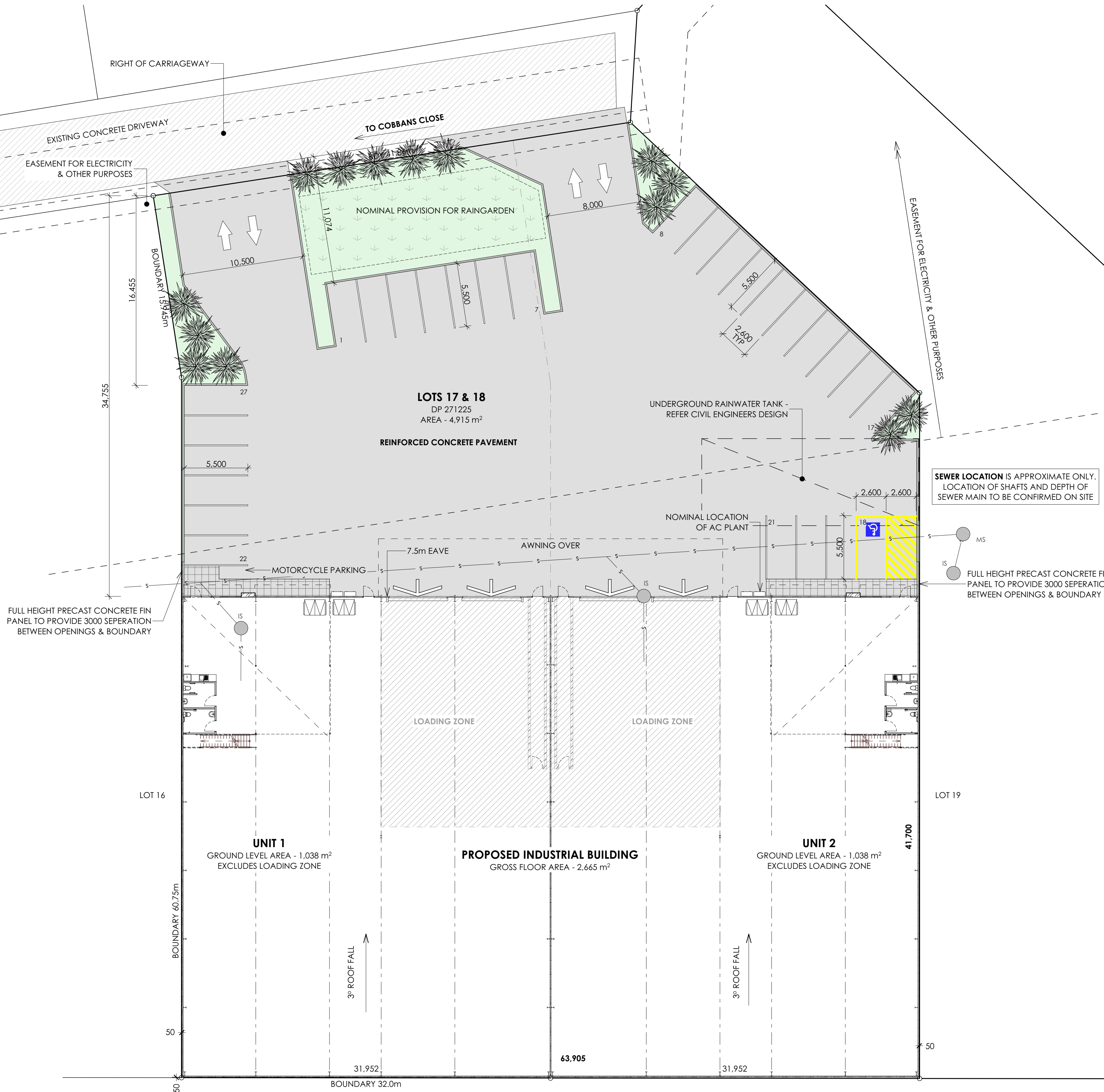




COBBANS CLOSE



SITE PLAN
Scale 1:200

THE CITY OF NEWCASTLE

This plan/document is referred to in

Development Application No: DA2023/00420
The application has been consented to subject to compliance with conditions of consent.

Copyright: All documents have been reproduced by the City of Newcastle for the purposes of complying with its statutory obligations and may not be copied, used or otherwise reproduced in whole or in part without the authority of the copyright owner.

- LEGEND**
- EXISTING KERB INLET PIT
 - EXISTING STORMWATER PIT
 - BOLLARD
 - ROLLER DOOR / ROLLER SHUTTER
 - EXISTING SEWER INSPECTION SHAFT
 - EXISTING SEWER MAINTENANCE SHAFT
 - EXISTING SEWER MAIN

REV.	DATE	DESCRIPTION	DRAWN
8	04.05.23	DA REVIEW / AMENDMENTS	A/F
7	11.04.23	CLIENT AMENDMENTS	A/F
6	31.03.23	DEVELOPMENT APPLICATION ISSUE	M/C
5	08.03.23	CLIENT AMENDMENTS	A/F
4	06.03.23	BUILDING DESIGN REVISIONS	A/F
3	30.11.22	CLIENT AMENDMENTS	A/F

DRAYTON
design • construction • management
p. 02 4964 4028 | www.draytongroup.com.au

GCA
ENGINEERING SOLUTIONS

GCA Engineering Solutions
1 Hartley Drive (PO Box 3337),
Thornton NSW 2322
Ph 02 4964 1811
www.gca.net.au

Project Title
PROPOSED INDUSTRIAL DEVELOPMENT
Project Address
**11E & 11D COBBANS CLOSE
BERESFIELD**

Client
BALLEN PTY LTD

Project Status
DEVELOPMENT APPLICATION

Drawing Title
SITE PLAN

Project No. 22098A	Revision 8	Drawing No. DA01
-----------------------	---------------	----------------------------

Drawings scaled to an A1 sheet
22098A DA18.pln Last saved on 28/04/2023 by Mark

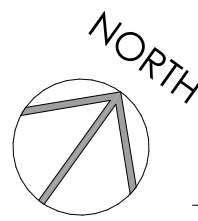
CARPARKING SCHEDULE

BUILDING USE	RATE REQUIRED	AREA	SPACES REQUIRED
OFFICE	1/50m²	300m²	6
INDUSTRY	1/100m²	2076m²	20.8 (EX LOADING ZONES)

TOTAL	2376m²	26.8
-------	--------	------

SPACES PROVIDED	27
-----------------	----

Scale 1:200
2 0 2 4 6 8 10m



LEGEND



EMERGENCY EXIT

REV.	DATE	DESCRIPTION	DRAWN
8	04.05.23	DA REVIEW / AMENDMENTS	A/F
7	11.04.23	CLIENT AMENDMENTS	A/F
6	31.03.23	DEVELOPMENT APPLICATION ISSUE	M/C
5	08.03.23	CLIENT AMENDMENTS	A/F
4	06.03.23	BUILDING DESIGN REVISIONS	A/F
3	30.11.22	CLIENT AMENDMENTS	A/F



GCA Engineering Solutions
1 Hartley Drive (PO Box 3337),
Thornton NSW 2322
Ph 02 4964 1811
www.gca.net.au

Project Title

PROPOSED INDUSTRIAL
DEVELOPMENT

Project Address

11E & 11D COBBANS CLOSE
BERESFIELD

Client

BALLEN PTY LTD

Project Status

DEVELOPMENT APPLICATION

Drawing Title

FLOOR PLANS

Project No.

22098A

Revision

8

Drawing No.

DA02

Drawings scaled to an A1 sheet

22098A DA18.pln Last saved on 28/04/2023 by Mark

FLOOR PLAN

Scale 1:100

THE CITY OF NEWCASTLE

This plan/document is referred to in

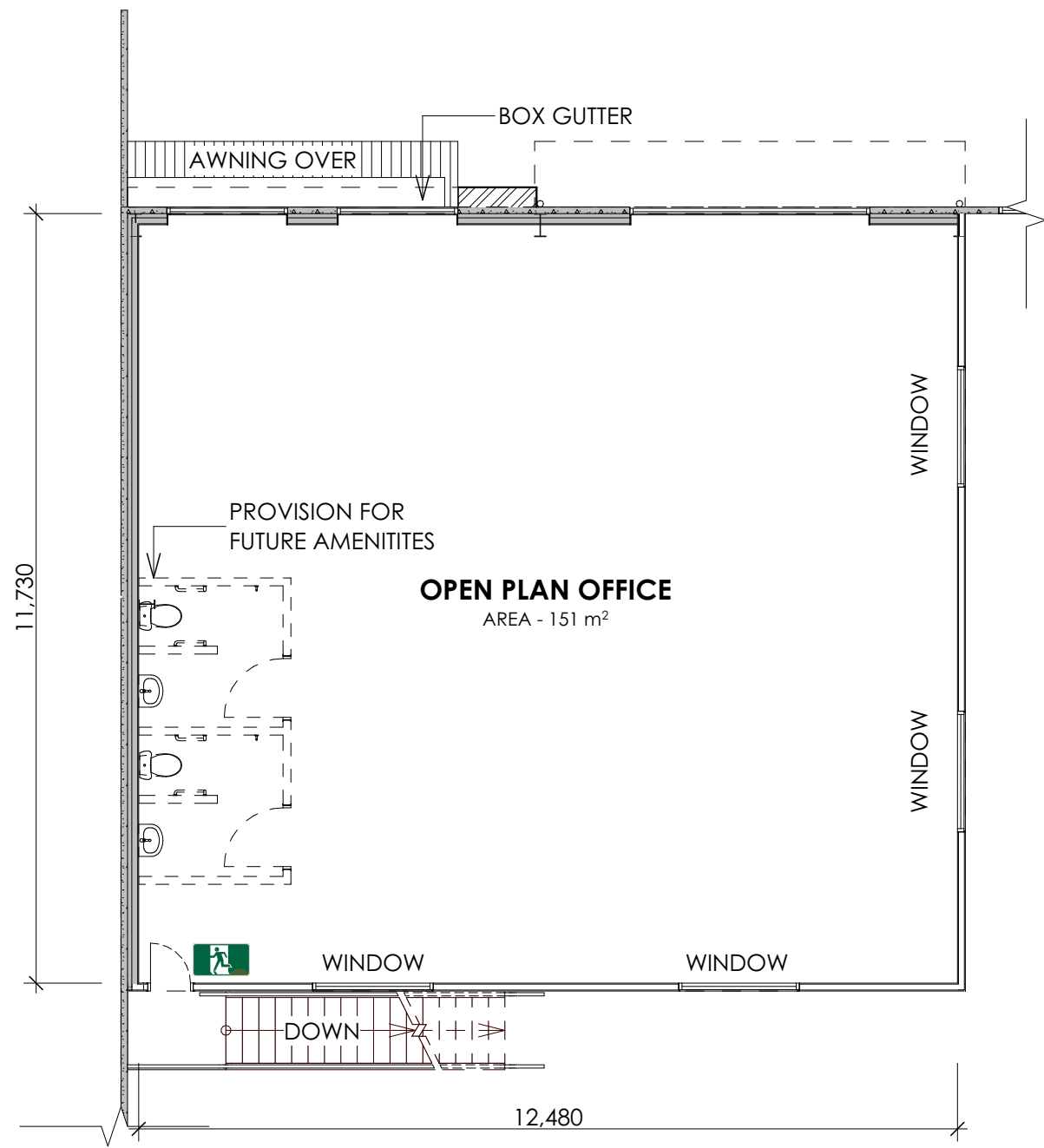
Development Application No: DA2023/00420

The application has been consented to subject to
compliance with conditions of consent.

Copyright: All documents have been reproduced by the City of Newcastle for the
purposes of complying with its statutory obligations and may not be copied, used or
otherwise reproduced in whole or in part without the authority of the copyright owner.

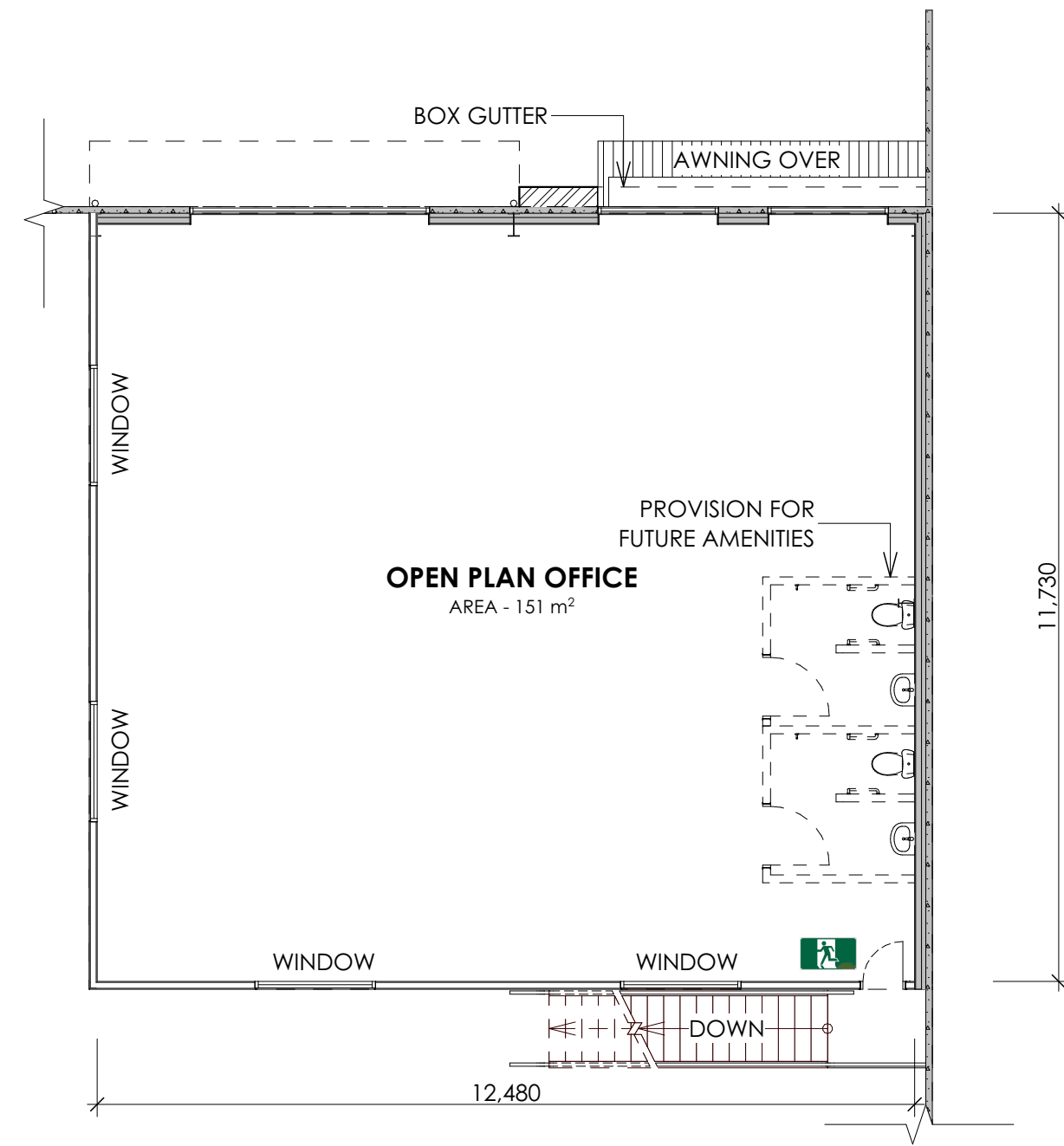
Scale 1:100





MEZZANINE FLOOR PLAN

Scale 1:100



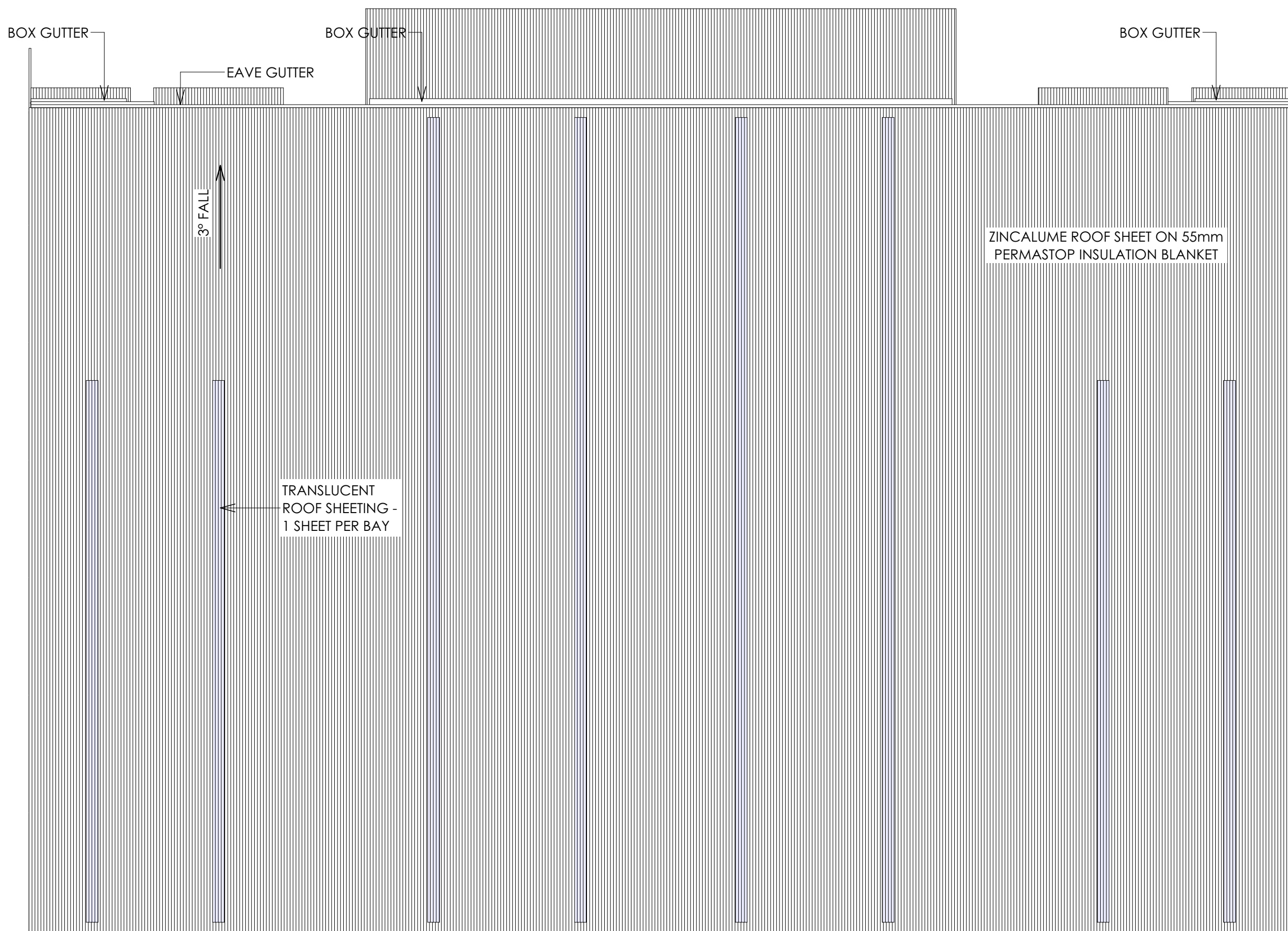
MEZZANINE FLOOR PLAN

Scale 1:100

LEGEND



EMERGENCY EXIT



ROOF PLAN

Scale 1:200

THE CITY OF NEWCASTLE

This plan/document is referred to in

Development Application No: DA2023/00420
The application has been consented to subject to
compliance with conditions of consent.

Copyright: All documents have been reproduced by the City of Newcastle for the purposes of complying with its statutory obligations and may not be copied, used or otherwise reproduced in whole or in part without the authority of the copyright owner.

8	04.05.23	DA REVIEW / AMENDMENTS	A/F
7	11.04.23	CLIENT AMENDMENTS	A/F
6	31.03.23	DEVELOPMENT APPLICATION ISSUE	M/C
5	08.03.23	CLIENT AMENDMENTS	A/F
4	06.03.23	BUILDING DESIGN REVISIONS	A/F
3	30.11.22	CLIENT AMENDMENTS	A/F
REV.	DATE	DESCRIPTION	DRAWN



GCA Engineering Solutions
1 Hartley Drive (PO Box 3337),
Thornton NSW 2322
Ph 02 4964 1811
www.gca.net.au

Project Title

**PROPOSED INDUSTRIAL
DEVELOPMENT**

Project Address

**11E & 11D COBBANS CLOSE
BERESFIELD**

Client

BALLEN PTY LTD

Project Status

DEVELOPMENT APPLICATION

Drawing Title

**MEZZANINE FLOOR & ROOF
PLAN**

Project No.

22098A

Revision

8

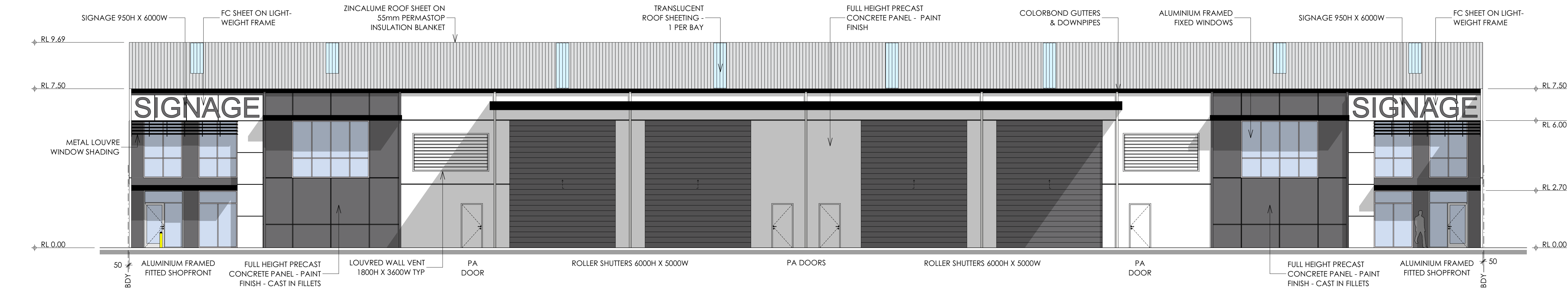
Drawing No.

DA03

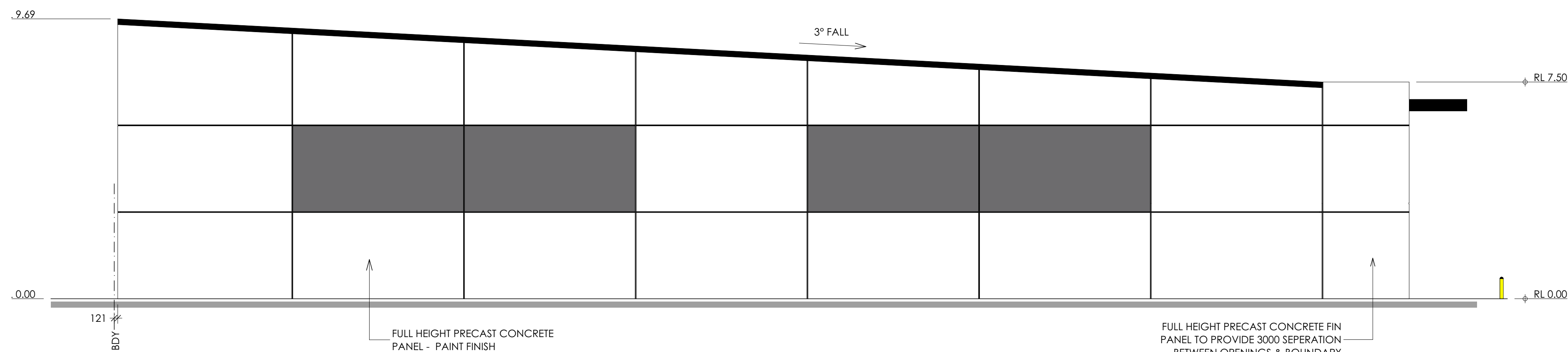
Drawings scaled to an A1 sheet

22098A DA18.pln Last saved on 28/04/2023 by Mark

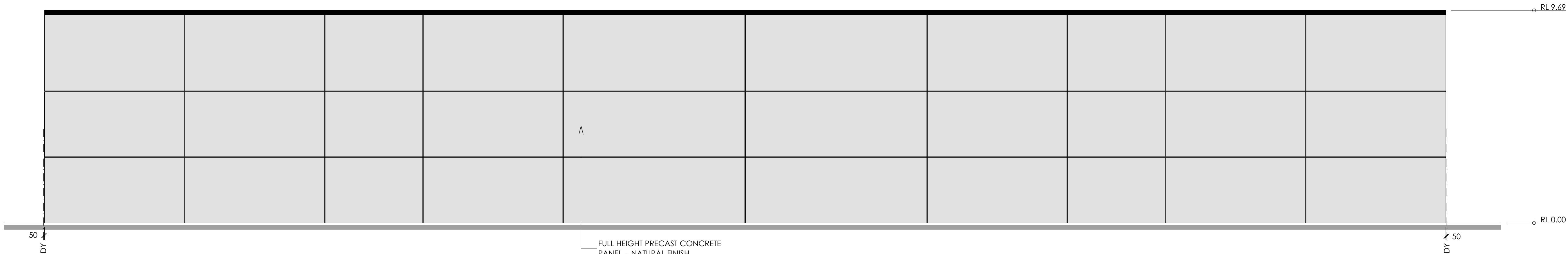
COPYRIGHT IN THE DRAWINGS, INFORMATION AND DATA RECORDED HEREON IS THE PROPERTY OF GEOFF CRAIG & ASSOCIATES PTY LTD AND MAY NOT BE USED, COPIED OR REPRODUCED IN WHOLE OR PART FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT IS SUPPLIED WITHOUT THE PRIOR CONSENT OF GEOFF CRAIG & ASSOCIATES PTY LTD.



1 NORTH ELEVATION
DA02 Scale 1:100



2 EAST ELEVATION
DA02 Scale 1:100



3 SOUTH ELEVATION
DA02 Scale 1:100

THE CITY OF NEWCASTLE

This plan/document is referred to in

Development Application No: DA2023/00420
The application has been consented to subject to compliance with conditions of consent.

Copyright: All documents have been reproduced by the City of Newcastle for the purposes of complying with its statutory obligations and may not be copied, used or otherwise reproduced in whole or in part without the authority of the copyright owner.

REV.	DATE	DESCRIPTION	DRAWN
8	04.05.23	DA REVIEW / AMENDMENTS	AF
7	11.04.23	CLIENT AMENDMENTS	AF
6	31.03.23	DEVELOPMENT APPLICATION ISSUE	MC
5	08.03.23	CLIENT AMENDMENTS	AF
4	06.03.23	BUILDING DESIGN REVISIONS	AF
3	30.11.22	CLIENT AMENDMENTS	AF

DRAYTON
design • construction • management
p. 02 4964 4028 | www.draytongroup.com.au

GCA
ENGINEERING SOLUTIONS

GCA Engineering Solutions
1 Hartley Drive (PO Box 3337),
Thornton NSW 2322
Ph 02 4964 1811
www.gca.net.au

Project Title
PROPOSED INDUSTRIAL DEVELOPMENT

Project Address
11E & 11D COBBANS CLOSE BERESFIELD

Client
BALLEN PTY LTD

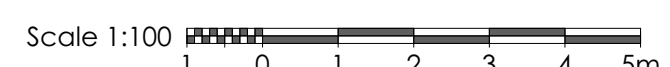
Project Status
DEVELOPMENT APPLICATION

Drawing Title
ELEVATIONS

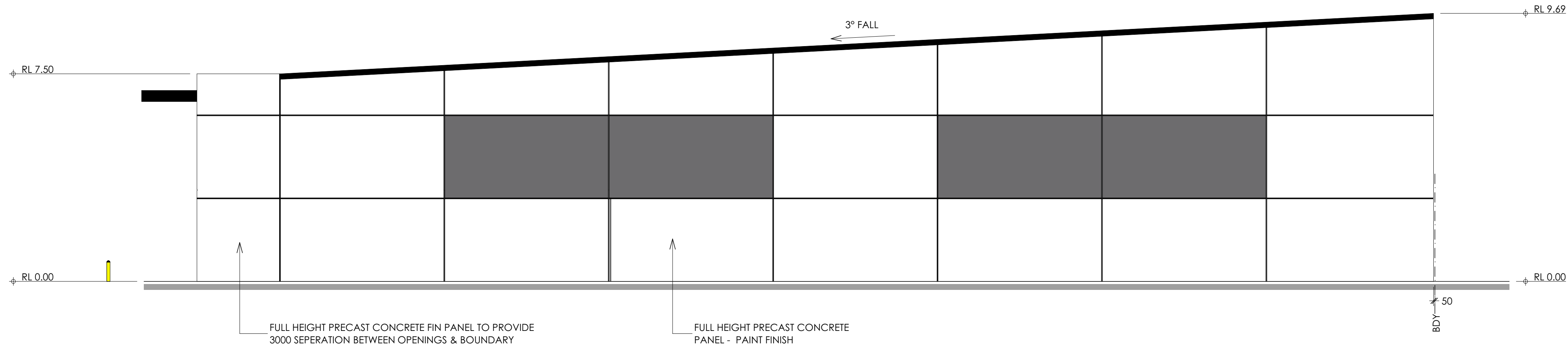
Project No. 22098A	Revision 8	Drawing No. DA04
------------------------------	----------------------	----------------------------

Drawings scaled to an A1 sheet

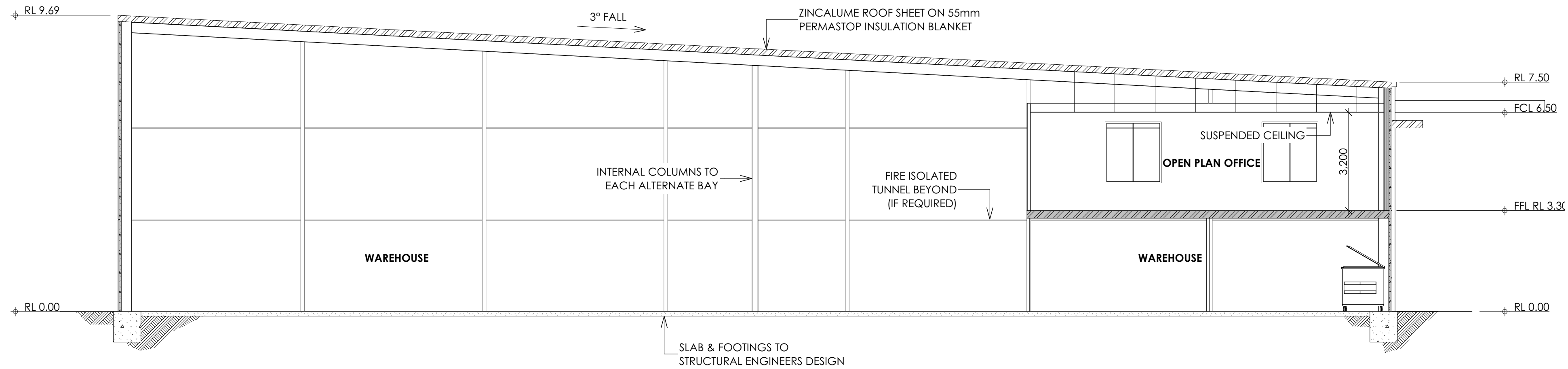
22098A DA18.pln Last saved on 28/04/2023 by Mark



COPYRIGHT IN THE DRAWINGS, INFORMATION AND DATA RECORDED HEREON IS THE PROPERTY OF GEOFF CRAIG & ASSOCIATES PTY LTD. AND MAY NOT BE USED, COPIED OR REPRODUCED IN WHOLE OR PART FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT IS SUPPLIED WITHOUT THE PRIOR CONSENT OF GEOFF CRAIG & ASSOCIATES PTY LTD.



4 WEST ELEVATION
DA02 Scale 1:100



A SECTION
DA02 Scale 1:100



THE CITY OF NEWCASTLE

This plan/document is referred to in

Development Application No: DA2023/00420
The application has been consented to subject to compliance with conditions of consent.

Copyright: All documents have been reproduced by the City of Newcastle for the purposes of complying with its statutory obligations and may not be copied, used or otherwise reproduced in whole or in part without the authority of the copyright owner.

REV.	DATE	DESCRIPTION	DRAWN
8	04.05.23	DA REVIEW / AMENDMENTS	AF
7	11.04.23	CLIENT AMENDMENTS	AF
6	31.03.23	DEVELOPMENT APPLICATION ISSUE	MC
5	08.03.23	CLIENT AMENDMENTS	AF
4	06.03.23	BUILDING DESIGN REVISIONS	AF
3	30.11.22	CLIENT AMENDMENTS	AF

DRAYTON
design • construction • management
p. 02 4964 4028 | www.draytongroup.com.au

GCA
ENGINEERING SOLUTIONS

GCA Engineering Solutions
1 Hartley Drive (PO Box 3337),
Thornton NSW 2322
Ph 02 4964 1811
www.gca.net.au

Project Title
PROPOSED INDUSTRIAL DEVELOPMENT
Project Address
11E & 11D COBBANS CLOSE BERESFIELD

Client
BALLEN PTY LTD

Project Status
DEVELOPMENT APPLICATION

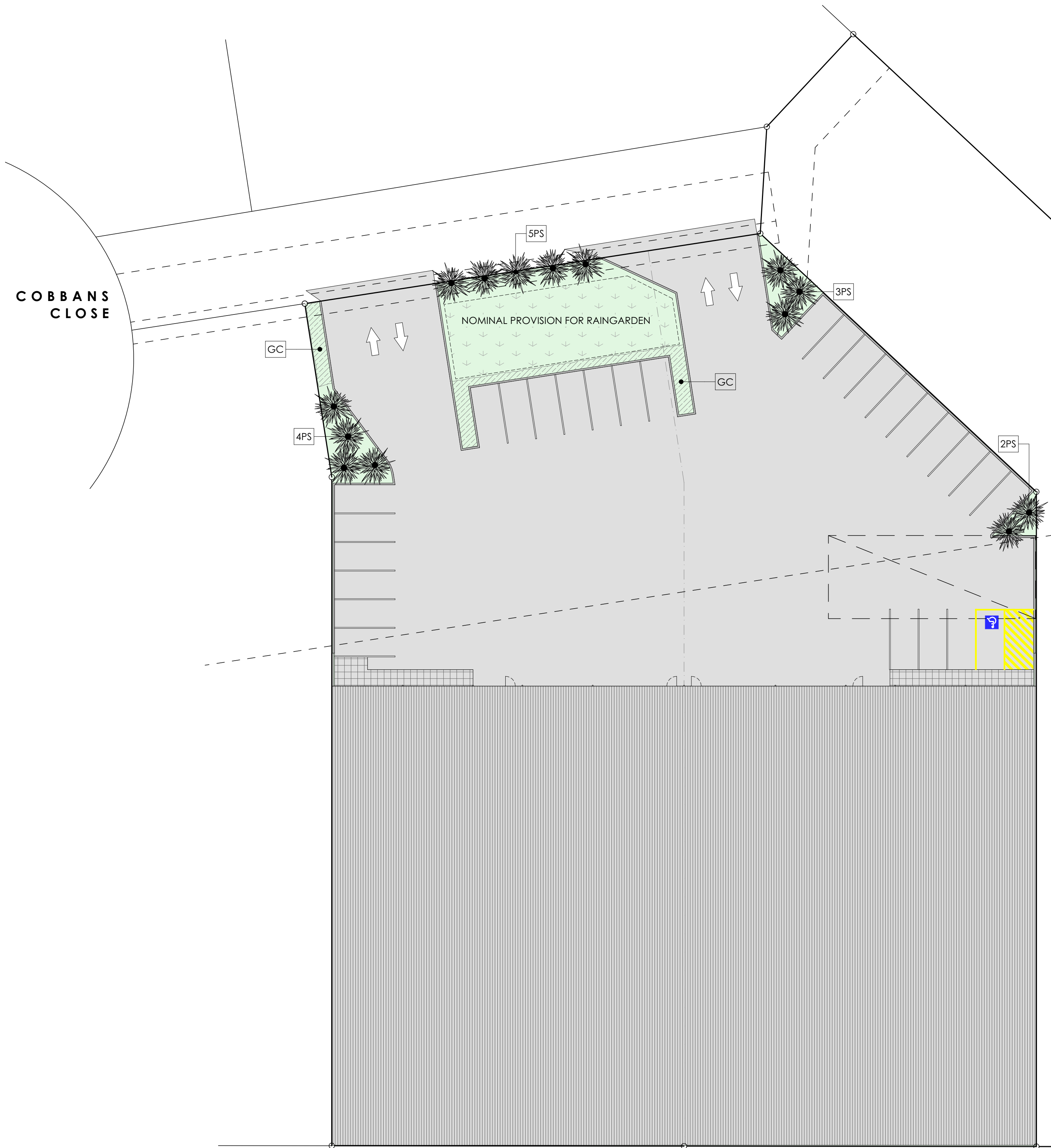
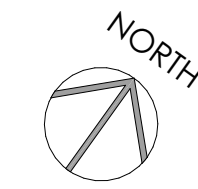
Drawing Title
ELEVATION, SECTION & PERSPECTIVES

Project No. 22098A
Revision 8
Drawing No. **DA05**

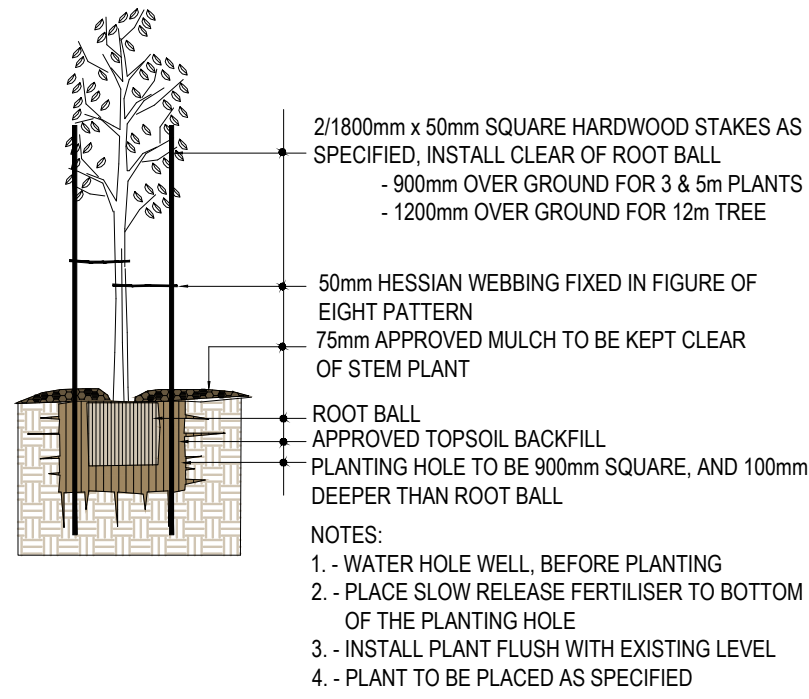
Drawings scaled to an A1 sheet
22098A DA05.pln Last saved on 28/04/2023 by Mark

Scale 1:100
1 0 1 2 3 4 5m

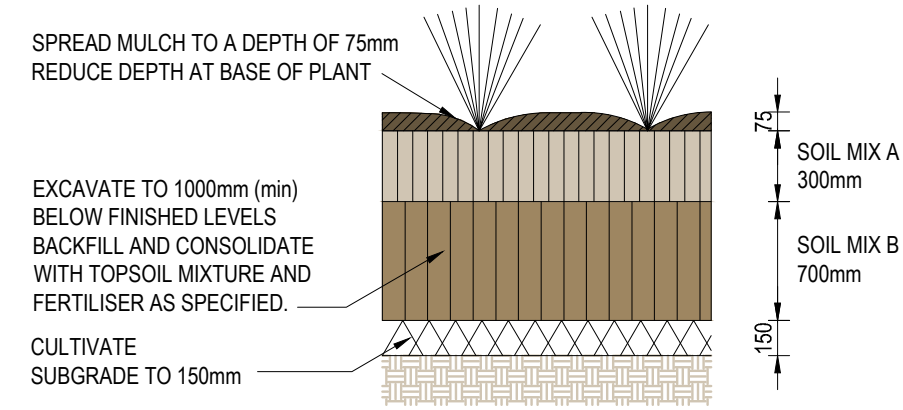
COPYRIGHT IN THE DRAWINGS, INFORMATION AND DATA RECORDED HEREON IS THE PROPERTY OF GEOFF CRAIG & ASSOCIATES PTY LTD AND MAY NOT BE USED, COPIED OR REPRODUCED IN WHOLE OR PART FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT IS SUPPLIED WITHOUT THE PRIOR CONSENT OF GEOFF CRAIG & ASSOCIATES PTY LTD.



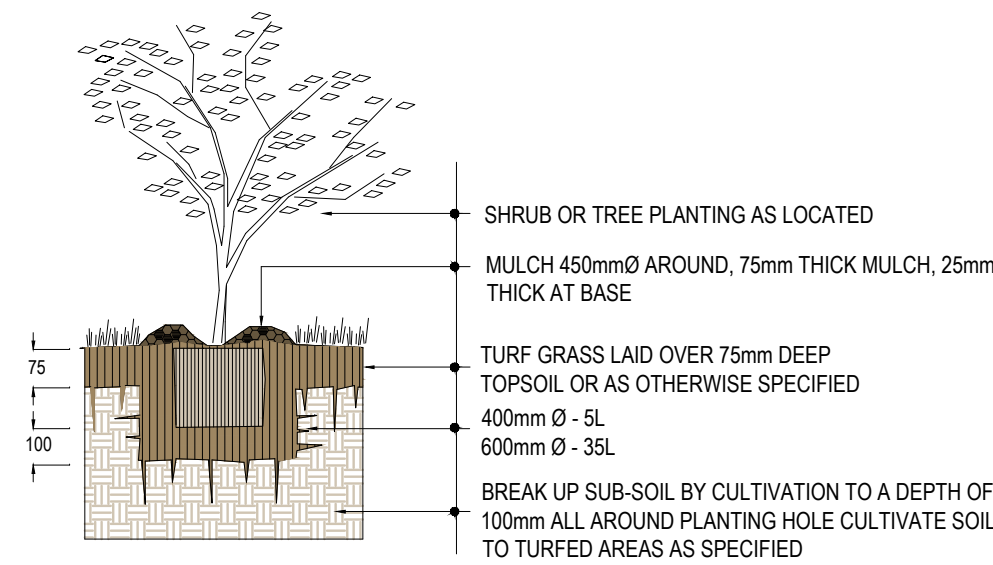
LANDSCAPING PLAN
Scale 1:250



STAKING & TYING PLANTS WITH GRATE
NOT TO SCALE



MASS PLANTING DETAIL
NOT TO SCALE



TYPICAL TREE OR SHRUB IN TURF
NOT TO SCALE

PLANT SCHEDULE							
TYPE	SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE SIZE		QUANTITY	POT SIZE
				HEIGHT (m)	SPREAD (m)		
SHRUBS	PS	Pennisetum setaceum	PURPLE FOUNTAIN GRASS	3	2		200mm
GROUND COVERS - MASS PLANTING - SELECT FROM:	GC	Hardenbergia violacea	NATIVE SARSAPARILLA	0.5			
		Dianella hybrid	SILVER STREAK	0.6			
		Lomandra confertifolia	DWARF MAT RUSH	0.5		1 PLANT PER m ²	TUBE STOCK
		Dianella caerulea	BLUE FLAX LILY	1			
		Lomandra longifolia	SPINY-HEAD MAT-RUSH	1			
		Isolepis nodosa	KNOBBY CLUB RUSH	1.5			

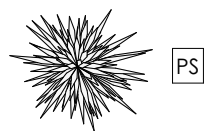
THE CITY OF NEWCASTLE

This plan/document is referred to in

Development Application No: DA2023/00420
The application has been consented to subject to
compliance with conditions of consent.

Copyright: All documents have been reproduced by the City of Newcastle for the
purposes of complying with its statutory obligations and may not be copied, used or
otherwise reproduced in whole or in part without the authority of the copyright owner.

LEGEND



PURPLE FOUNTAIN GRASS



GROUND COVER MASS
PLANTING

Scale 1:250
2 0 4 8 12 16 20m

LANDSCAPING

- ALL EXISTING TREES MARKED FOR RETENTION SHALL BE PROTECTED FOR THE DURATION OF BUILDING WORKS. REMOVE FROM SITE ALL PERENNIAL WEEDS SUCH AS OXALIS, ONION WEED AND THE LIKE.
- NO REGRADING IS TO BE CARRIED OUT WITHIN THE DRIP LINE OF THE TREES TO BE RETAINED. WHERE EXCAVATION IS NECESSARY USE HAND METHODS TO AVOID DAMAGE TO THE ROOT SYSTEM. DO NOT CUT ROOTS GREATER THAN 50MM. CUT ROOTS CLEANLY WITH A SAW AND DO NOT SEAL THE WOUND.
- DO NOT STORE, STOCKPILE, DUMP OR OTHERWISE REPLACE UNDER OR NEAR TREES, BULK MATERIALS AND HARMFUL MATERIALS INCLUDING OIL, PAINT, WASTE CONCRETE, CLEARINGS, BOULDERS AND THE LIKE. DO NOT PLACE SPOIL FROM EXCAVATIONS AGAINST TREE TRUCKS, EVEN FOR SHORT PERIODS. PREVENT WIND-BLOWN MATERIALS SUCH AS CEMENT FROM HARMING TREES & PLANTS.
- PREVENT DAMAGE TO TREE BARK. DO NOT ATTACH STAYS, GUYS AND THE LIKE TO TREES.
- DO NOT REMOVE TOPSOIL FROM WITHIN THE DRIP LINE OF TREES UNLESS OTHERWISE SPECIFIED. IF IT IS NECESSARY TO EXCAVATE WITHIN THE DRIP LINE USE HAND METHODS SUCH THAT ROOT SYSTEMS ARE PRESERVED, INTACT AND UNDAMAGED.
- AVOID COMPACTION OF THE GROUND UNDER TREES. IF THE GROUND UNDER TREES HAS BEEN UNDULY COMPACTED DURING THE WORK. LOOSEN THE SOIL BY CORING.
- DO NOT CUT TREE ROOTS EXCEEDING 50MM DIAMETER UNLESS PERMITTED BY THE SUPERINTENDENT. WHERE IT IS NECESSARY TO CUT TREE ROOTS, USE A CHAINSAW OR SIMILAR MEANS SUCH THAT THE CUTTING DOES NOT UNDULY DISTURB OR ROCK THE REMAINING ROOT SYSTEMS. IMMEDIATELY AFTER CUTTING, APPLY AN APPROVED BITUMINOUS FUNGICIDAL SEALANT TO THE CUT SURFACE TO PREVENT THE INCURSION OF ROT OR DISEASE.
- THOROUGHLY CULTIVATE THE SUBSOIL TO THE DEPTHS SPECIFIED.
- TREE PLANTING AREAS TO BE MOUNDED 300MM ABOVE EXISTING GROUND LINE TO IMPROVE DRAINAGE FROM PLANTING HOLES. TREE HOLES TO BE EXCAVATED 2 TIMES LARGER THAN THE ROOTBALL AND BACKFILLED.
- SUPPLY AND PLACE 75MM LAYER OF HARDWOOD HORTICULTURAL GRADE MULCH (GRADED IN SIZE 15MM x 15MM x 15MM. FREE FROM WOOD SLIVERS.) SET DOWN 25MM FROM ADJACENT PAVING.
- APPLY SHIRLEYS NO17 LAWN FERTILISER OR SIMILAR TO SOIL. APPLIED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.
- ALL PLANTS SHALL BE TRUE TO TYPE OF HEALTHY GROWTH DISEASE FREE NURSERY STOCK AND NOT DISPLAYING RESTRICTED GROWTH PATTERNS. SHOULD THERE BE A REQUIREMENT FOR SUBSTITUTIONS THEY SHALL NOT BE CHANGED WITHOUT PRIOR APPROVAL. NO VARIEGATED STRAIN SHALL BE USED. ALLOW FOR SLOW RELEASE FERTILISER TO ALL PLANTINGS APPLIED AT THE MANUFACTURES RECOMMENDED RATE TO BE SAME OR SIMILAR TO OSMOCOTE.

8	04.05.23	DA REVIEW / AMENDMENTS	AF
7	11.04.23	CLIENT AMENDMENTS	AF
6	31.03.23	DEVELOPMENT APPLICATION ISSUE	MC
5	08.03.23	CLIENT AMENDMENTS	AF
4	06.03.23	BUILDING DESIGN REVISIONS	AF
3	30.11.22	CLIENT AMENDMENTS	AF
REV.	DATE	DESCRIPTION	DRAWN



GCA Engineering Solutions
1 Hartley Drive (PO Box 3337),
Thornton NSW 2322
Ph 02 4964 1811
www.gca.net.au

Project Title
**PROPOSED INDUSTRIAL
DEVELOPMENT**
Project Address
**11E & 11D COBBANS CLOSE
BERESFIELD**

Client
BALLEN PTY LTD

Project Status
DEVELOPMENT APPLICATION
Drawing Title
**LANDSCAPING PLAN &
NOTES**

Project No. 22098A	Revision 8	Drawing No. DA07
------------------------------	----------------------	----------------------------

Drawings scaled to an A1 sheet

22098A DA18.pln Last saved on 28/04/2023 by Mark

COPYRIGHT IN THE DRAWINGS, INFORMATION AND DATA RECORDED HEREON IS THE PROPERTY OF GEOFF CRAIG & ASSOCIATES PTY LTD AND MAY NOT BE USED, COPIED OR REPRODUCED IN WHOLE OR PART FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT IS SUPPLIED WITHOUT THE PRIOR CONSENT OF GEOFF CRAIG & ASSOCIATES PTY LTD.

- G1. ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED AND EXPOSED PRIOR TO EARTHWORKS COMMENCING AND IT IS THE RESPONSIBILITY OF THOSE PERSONS USING THIS PLAN TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES IN CONJUNCTION WITH THE APPROPRIATE AUTHORITY.
- G2. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DESIGNER. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DESIGNER FOR CONSTRUCTION.
- G3. WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. IF IN DOUBT REFER TO DESIGNER.
- G4. EMERGENCY LIGHTING & EXIT / EXIT DIRECTION SIGNAGE TO BE INSTALLED TO ALL EGRESS PATHS & INTERNAL STAIRWAYS IN ACCORDANCE WITH AS2293.1- 2018 & BCA CLAUSES E4.2, E4.4, E4.5, E4.6 & E4.8.
- G5. AMENITIES TO BE MECHANICALLY VENTILATED.
- G6. ALL GLAZED ASSEMBLIES TO COMPLY WITH AS1288-2006 AND AS2047-2014 (AS APPLICABLE).
- G7. ALL NEW FLOOR LININGS, FLOOR COVERINGS, WALL LININGS & CEILING LININGS TO COMPLY WITH BCA CLAUSE C1.10.
- G8. EXIT TRAVEL DISTANCES TO BE IN ACCORDANCE WITH BCA CLAUSE D1.4.
- G9. THE MINIMUM UNOBSTRUCTED HEIGHT OF ANY REQUIRED EXIT OR PATH OF TRAVEL TO BE 2000mm THROUGHOUT EXCEPT DOORWAYS (MIN 1980mm) IN ACCORDANCE WITH BCA PART D1.6
- G10. WHERE APPLICABLE – TACTILE INDICATORS TO BE PROVIDED TO INTERNAL STAIRWAYS (TOP & BOTTOM LANDINGS).
- G11. WHERE APPLICABLE – LIFTS TO COMPLY WITH CLAUSES 3.1, 3.3, TABLES E3.6a & E3.6b OF THE BCA AND AS 1735.12. MINIMUM DIMENSIONS 1100mm WIDE x 1400mm DEEP WITH 900mm CLEAR OPENING.
- G12. WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH BCA TABLE F1.7 & AS3740-2010.
- G13. WINDOWS & EXTERNAL SLIDING FRAMED GLAZED DOORS TO COMPLY WITH AS2047-2014.
- G14. ARTIFICIAL LIGHTING TO BE PROVIDED IN ACCORDANCE WITH BCA PART F4.4 & TO COMPLY WITH AS/NZS1680.0-2009
- G15. MECHANICAL VENTILATION TO COMPLY WITH AS1668.2-2012.
- G16. WHERE APPLICABLE – ALL BALUSTRADES TO MEZZANINE FLOOR & STAIRWAYS TO COMPLY WITH BCA CLAUSES D2.16-D2.18, AS1170.1, AS1657 & AS1428.1.
- G17. STAIRWAYS TO COMPLY WITH BCA CLAUSE D2.13, TABLE D2.13, CLAUSE D2.14 AND TABLE D2.14
- G18. DOORS IN A REQUIRED EXIT, FORMING PART OF A REQUIRED EXIT OR IN THE PATH OF A REQUIRED EXIT TO COMPLY WITH BCA CLAUSE D2.21 OPERATION OF LATCH
- G19. DAMP-PROOFING – TO BE IN ACCORDANCE WITH AS2904 DAMP-PROOF COURSES AND FLASHINGS OR AS3660.1 TERMITE MANAGEMENT – NEW BUILDING WORK.
- G20. CAR PARKING & DRIVEWAY LAYOUT TO COMPLY WITH AS2890.1-2004.
- G21. CONSTRUCTION OF SANITARY COMPARTMENTS TO COMPLY WITH BCA CLAUSE F2.5.
- G22. OUTDOOR LIGHTING TO COMPLY WITH AS 4282-1997
- G23. TERMITE RISK MANAGEMENT SYSTEM TO BE PLACED IN ACCORDANCE WITH BCA CLAUSE B1.4 & AS 3660.1
- G24. PORTABLE FIRE EXTINGUISHERS ARE TO BE PROVIDED IN ACCORDANCE WITH BCA CLAUSE E1.6

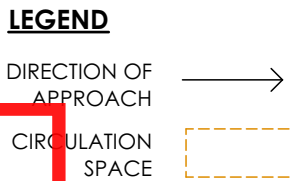
- E1. THERMAL CONSTRUCTION TO AIR CONDITIONED SPACE INSULATION MUST BE INSTALLED IN ACCORDANCE WITH BCA CLAUSE 1.2 & COMPLY WITH AS4859.1.
- E2. ROOF & CEILING TO ACHIEVE THE MINIMUM TOTAL "R" VALUE OUTLINED IN TABLE BCA J1.3. CONSTRUCTION OF ROOF TO COMPLY WITH BCA CLAUSE J3.6 (TYPICALLY R3.2) – REFER DETAILS.
- E3. GLAZING TO COMPLY WITH BCA CLAUSE J2.3 & J2.4. REFER GLAZING CALCULATED DATA SHEET (AIR CONDITIONED SPACE ONLY) & AS1288-2006.
- E4. EXTERNAL DOORS TO AIR CONDITIONED SPACE BE SELF CLOSING & SEALED IN ACCORDANCE WITH BCA CLAUSE J3.4.
- E5. AIR CONDITIONING TO COMPLY WITH BCA PART J5.
- E6. NATURAL LIGHTING TO COMPLY WITH BCA CLAUSES F4.2, 4.3 & 4.4.
- E7. ARTIFICIAL INTERIOR LIGHTING TO COMPLY WITH AS1680 & BCA CLAUSES J6.2-6.4.
- E8. ARTIFICIAL EXTERIOR LIGHTING TO COMPLY WITH BCA CLAUSE J6.5.
- E9. VENTILATION TO COMPLY WITH BCA CLAUSES J4.5-4.7.
- E10. HOT WATER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH SECTION 8 AS3500.4 & BCA PART J7.
- E11. EXTERNAL WALLS TO ACHIEVE MINIMUM TOTAL "R" VALUE OUTLINED IN TABLE BCA J1.5b – REFER DETAILS.

- A1. DISABLED ACCESS TO BE PROVIDED IN ACCORDANCE WITH BCA PART D3 & AS1428.1.
- A2. STAIRWAYS TO COMPLY WITH AS1428.1 INCLUDING COMPLIANT RISERS, CONTRASTING NOSE STRIP & TACTILE INDICATORS AT TOP & BOTTOM LANDINGS.
- A3. DOORWAYS TO HAVE MINIMUM CLEAR WIDTH OF 850mm (MINIMUM 920 LEAF DOOR).
- A4. DOOR HANDLES TO BE:
 - D-TYPE LEVER HANDLES LOCATED BETWEEN 900-1100mm HEIGHT.
 - CLEARANCE BETWEEN GRIP AND DOOR FACE TO BE 35-45mm IN ACCORDANCE WITH BCA PART D2.22
 - OPENABLE FROM THE SIDE FACING A PERSON SEEKING EGRESS WITHOUT A KEY
- A5. MINIMUM CLEAR WIDTH OF ACCESS WAYS TO BE 1000mm.
- A6. DOORWAYS INTO & WITHIN THE BUILDING TO HAVE MINIMUM LUMINANCE CONTRAST OF 30% PROVIDED BETWEEN DOOR & JAMB/WALL – MINIMUM WIDTH 50mm IN ACCORDANCE WITH AS1428.1 CLAUSE 13.1.
- A7. FLOOR & GROUND SURFACES TO COMPLY WITH AS1428.1 CLAUSE 7.
- A8. CARPET – AS1428.1 DOES NOT APPLY. CARPET PILE/BACKING THICKNESS AND HEIGHT TO BE IN ACCORDANCE WITH BCA PART D3.3 (g) & (h).
- A9. TACTILE INDICATORS TO BE PROVIDED & INSTALLED IN ACCORDANCE WITH AS1428.4.
- A10. ALL GLAZING ON ACCESSWAYS TO BE CLEARLY MARKED WITH A MIN 75mm VISION STRIP IN ACCORDANCE WITH BCA PART D3.12 & AS1428.1 CLAUSE 6.6
- A11. DISABLED TOILET TO BE CONSTRUCTED IN ACCORDANCE WITH AS1428.1.

Diagram illustrating the wall construction details:

- CONCRETE PANEL TO ENGINEERS DETAILS
- AIR GAP BETWEEN STUDWORK & PANEL
- WALL BATT INSULATION MIN. R2.5
- 10mm PLASTERBOARD
- 92mm STEEL STUDWORK TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS

NOTE
- REFER NOTES PAGE - 'ENERGY EFFICIENCY'
- EXTERNAL WALL SYSTEM TO ACHIEVE MINIMUM R2.8



Scale 1:50

Development Application No: DA2023/00420
The application has been consented to subject to compliance with conditions of consent.

Copyright: All documents have been reproduced by the City of Newcastle for the purposes of complying with its statutory obligations and may not be copied, used or otherwise reproduced in whole or in part without the authority of the copyright owner.

DRAYTON
design • construction • management
p. 02 4964 4028 | www.draytongroup.com.au



Project Title

Project Address
11E & 11D COBBANS CLOSE
BERESFIELD

Client

BALLEN PTY LTD

Project Status

DEVELOPMENT APPLICATION

Drawing Title

Project No.	Revision	Drawing No.
22098A	8	DA08

Drawings scaled to an A1 sheet