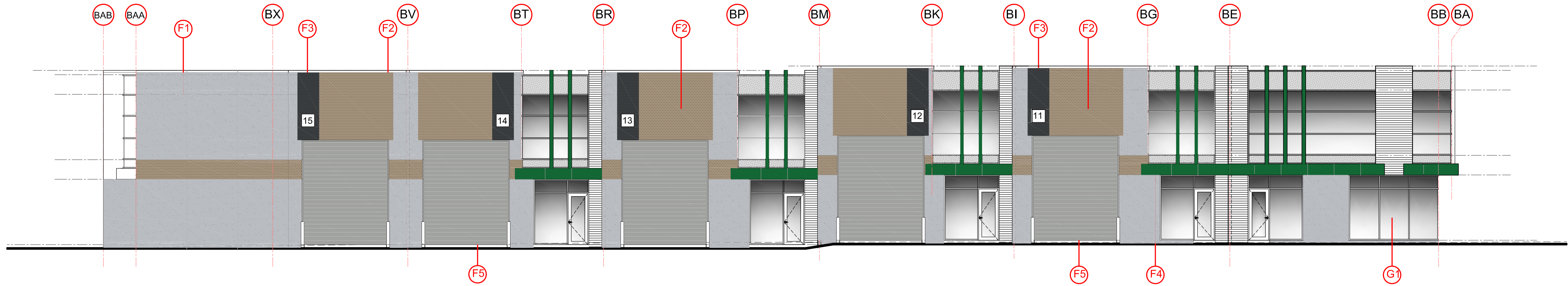
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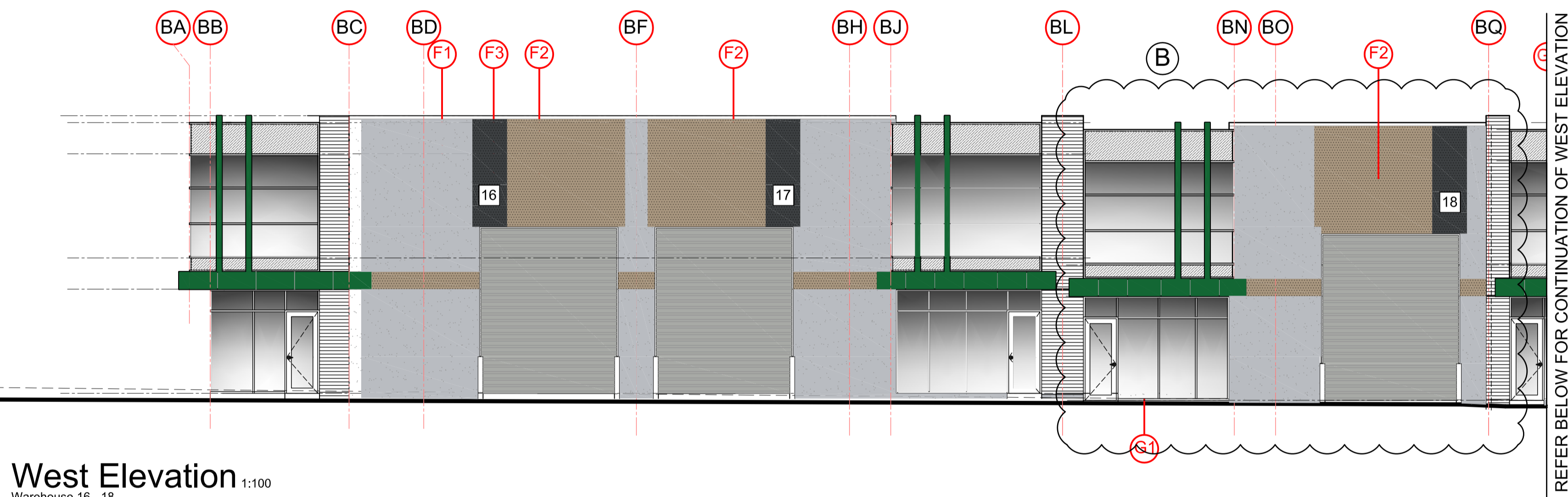
FINISHES SCHEDULE

DATE	SCALE	DRG NO.
OCT 2018	1:100	A27
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	161017





East Elevation 1:100 Warehouse 15 - 20



West Elevation 1:100 Warehouse 16 - 18

FINISHES SCHEDULE	
F1	DULUX "MENISCUS" Warehouse Concrete Panel R.185 G.188 B.193
F2	DULUX "YARRA RIVER" Warehouse Concrete Panel R.145 G.151 B.157
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AT: 59 PARAWEENA DRIVE,
TRUGANINA

CLIENT
BP INVESTMENT HOLDINGS PTY LTD
DRAWING TITLE
FINISHES SCHEDULE

DATE	SCALE	DRG NO.
OCT 2018	1:100	A28
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	161017

