

IT IS THE RESPONSIBILITY OF THE CLIENT TO
CONFIRM ALL DIMENSIONS AND LEVELS PRIOR
TO COMMENCING ANY WORK.

PLANNING & ENVIRONMENT ACT 1987
WHITTLESEA PLANNING SCHEME
Planning Permit No: PLN-39825
Application Ref. No.: 713986
Endorsed to show compliance with Condition (s) 27
Sheet 1 of 18 Date: 14/01/2023
JFUW46EL2J 21 26 Nov 2021



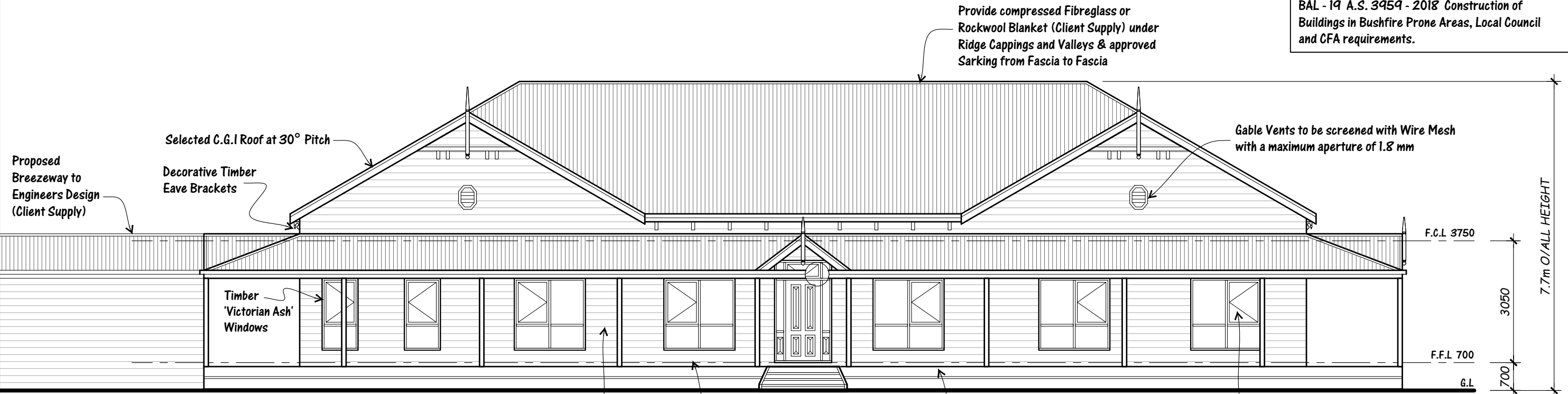
SOUTH ELEVATION

SCALE 1:100



NOTE:
These drawings shall be read in conjunction with any House Energy Rating Report and shall be constructed in accordance with the stamped plans endorsed by the Accredited Thermal Performance Assessor without alterations
Refer Energy Report No. JFUW46EL2J

NOTE:
All Construction Methods to be in accordance with BAL - 19 A.S. 3959 - 2018 Construction of Buildings in Bushfire Prone Areas, Local Council and CFA requirements.



WEST ELEVATION

SCALE 1:100



Harkaway Homes Pty Ltd
Registration: CDB-U 49296
ABN 88 128 943 251
ACN 128 943 251
57 National Avenue
Pakenham Victoria 3810
Telephone (03) 5943 2388


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PLANS PREPARED BY
J.UNG BUILDING DESIGN AND DRAFTING
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PROPOSED WEATHERBOARD RESIDENCE
FOR MS M. MILGATE
AT LOT 6 (No.15), DELMA COURT, BEVERIDGE, VIC

R.B.P: DP-AD 41902 DRAWN BY: J. UNG JOB No 595 DWELLING 404.43m2 PLOT DATE :15 Dec 2022 SHEET : 1 of 12

6.1
NATIONWIDE
HOUSE
ENERGY RATING SCHEME
135.8
www.nathers.gov.au

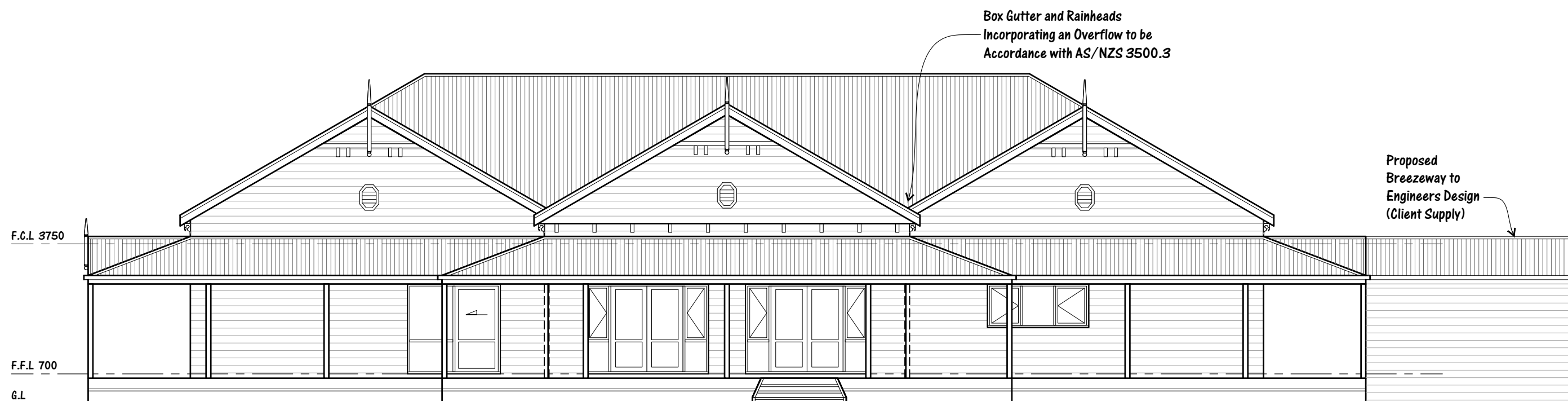
JFUW46EL2J 26 Nov 2021
Assessor Jay Ung
Accreditation No. DMN/18/1884
Address LOT 6 (No.15) DELMA COURT BEVERIDGE VIC 3753
<https://www.fr5.com.au/QRCodeLanding?PublicId=JFUW46EL2J>



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NORTH ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100

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6.1

NATIONWIDE

HOUSE

ENERGY RATING SCHEME

135.8

MJ/m²

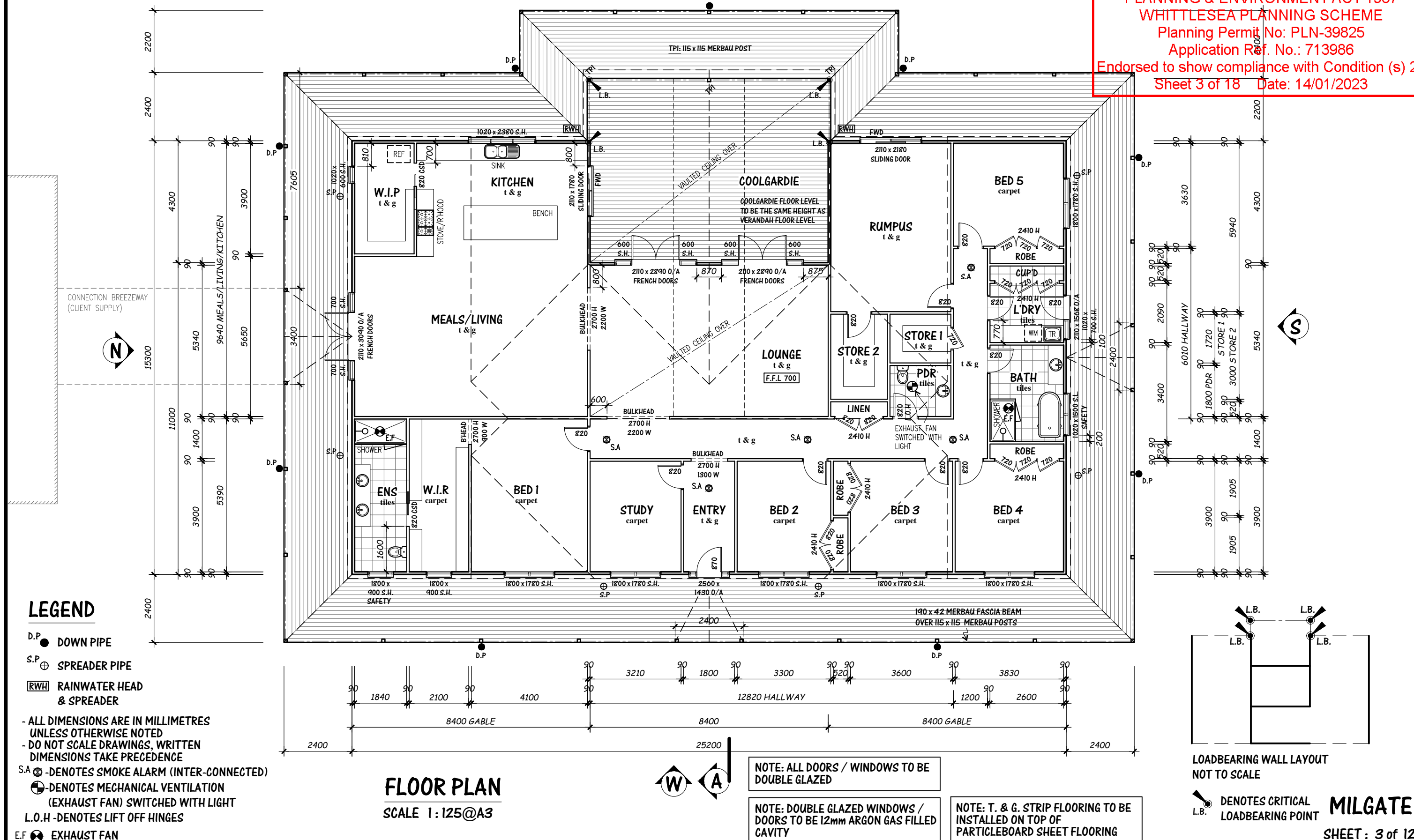
www.nathers.gov.au

JFUW46EL2J 26 Nov 2021

Assessor
Accreditation No. Jay Ung
DMN/18/1884

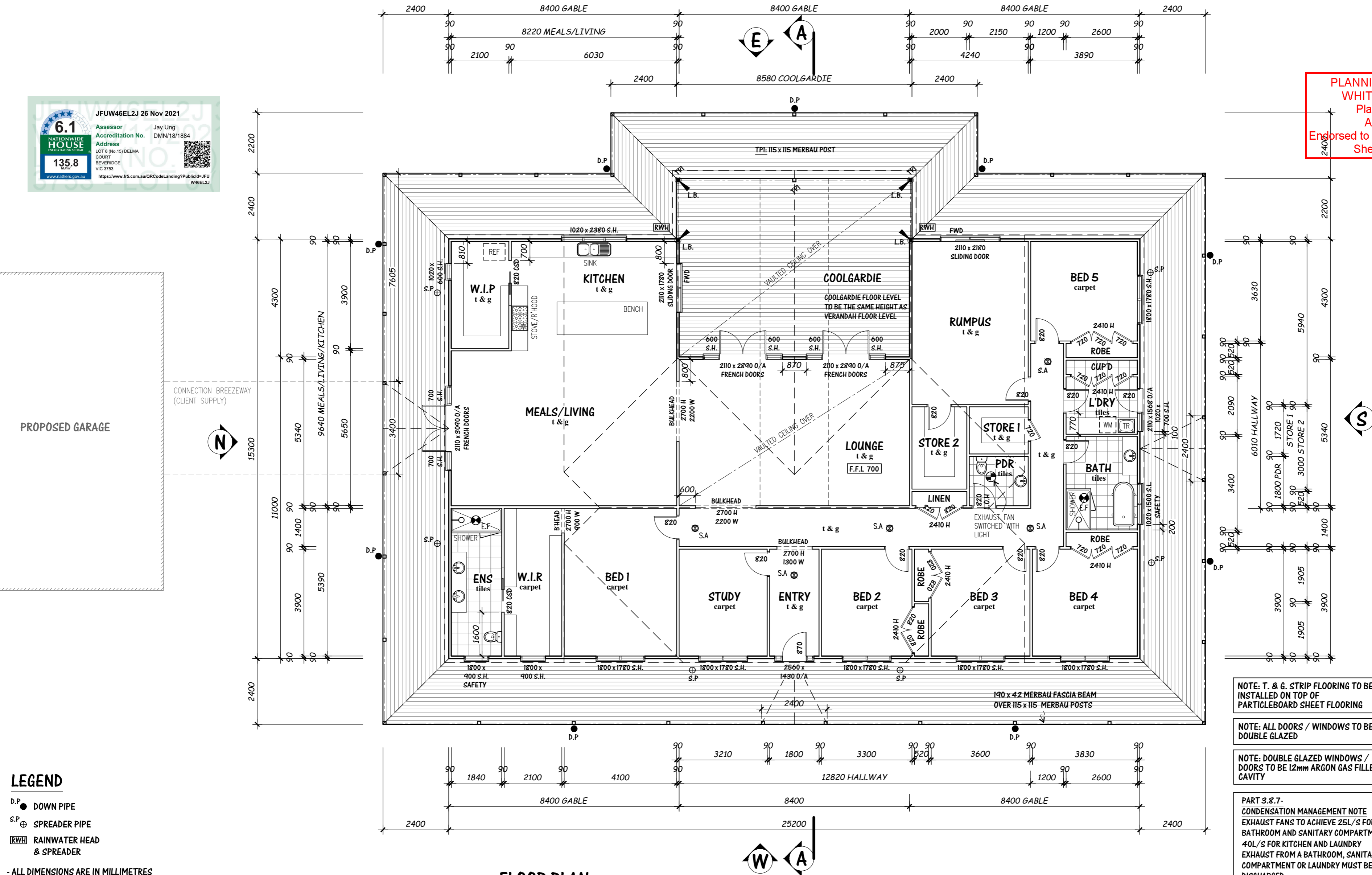
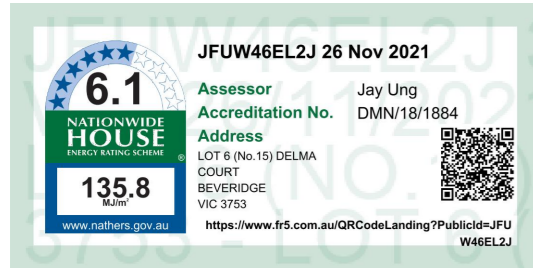
Address
LOT 6 (No.15) DELMA
COURT
BEVERIDGE
VIC 3753
<https://www.fr5.com.au/QRCodeLanding?PublicId=JFUW46EL2J>

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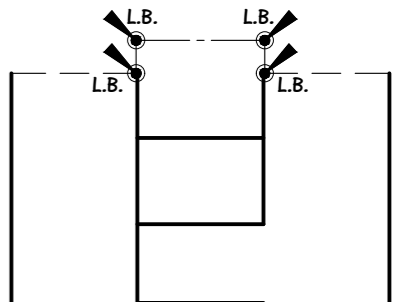


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LOADBEARING WALL LAYOUT
NOT TO SCALE

L.B. DENOTES CRITICAL
LOADBEARING POINT

LEGEND

- D.P. DOWN PIPE
- S.P. SPREADER PIPE
- RWH RAINWATER HEAD & SPREADER
- SA - DENOTES SMOKE ALARM (INTER-CONNECTED)
- MECH - DENOTES MECHANICAL VENTILATION (EXHAUST FAN) SWITCHED WITH LIGHT
- L.O.H. - DENOTES LIFT OFF HINGES
- EF EXHAUST FAN

NOTE: T. & G. STRIP FLOORING TO BE
INSTALLED ON TOP OF
PARTICLEBOARD SHEET FLOORING

NOTE: ALL DOORS / WINDOWS TO BE
DOUBLE GLAZED

NOTE: DOUBLE GLAZED WINDOWS /
DOORS TO BE 12mm ARGON GAS FILLED
CAVITY

PART 3.8.7-
CONDENSATION MANAGEMENT NOTE
EXHAUST FANS TO ACHIEVE 25L/S FOR
BATHROOM AND SANITARY COMPARTMENTS.
40L/S FOR KITCHEN AND LAUNDRY
EXHAUST FROM A BATHROOM, SANITARY
COMPARTMENT OR LAUNDRY MUST BE
DISCHARGED
- DIRECTLY OR VIA A SHAFT OR DUCT TO
OUTSIDE AIR, OR
- TO A ROOF SPACE THAT IS VENTILATED IN
ACCORDANCE WITH NCC 3.8.7.4

FLOOR PLAN

SCALE 1:100@A2

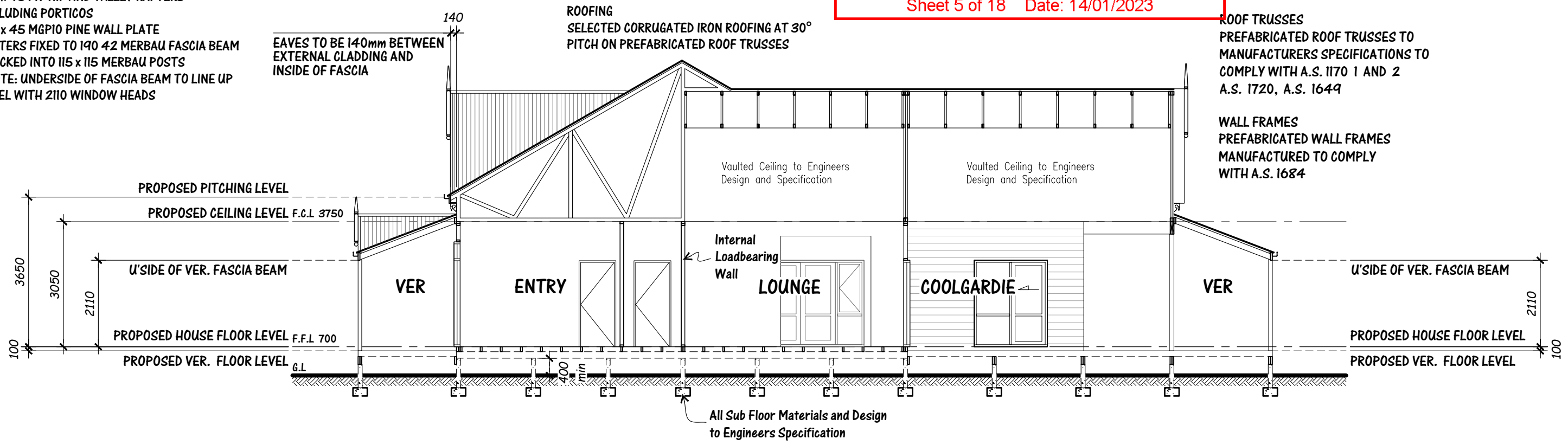
MILGATE

SHEET : 3 of 12

VERANDAH NOTES
2400mm STRAIGHT
SELECTED 0.47mm THICK CORRUGATED IRON
ROOFING ON:
140 x 45 MGPI PINE BATTENS AT 850 cts. max.
140 x 45 MGPI PINE RAFTERS AT 1200 cts. max.
140 x 45 F17 HIP AND VALLEY RAFTERS
EXCLUDING PORTICOS
140 x 45 MGPI PINE WALL PLATE
RAFTERS FIXED TO 190 42 MERBAU FASCIA BEAM
CHECKED INTO 115 x 115 MERBAU POSTS
*NOTE: UNDERSIDE OF FASCIA BEAM TO LINE UP
LEVEL WITH 2110 WINDOW HEADS

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PREFABRICATED WALLFRAME AND ROOF TRUSS
COMPUTATIONS PROVIDED TO APPROPRIATE
AUTHORITIES PRIOR TO FRAME INSPECTION



TIMBER FLOORING
TIMBER STRIP TONGUE AND GROOVE FLOORING TO
AS. 1684 PART 3.11 OR PARTICLEBOARD SHEET
FLOORING TO AS. 1859 AND 1860, FLOOR JOISTS
SPACED TO SUIT. APPROVED WET AREA FLOORING
TO ALL WET AREAS TO COMPLY WITH BUILDING
CODE OF AUSTRALIA

6.1
NATATIONWIDE
HOUSE
ENERGY RATING SCHEME
135.8
MJ/m²

JFUW46EL2J 26 Nov 2021

Assessor Jay Ung
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<https://www.fr5.com.au/QRCodeLanding?PublicId=JFUW46EL2J>

SECTION : A - A

SCALE 1:100

ALL FOOTINGS TO BE FOUNDED IN NATURAL
SOIL IN ACCORDANCE WITH A.S. 2870 OR AT FOUNDDING DEPTHS
RECOMMENDED IN SOIL REPORT WHICHEVER IS GREATER

SOIL CLASSIFICATION : 'A'
(REFER TO SPECIFIC RECOMMENDATIONS
IN SOIL REPORT)

SOIL REPORT SUPPLIED BY: SOILTEST EXPRESS
REPORT NO: 3489
DATE: 14/4/2020

WIND CLASSIFICATION : N3- 50m/s

- NOTE:
Protection From Subterranean Termites To Be In
Accordance With AS.3660

NOTE:
All Construction Methods to be in accordance with
BAL - 19 A.S. 3959 - 2018 Construction of
Buildings in Bushfire Prone Areas, Local Council
and CFA requirements.

PART 3.8.7-
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40L/S FOR KITCHEN AND LAUNDRY
EXHAUST FROM A BATHROOM, SANITARY
COMPARTMENT OR LAUNDRY MUST BE
DISCHARGED

- DIRECTLY OR VIA A SHAFT OR DUCT TO
OUTSIDE AIR, OR
- TO A ROOF SPACE THAT IS VENTILATED IN
ACCORDANCE WITH NCC 3.8.7.4

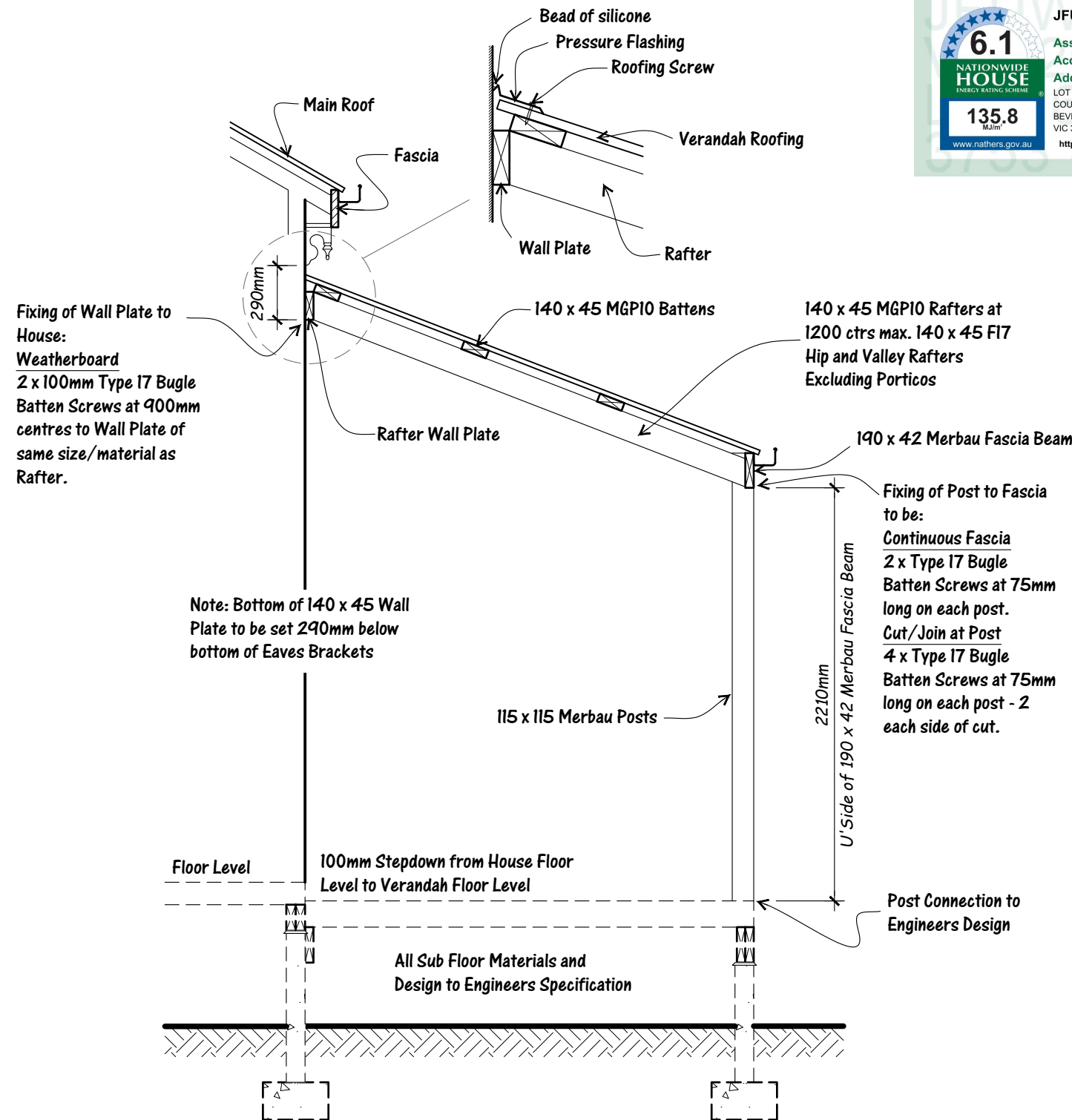
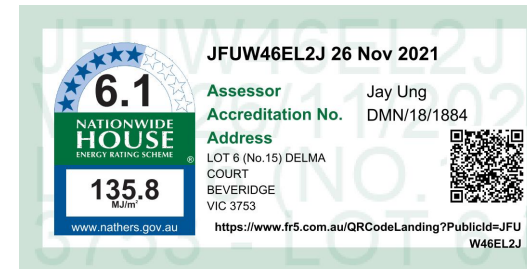
GENERAL NOTES

- ALL WALL AND ROOF FRAMING , BRACING AND TIE-DOWNS TO BE IN ACCORDANCE WITH AS.1684.2-2010 .
- PROTECTION FROM SUBTERRANEAN TERMITES TO BE IN ACCORDANCE WITH AS.3660.
- SUB-FLOOR VENTILATION TO BE PROVIDED AT A RATE OF 6000mm² VENT PER METRE EXTERNAL WALL.
- WALL SARKING TO COMPLY WITH AS.4200.1. INSTALLED TO AS.4200.2 AND BE VAPOUR PERMEABLE.
- EXHAUST FANS TO ACHIEVE 25L/S FOR BATHROOM AND SANITARY COMPARTMENTS. EXHAUST MUST BE DISCHARGED VIA A SHAFT OR ROOFSPACE THAT IS VENTILATED IN ACCORDANCE WITH NCC 3.8.7.4

- ALL SUB-FLOOR DETAILS AND FOOTINGS TO BE IN ACCORDANCE WITH AS.2870-2011.
- ALL GLAZING TO COMPLY WITH AS.1288-2006 and AS.2047.
- SMOKE ALARM TO BE INTERCONNECTED AND HARD WIRED WITH BATTERY BACKUP AND COMPLY WITH AS.3786.
- THERMAL INSULATION: R3.5 TO FLOORS R2.5 TO WALLS R5.0 TO CEILINGS.
- STAIRS/STEPS - MIN. 115 RISER MAX. 190 RISER MIN. 240 GOING MAX. 355 GOING. TREADS TO HAVE NON-SLIP RESISTANCE NOT LESS THAN P4 OR R11 (WET SURFACE AREA NCC 3.9.1.3 SLIP RESISTANCE CLASSIFICATION) 125mm MAX. GAP BETWEEN OPEN RISERS.
- HANDRAILS, MINIMUM 1.04m IN HEIGHT TO BE PROVIDED WHERE VERANDAH FLOOR EXCEEDS 1.0m ABOVE GROUND LEVEL.WHERE VERANDAH FLOOR EXCEEDS 4.0m ABOVE GROUND LEVEL, HORIZONTAL ELEMENTS WITHIN BALUSTRADE BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING. MAXIMUM 125mm BETWEEN RAILS.

- CONSTRUCTION OF WET AREAS MUST COMPLY WITH BCA AND AS 3740 - 2010 A WATERSTOP ACROSS DOOR OPENINGS MUST BE PROVIDED BETWEEN THE FLOORING IN THE WET AREA ROOMS AND ADJACENT FLOORING AND WATERPROOF FLASHING MUST BE PROVIDED TO ALL WALL/FLOOR JUNCTIONS AROUND THE PERIMETER OF THE ROOMS
- PROVIDE AN IMPERVIOUS SUBSTRATE AND SELECT SURFACE FINISH TO FLOORS WITHIN 1500mm OF AN UNENCLOSED SHOWER AND SAME TO WALLS AT 1800mm ABOVE FLOORS AND 150mm ABOVE BATH, SINKS, BASINS AND TROUGH SPLASH BACKS AND THE LIKE.
- ROOF DRAINAGE AND EFFLUENT WASTES AND PIPES TO BE IN ACCORDANCE WITH AS.2180, AS.3500 AND BE CONNECTED TO LEGAL POINT OF DISCHARGE.

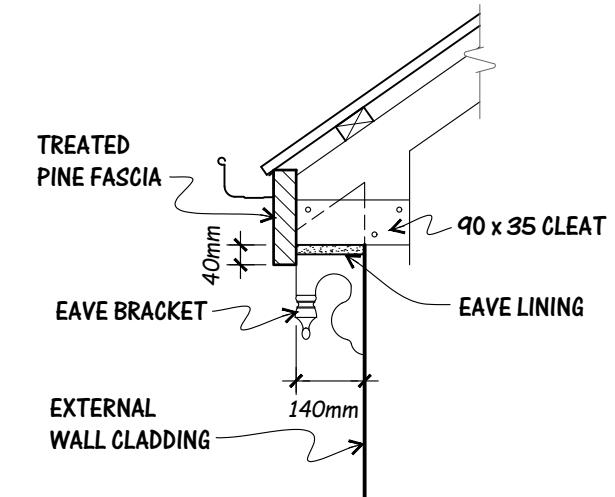
MILGATE
SHEET : 4 of 12



2400 WIDE VERANDAH DETAILS

NOT TO SCALE

Note: Refer to Instruction Manual for Verandah Corner Formation Details

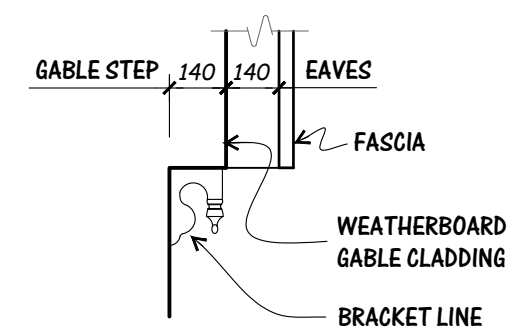


WEATHERBOARD:
ALLOW 150mm BETWEEN FRAME AND
INSIDE OF FASCIA

EAVE DETAILS

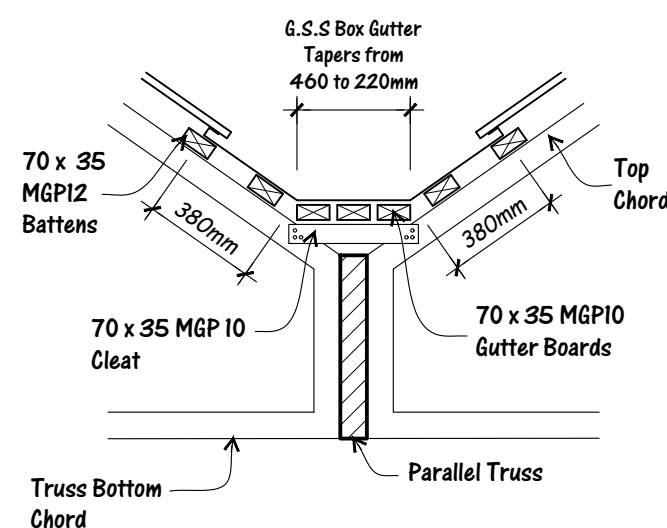
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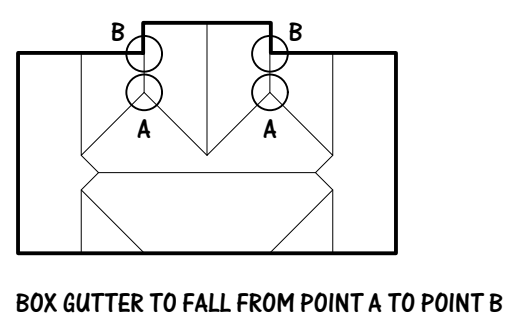


COOLGARDIE GABLE DETAILS

NOT TO SCALE



BOX GUTTER DETAILS
NOT TO SCALE



BOX GUTTER TO FALL FROM POINT A TO POINT B

ROOF PLUMBING NOTE:
Installation of Box Gutters to be in Accordance with AS/NZS 3500.3

- The Minimum Width of Any Box Gutter is 200mm for Domestic and 300mm for Commercial Construction.
- The Gradients of Box Gutters Must be in The Range of 1:40 to 1:200
- A Box Gutter Incorporating a Lear is Acceptable Providing the Gutter is Sized in Accordance with AS/NZS 3500.3
- Overflow Measures Are Essential to Protect Buildings From Internal Water Damage and Must be Sized in Accordance with AS/NZS 3500.3.

E.g. Rainheads Incorporating an Overflow Weir or Sumps with Side or High Capacity Overflow Devices.



BUSH FIRE ATTACK LEVEL (BAL) - 19		
Tested Systems	AS 1530.8.1 at 19 kw/m ²	
Timber Summary	Window joinery - 650 kg/m ³ Remainder - 750 kg/m ³	
Roof	- Fully sarked (Flammability index not more than 5) - Foil-backed insulation blankets may be installed over battens - Gaps greater than 3 mm to be sealed with <ul style="list-style-type: none"> (a) Mesh with a max 2 mm aperture made of corrosion resistant steel, bronze or aluminum or (b) Mineral wool or (c) Other non-combustible material 	
Windows	- Behind bushfire shutters - NR, or - Behind screens - NR, or - Less than 400 mm off horz surface <u>Frames</u> <ul style="list-style-type: none"> (a) Bushfire-resisting timber or (b) Timber species from E2 or (c) Metal or (d) Metal reinf PVC-U <u>Glazing :</u> - 5mm Toughened Glass to all external glazing	
External Doors	(Side Hung)	- Behind bushfire shutters - NR, or - Behind - NR, or - Unglazed Door <u>Joinery</u> <ul style="list-style-type: none"> (a) Non-combustible or (b) Solid having min thickness of 35 mm for the lower 400 mm or (c) Hollow core with a non-combustible kickplate for the lower 400 mm - Glazed Door <u>Glazing : as per windows</u> <u>Joinery less than 400 mm from horz surface</u> <ul style="list-style-type: none"> (a) Bushfire-resisting timber or (b) Timber species from E2 or (c) Metal or (d) Metal reinf PVC-U <u>Joinery greater than 400 mm from horz surface - NR</u> - Door Jambs <u>Less than 400 mm from horz surface</u> <ul style="list-style-type: none"> (a) Bushfire-resisting timber or (b) Timber species from E2 or (c) Metal or (d) Metal reinf PVC-U <u>Greater than 400 mm from horz surface - NR</u>
	Sliding door	- Behind bushfire shutters - NR, or - Behind screens - NR, or - Glaze door - grade A safety glass <u>Joinery less than 400 mm from horz surface</u> <ul style="list-style-type: none"> (a) Bushfire-resisting timber or (b) Timber species from E2 or (c) Metal or (d) Metal reinf PVC-U
External Walls		<u>Light-weight Cladding</u> - Any Cladding within 400 mm from a horz surface <ul style="list-style-type: none"> (a) Non-combustible material or (b) Fibre-cement min 6 mm thick or (c) Bushfire-resisting timber or (d) Timber species listed in E1
Deck, ramps etc	Enclosed	- Wall enclosed subfloor deck space first 400 mm from horz surface is to be same as walls above - Supports - NR - Framing - NR - Decking - less than 300 mm from glazed element is to be <ul style="list-style-type: none"> (a) Non-combustible (b) Bushfire resisting timber (c) Timber species from E1
	Unenclosed	- Supports - NR - Framing - NR - Decking - less than 300 mm from glazed element is to be <ul style="list-style-type: none"> (a) Non-combustible (b) Bushfire resisting timber (c) Timber species from E1

ROOF TRUSS AND WALL FRAME INFORMATION

PREFABRICATED WALLFRAME AND ROOF TRUSS COMPUTATIONS PROVIDED TO APPROPRIATE AUTHORITIES PRIOR TO FRAME INSPECTION

Radiata Wall Frames Built to AS.1684-2-2010 Timber Framing Code

EXTERNAL AND LOADBEARING WALLS
Bottom Plates 90 x 45 MGP 10
Top Plates 90 x 45 MGP 10 and 90 x 45 MGP 10 Ribbon Plate
Studs 90 x 35 MGP 10 at 450 cts
Noggings 90 x 35 MGP 10 at 1350 max. ctrs

INTERNAL NON-LOADBEARING WALLS
Bottom Plate 90 x 45 MGP 10
Top Plate 90 x 45 MGP 10
Studs 90 x 35 MGP 10 at 450 cts
Noggings 90 x 35 MGP 10 at 1350 max. ctrs

TRUSSES: To suit the following
Standard cut off trusses and valley sets at 900 cts
Bracing of tie down information as to AS.1684, designed to suit terrain category and wind loadings as nominated.

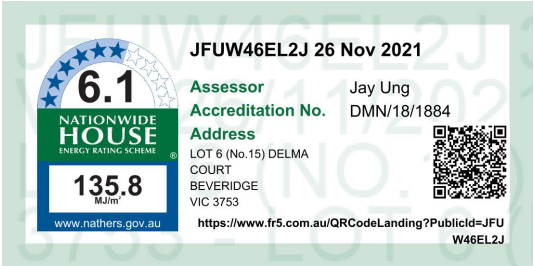
*NOTE
Prefabricated wallframe and roof truss computations provided to appropriate authorities prior to frame inspection.
Wall Frames and Roof Trusses to be Termite Resistant Structural Pine.

ENERGY RATING REQUIREMENTS

Provide rainwater tank with a minimum capacity of 2000 litres and a minimum roof catchment of 50m². The tank is to be connected to the sanitary flushing system.

- Draught Seal External Doors and Windows.
- Weatherstrip Entry Door.
- Draught Seal all Doors to Utility Rooms ie. Bathroom, W.C. & L'dry.
- Draught Seal all gaps and cracks around Door and Window frames.
- Provide R3.5 Thermal Insulation to Floors.
- Provide R2.5 Thermal Insulation to External Walls.
- Provide R5.0 Thermal Insulation to Ceiling.
- Provide Foil Wrap (anti-glare) to outside walls and under roofing.
- Windows where specified on plan to be Double Glazed.
- All internal lighting not to exceed 5 watts per m²
- All external lighting not to exceed 4 watts per m²

ARTIFICIAL LIGHTING CALCULATORS	
Artificial Lighting must not exceed the following;	
House Floor Area	404.43m ² x 5Wm ²
Watts Allowed =	2022 Watts
Verandah Floor Area	228.00 m ² x 4Wm ²
Watts Allowed =	912 Watts
Garage Floor Area	185.60 m ² x 3Wm ²
Watts Allowed =	557 Watts



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FULL FLOOR WATERPROOFING WILL BE REQUIRED WHEN USING PARTICLE BOARD FLOORING AND PLYWOOD SUB-BASE.

WATERPROOFING SYSTEMS SHOULD RESIST DIFFERENTIAL MOVEMENT, EXPOSURE TO CLEANING MATERIALS AND ALKALIS FROM CEMENT MORTAR AND ACCOMMODATE EXPECTED MOVEMENT ALONG SUBSTRATE MOVEMENT JOINTS

LAUNDRY/WC FLOORS REQUIRED TO BE WATER RESISTANT AND WHERE A FLOOR WASTE IS PROVIDED THE FLOOR SHALL BE GRADED TO THE WASTE. JUNCTIONS ARE TO BE WATER RESISTANT

AS3740 WATERPROOFING TO WET AREAS

WET AREAS (TO COMPLY WITH P2.4.1 AND BCA 3.8.1.2 AND AS 3740)

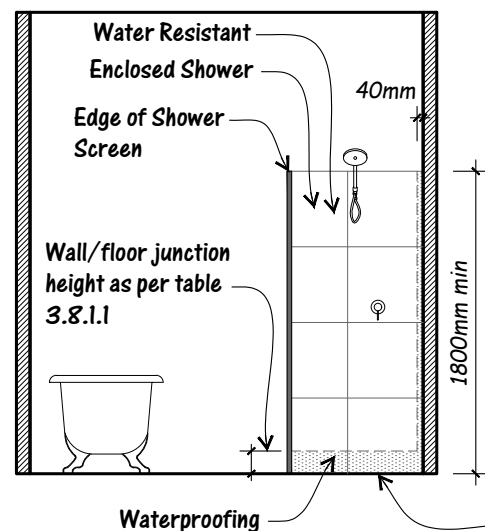
WET AREAS TO HAVE WATERPROOFING/MEMBRANE TO MANUFACTURER'S RECOMMENDATIONS (OR SIMILAR).

WATERPROOF TAP AND SPOUT PENETRATIONS IN VERTICAL SURFACES WITH 'WATERBAR' TAP PENETRATION FLANGE AND SILICONE

WALLS ADJOINING SINK, BASIN OR LAUNDRY TUB TO HAVE 150mm MIN. HIGH SELECTED CERAMIC TILED SPLASHBACK FOR EXTENT OF VESSEL, WHERE THE VESSEL IS WITHIN 75mm OF A WALL

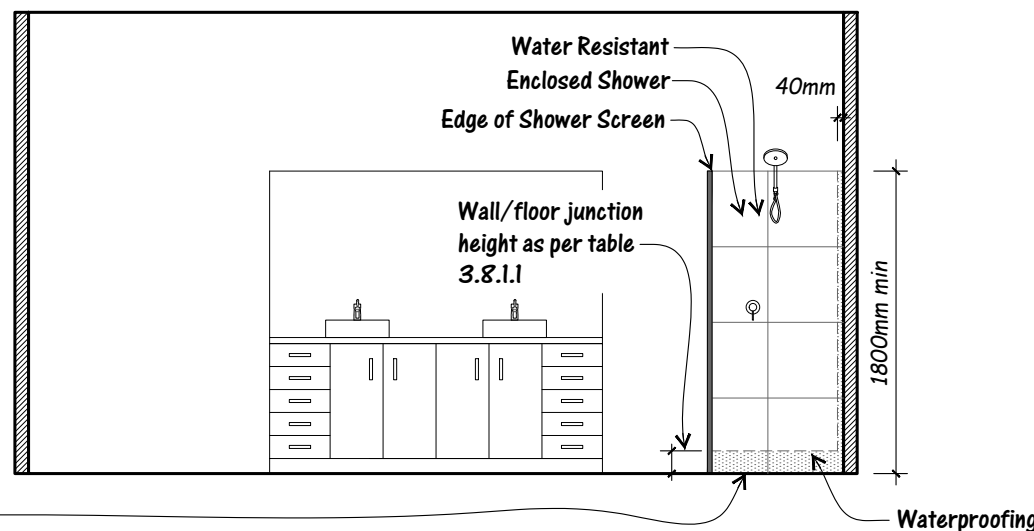
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PROVIDE AN IMPERVIOUS SUBSTRATE AND SELECT SURFACE FINISH TO FLOORS WITHIN 1500mm OF AN UNENCLOSED SHOWER AND SAME TO WALLS AT 1800mm ABOVE FLOORS AND 150mm ABOVE BATH, SINKS, BASINS AND TROUGH SPLASH BACKS AND THE LIKE.



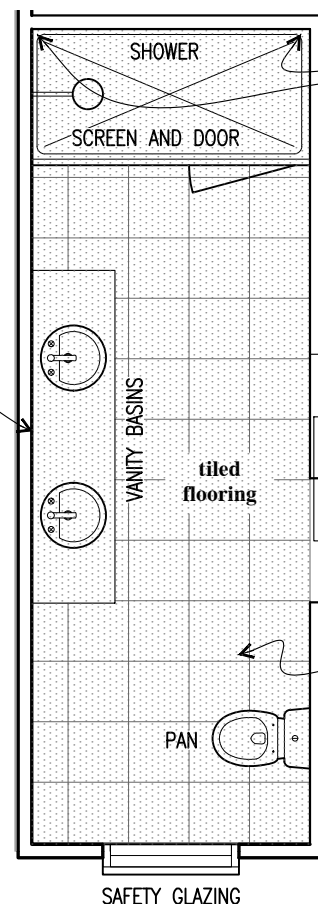
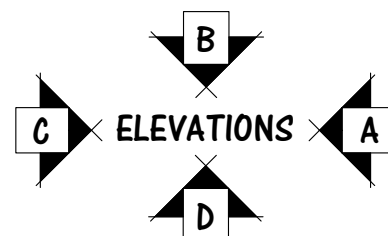
BATH - ELEVATION B

SCALE 1:50



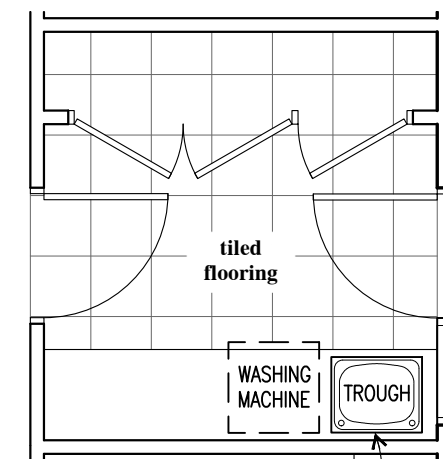
ENSUITE - ELEVATION A

SCALE 1:50



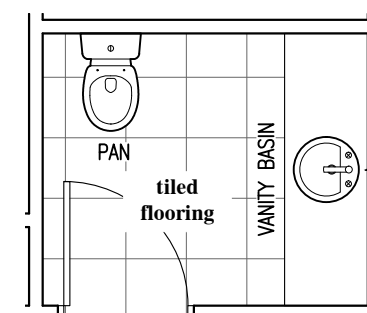
ENSUITE - PLAN

SCALE 1:50



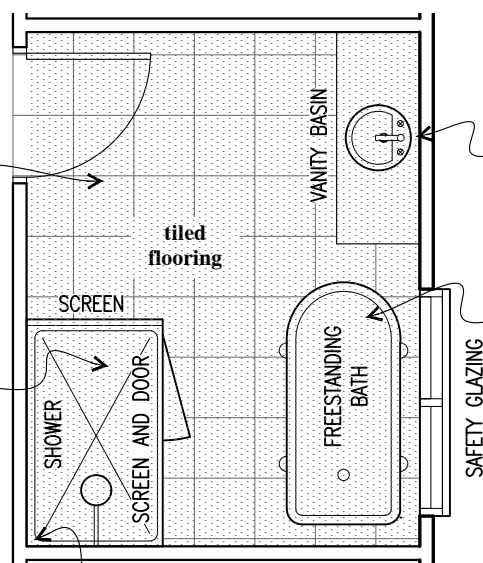
LAUNDRY - PLAN

SCALE 1:50



POWDER - PLAN

SCALE 1:50



BATH - PLAN

SCALE 1:50

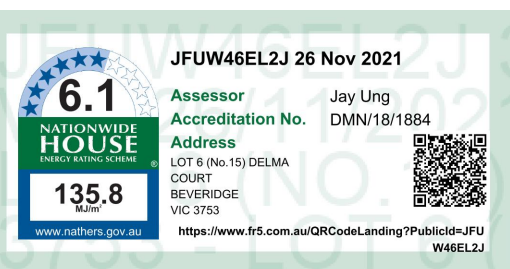
Wall adjoining vessels (eg Sinks, Basins, Laundry tubs) are to be water resistant and junctions waterproof. Any penetrations such as horizontal surfaces around such fixtures are to be waterproof and adjacent vertical surfaces to be water resistant

Areas to Bath/Spas timber floors, including particleboard plywood and other materials require waterproofing of the whole floor. Walls are to be water resistant and junctions to be waterproofed. Any penetrations such as horizontal surfaces around such fixtures are to be waterproofed and adjacent vertical surfaces to be water resistant.

Bathrooms with timber floor, including particleboard plywood and other materials, waterproofing of the whole floor is required. Junctions must also be waterproofed.

Dotted Hatch Denotes Waterproofing

Waterproof corner to 1800mm high from finished floor level minimum width of 40mm either side of the junction



JFUW46EL2J 26 Nov 2021

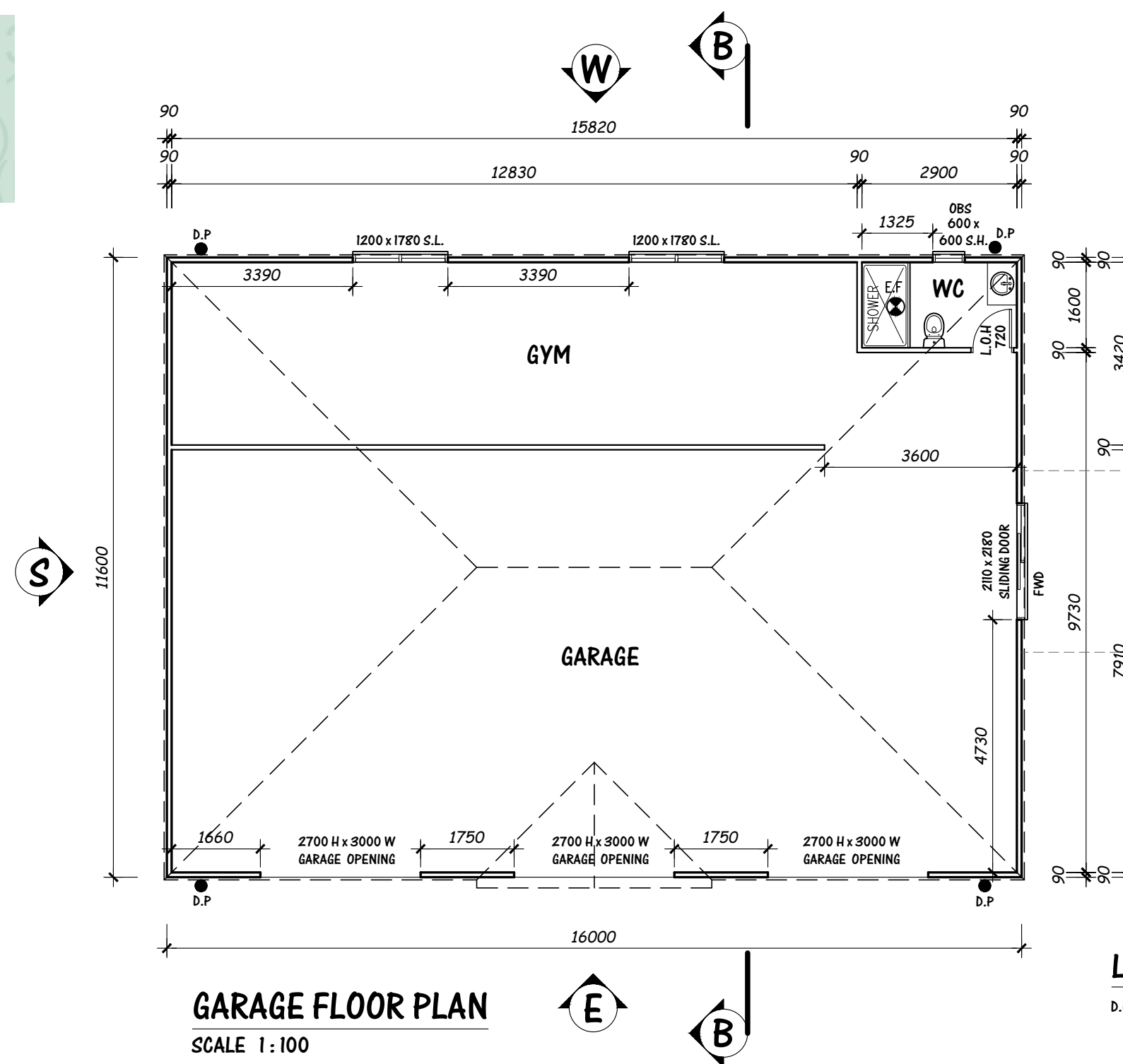
Assessor Jay Ung
Accreditation No. DMN/18/1884

Address LOT 6 (No.15) DELMA COURT
BEVERIDGE VIC 3753

https://www.fr5.com.au/QRCodeLanding?PublicId=JFUW46EL2J

6.1
NATIONWIDE
HOUSE
ENERGY RATING SCHEME
135.8
Mains
www.nathers.gov.au

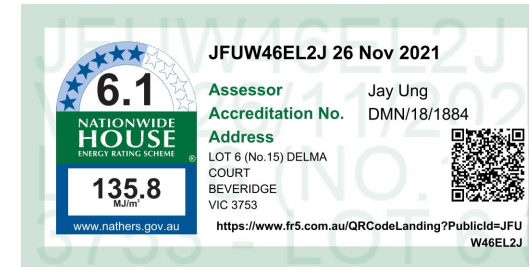
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Accreditation No. DMN/18/1884
Address LOT 6 (No.15) DELMA COURT BEVERIDGE VIC 3753
https://www.fr5.com.au/QRCodeLanding?PublicId=JFUW46EL2J



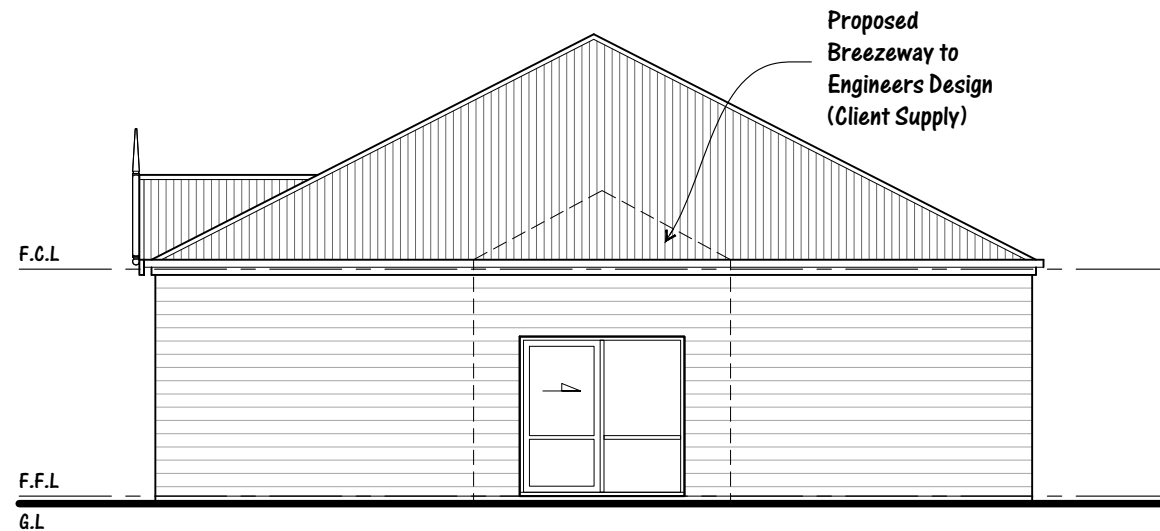
**PART 3.8.7-
CONDENSATION MANAGEMENT NOTE**
EXHAUST FANS TO ACHIEVE 25L/S FOR
BATHROOM AND SANITARY COMPARTMENTS.
40L/S FOR KITCHEN AND LAUNDRY
EXHAUST FROM A BATHROOM, SANITARY
COMPARTMENT OR LAUNDRY MUST BE
DISCHARGED

- DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR, OR
- TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH NCC 3.8.7.4

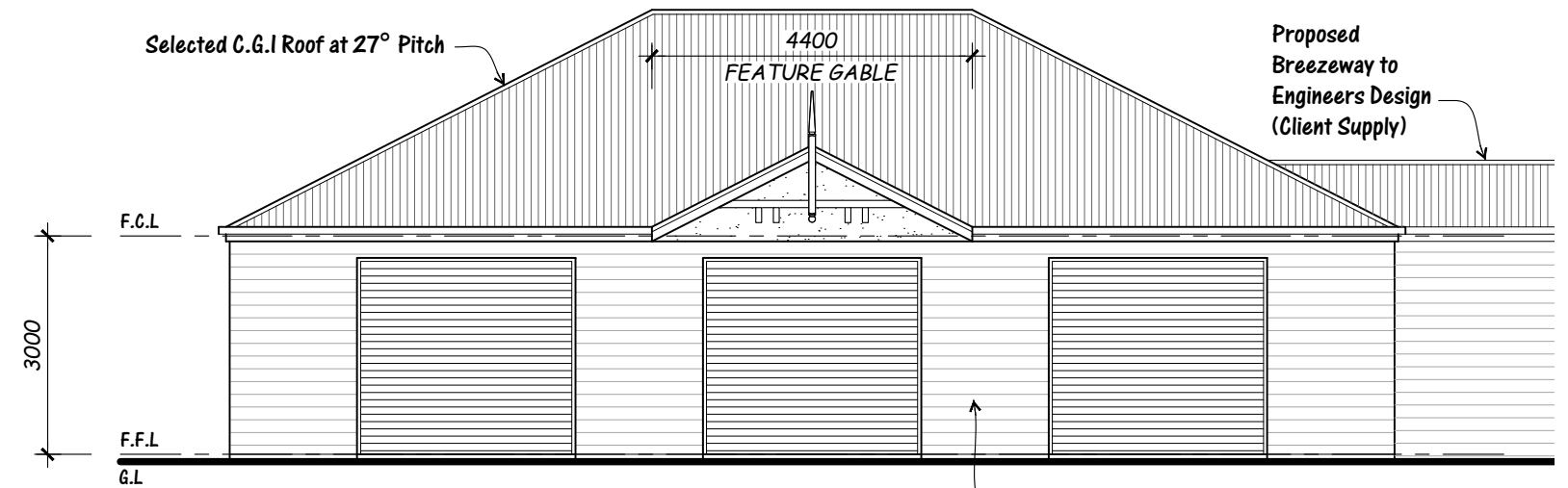
**PLANNING & ENVIRONMENT ACT 1987
WHITTLESEA PLANNING SCHEME**
Planning Permit No: PLN-39825
Application Ref. No.: 713986
Endorsed to show compliance with Condition (s) 27
Sheet 10 of 18 Date: 14/01/2023



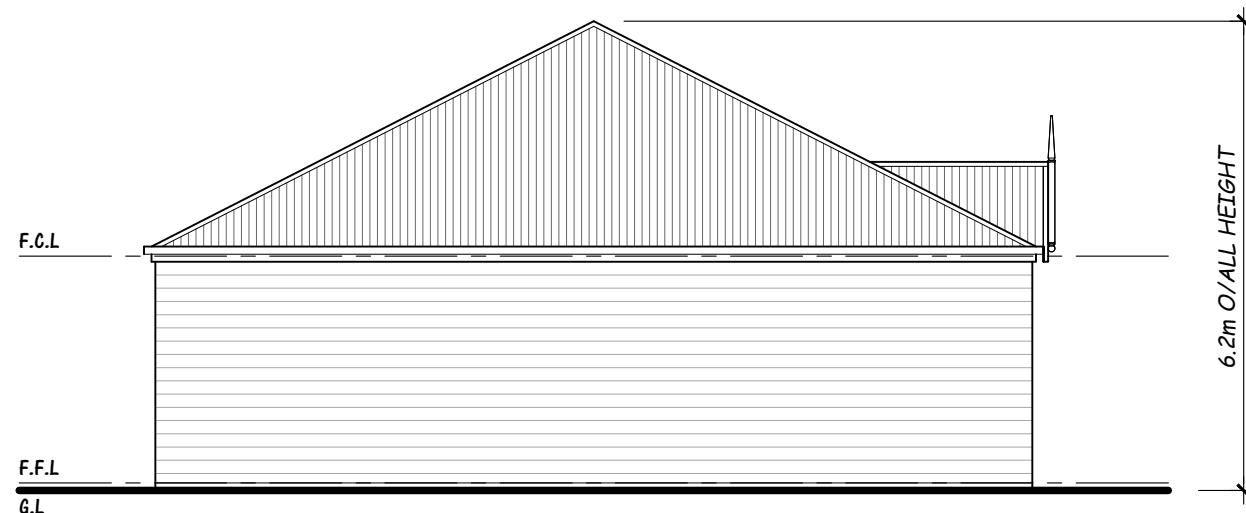
PLANNING & ENVIRONMENT ACT 1987
WHITTLESEA PLANNING SCHEME
Planning Permit No: PLN-39825
Application Ref. No.: 713986
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Sheet 11 of 18 Date: 14/01/2023



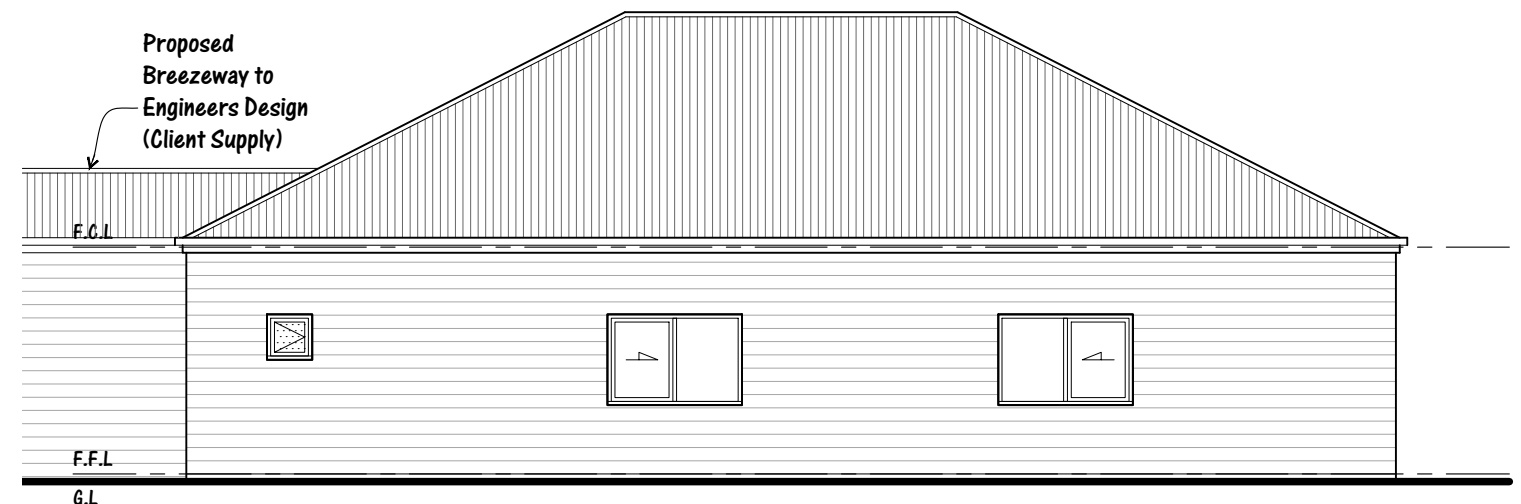
NORTH ELEVATION
SCALE 1:100



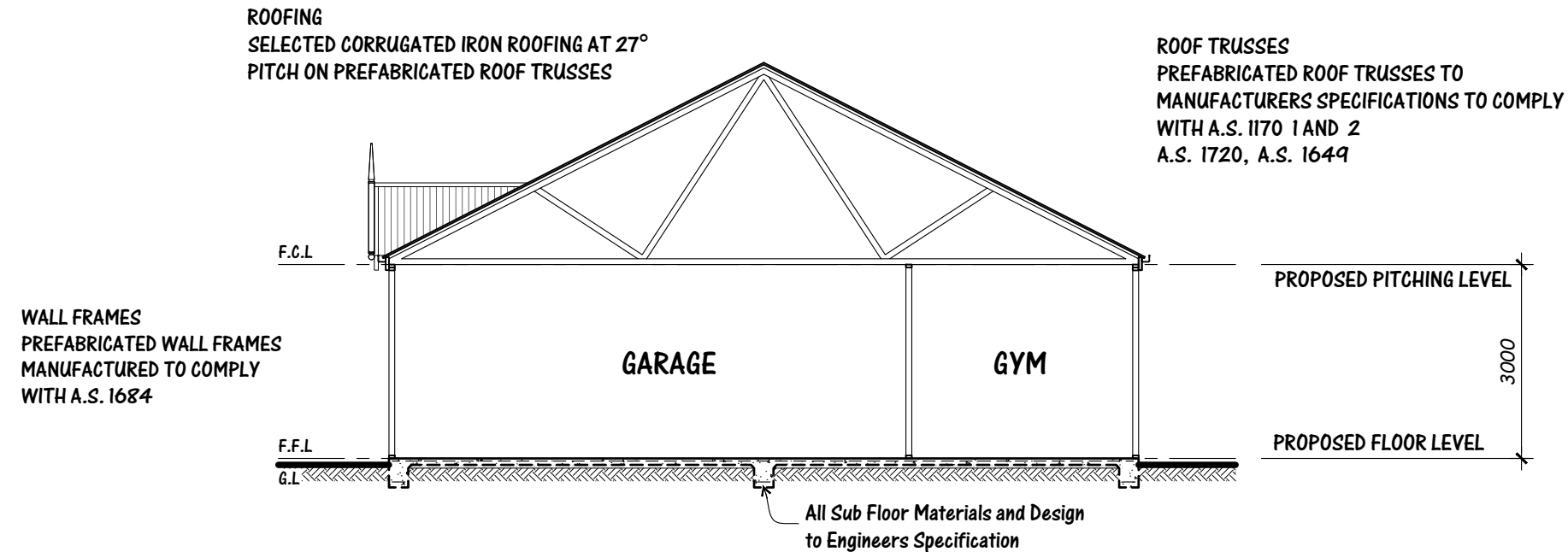
EAST ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100



SECTION : B - B

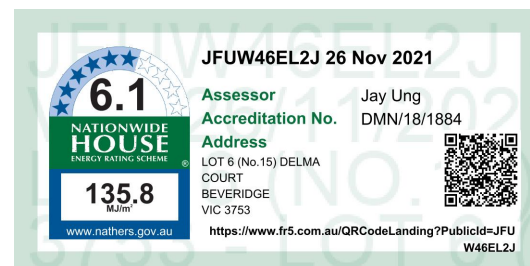
SCALE 1:100

SOIL CLASSIFICATION : 'A'
(REFER TO SPECIFIC RECOMMENDATIONS
IN SOIL REPORT)

SOIL REPORT SUPPLIED BY: SOILTEST EXPRESS
REPORT NO: 3489
DATE: 14/4/2020

WIND CLASSIFICATION : N3- 50m/s

ALL FOOTINGS TO BE FOUNDED IN NATURAL
SOIL IN ACCORDANCE WITH A.S. 2870 OR AT
FOUNDING DEPTHS RECOMMENDED IN SOIL
REPORT WHICHEVER IS GREATER



DELMA
COURT

142° 43' 10"
(101.53m)

122° 41' 10"
(269.34m)

82° 19' 30"
(262.60m)

111° 14' 20"
(295.61m)

74° 32' 10"
(160.03m)

92° 30'
(110.38m)

172° 48' 40"
(192.24m)

187° 25' 20"
(197.61m)

LOT 6 (No. 15)
340100m²
(34.01ha)

SITE PLAN
SCALE 1:5000

PLANNING & ENVIRONMENT ACT 1987
WHITTLESEA PLANNING SCHEME
Planning Permit No: PLN-39825
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Endorsed to show compliance with Condition (s) 27
Sheet 13 of 18 Date: 14/01/2023

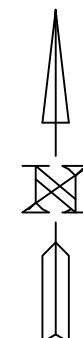
SCHEDULE OF COLOURS AND MATERIALS

COMPONENT		DESCRIPTION
EXTERIOR WALLS		
ROOF	Main:	
	Verandah:	
TRIM	Window Frames:	
	Eave Brackets:	
	Posts and Fascias:	

DEVELOPMENT SUMMARY BOX

SITE AREA	340100 m2
HOUSE & VERANDAH	632.43 m2
GARAGE	185.60 m2
SHED	300.00 m2
TOTAL IMPERVIOUS AREA	1118.03 m2
PERMEABILITY INDEX	99.67 %
SITE COVERAGE	0.33 %

ENLARGEMENT
SCALE 1:800



MILGATE

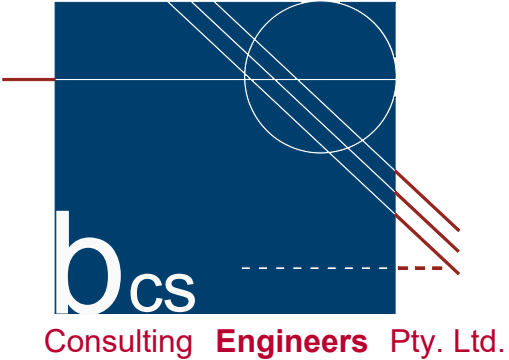
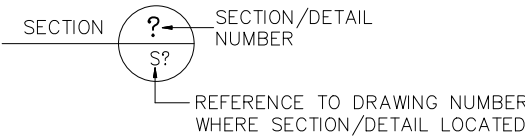
Rev A SHEET : 12 of 12

RED ED'S SHEDS
PROPOSED SHED AT :-
15 DELMA COURT, BEVERIDGE

PLANNING & ENVIRONMENT ACT 1987
WHITTLESEA PLANNING SCHEME
Planning Permit No: PLN-39825
Application Ref. No.: 713986
Endorsed to show compliance with Condition (s) 27
Sheet 14 of 18 Date: 14/01/2023

DRAWING No.	DESCRIPTION	ISSUE
S1	FACE SHEET, INDEX & NOTES (THIS SHEET)	A
S2	ROOF PLAN, SECTION & SCHEDULE	A
S3	ELEVATIONS	A
S4	DETAILS	A

LEGEND



ENGINEERING NOTES:

GENERAL:

- STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANT'S DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. DIMENSIONS SHALL BE TAKEN FROM THE ARCHITECTURAL DRAWINGS OR THE ACTUAL WORK. THE BUILDER MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK. REFER ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CURRENT RELEVANT S.A.A. CODES AND THOSE OF ALL STATUTORY AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- STRUCTURAL DIMENSIONS ON DRAWINGS DO NOT INCLUDE FINISHES. HOLES AND RECESSES NOT DETAILED ON STRUCTURAL DRAWINGS SHALL BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- SUBSTITUTIONS, WHERE NECESSARY, SHALL BE APPROVED BY THE ENGINEER, AND ALLOWED FOR BY THE BUILDER IN HIS TENDER.
- APPROVAL GIVEN ON SHOP DRAWINGS COVERS STRUCTURAL DETAIL ONLY AND DOES NOT INCLUDE DIMENSIONS AND SETOUT.
- DURING CONSTRUCTION, THE STRUCTURE SHALL BE MAINTAINED IN A SAFE AND STABLE CONDITION AND SHALL NOT BE OVERSTRESSED.

FOUNDATIONS:

- FOUNDATION MATERIALS ARE TO BE APPROVED FOR THE FOLLOWING SAFE BEARING PRESSURES PRIOR TO PLACEMENT OF CONCRETE:
STRIP FOOTINGS 150 kPa PAD FOOTINGS 100 kPa
EDGE BEAMS TO SLABS 150 kPa INTERNAL BEAMS TO SLABS 100 kPa
FLOOR SLABS 30 kPa
- U.N.O. REINFORCEMENT FOR STRIP FOOTINGS AND TO EDGE BEAMS AND INTERNAL BEAMS TO SLABS ON GROUND SHALL BE LAPPED FULL WIDTH AT CORNERS AND INTERSECTIONS AND 50mm AT SPLICES, AND SHALL BE CARRIED CONTINUOUSLY THROUGH ANY INTERSECTING PAD FOOTINGS.

CONCRETE:

- ALL WORKMANSHIP, MATERIALS AND TESTING SHALL COMPLY WITH AS3600.
- CONCRETE SHALL HAVE THE FOLLOWING PROPERTIES AND SHALL ATTAIN THE SPECIFIED STRENGTH (F_c) AT 28 DAYS.

LOCATION	F _c	SLUMP (mm)	AGGREGATE SIZE (mm)
STRIP FOOTINGS	20 MPa	60	20
SLABS & BEAMS	20 MPa	60	20
BUILDING	15 MPa	60	20
CAVITY INFILL	25 MPa	60	20
WALLS	25 MPa	60	20

CONCRETE: CONT

- UNLESS OTHERWISE SHOWN, CLEAR CONCRETE COVER TO ALL REINFORCEMENT SHALL BE AS FOLLOWS:

STRUCTURAL MEMBER	CLEAR CONCRETE COVER (mm) FOR CONCRETE CAST		
	FORMED AND SHELTERED	FORMED AND EXPOSED	NOT FORMED
PAD FOOTINGS		65	75
STRIP FOOTINGS		50	65
PIERS		50	75
COLUMNS	40	50	75
WALLS	20	30	65
BEAMS	25	40	65
SLABS/STAIRS	20	30	65

- WHERE NOTED, ENCASED STEELWORK SHALL HAVE 50mm CONCRETE COVER.
- COVER SHALL BE MAINTAINED BY THE USE OF APPROVED SPACERS OR CHAIRS AT 800mm c/c MAXIMUM. PIPES, CONDUITS ETC, ARE NOT TO BE PLACED IN COVER CONCRETE. PROVIDE 100mm SQUARE GALV. METAL PADS UNDER CHAIRS IN CONTACT WITH THE GROUND OR MEMBRANE.
- ALL SLABS AND SUPPORTING BEAMS SHALL BE POURED TOGETHER AND PRE-CAMBER TO BEAMS AND SLABS SHALL BE PROVIDED AS SPECIFIED.
- REINFORCEMENT NOTATION IS AS FOLLOWS:
R - STRUCTURAL GRADE PLAIN BARS TO AS1302 f_{sy} = 230MPa
N - DEFORMED BAR TO AS1302 GRADE 410Y f_{sy} = 410MPa
SL - HARD DRAWN WIRE FABRIC TO AS1304 f_{sy} = 450MPa
FABRIC IS TO BE SUPPLIED IN FLAT SHEETS ONLY.
- REINFORCEMENT SPLICES AND CONSTRUCTION JOINTS SHALL NOT BE RELOCATED OR ADDED WITHOUT THE ENGINEER'S APPROVAL. CLASS C SPLICES AND STANDARD HOOKS AND COGS (AS3600) SHALL BE ADOPTED. U.N.O. REINFORCEMENT SHALL BE SECURELY TIED AT ALL LAPS AND INTERSECTIONS WITH 1.25mm ANNEALED WIRE.
- FORMWORK USED FOR STRUCTURAL MEMBERS SHALL COMPLY WITH AS1509 AND STRIPPING OF FORMWORK SHALL COMPLY WITH TABLE 4.2 OF AS1509.
- CONCRETE SHALL BE SEPARATED FROM SUPPORTING MASONRY BY 2 LAYERS OF BITUMINOUS FELT OR APPROVED EQUIVALENT.
- MASONRY SHALL NOT BE BUILT OFF SUPPORTING CONCRETE UNTIL ALL PROPS AND FORMWORK HAVE BEEN REMOVED AND THE CONCRETE HAS GAINED THE SPECIFIED STRENGTH (F_c).

STEELWORK:

- ALL STEELWORK SHALL BE IN ACCORDANCE WITH AS1250 & AS4100. STEEL STRUCTURES SHALL COMPLY WITH AS1204 AND HOLLOW SECTIONS SHALL BE MANUFACTURED TO AS1163 GRADE 350 U.N.O..
- U.N.O. WELDS SHALL BE 6mm CONTINUOUS FILLET WELDS CATEGORY GP(6CFW) FULL PERIMETER OF CONTACT WITH E60XX ELECTRODES. ALL WELDING SHALL BE IN ACCORDANCE WITH AS1554. ALL BUTT WELDS AND ALL FILLET WELDS 8mm AND OVER SHALL BE CATEGORY SP.
- U.N.O. USE BLACK BOLTS GRADE 4.6/S TO AS1111 IN 2mm CLEARANCE HOLES (4.6/S) NOTATION FOR HIGH STRENGTH BOLTS TO AS1252 IS AS FOLLOWS:
8.8/S HIGH STRENGTH BOLTS INSTALLED SHUO TIGHT
8.8/TF HIGH STRENGTH BOLTS IN FRICTION GRIP MODE
8.8/TF HIGH STRENGTH BOLTS IN BEARING MODE
THE NOMINAL BOLT DIAMETER IS DENOTED THIS M20 = 20mm
ATTENTION IS DRAWN TO THE USE OF HARD GRADE WASHERS WITH HIGH STRENGTH BOLTS. ALL EXPOSED BOLTS ARE TO BE GALVANIZED U.N.O..
- U.N.O. USE A MINIMUM CONNECTION CONSISTING OF 10mm CLEAT PLATES, 6CFW AND 2 No M20 4.6/S BOLTS.
- SHOP DRAWINGS ARE TO BE APPROVED BY OTHERS.
- U.N.O. SEAL ALL TUBES WITH 5mm PLATE AND CONTINUOUS FILLET WELD.
- STEELWORK BELOW GROUND SHALL HAVE 75mm CONCRETE ENCASING.
- U.N.O. BEAMS AND LINTELS SHALL BEAR A MINIMUM OF 230mm ON BRICKWORK ON A BED OF 12mm OF 2:1 SAND/CEMENT MORTAR.
- MASONRY TIES SHALL BE WELDED TO ALL STEELWORK IN CONTACT WITH MASONRY WALLS. U.N.O. USE 3.25mm U SHAPED GALVANIZED TIES ANCHORED 75mm INTO MASONRY AT 400mm c/c's.
- PROVIDE PRE-CAMBER TO STEELWORK AS NOTED OR SPECIFIED.
- PROVIDE ALL NECESSARY CLEATS, HOLES ETC, AS REQUIRED FOR FIXING OF TIMBER AND FINISHES TO STEELWORK.
- U.N.O. ALL STEELWORK SHALL BE THOROUGHLY CLEANED OF RUST, SCALE AND GREASE AND SHALL HAVE ONE COAT OF RED OXIDE ZINC CHROMATE PRIMER EXCEPT FOR CONCRETE ENCASED STEELWORK. GALVANIZED STEELWORK, AND MATING STEEL SURFACES CONNECTED TOGETHER WITH 8.8/TF BOLTS. PRIMING IS TO BE TOUCHED UP ON COMPLETION OF ERECTION.

MASONRY:

- MASONRY BRICKWORK SHALL BE IN ACCORDANCE WITH AS1640 & AS3700. MASONRY BLOCKWORK SHALL BE IN ACCORDANCE WITH AS1475.
- BRICKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 30MPa, AND BLOCKS SHALL BE GRADE 12 UNITS TO AS1500.
- MORTAR TO MASONRY SHALL BE (CEMENT:LIME:SAND) AS FOLLOWS:
BRICKWORK 1:1:6 BLOCKWORK 1:1:6
REINFORCED BRICKWORK 1:1/4:3 REINFORCED BLOCKWORK 1:1/10:3
- MASONRY HAS BEEN DESIGNED FOR THE FOLLOWING VALUES
F_v = 0.28MPa F_t = 1.8MPa
- NON-LOADBEARING MASONRY PARTITIONS ARE TO BE KEPT MINIMUM 12mm CLEAR OF THE SOFFIT OF ANY STRUCTURAL MEMBER OVER.
- IN ALL MASONRY, PROVIDE JOINT REINFORCEMENT AND BOND BEAMS IN ACCORDANCE WITH AS1640 AND AS1475 AND THE MASONRY UNIT MANUFACTURERS RECOMMENDATIONS.
- IN REINFORCED BRICKWORK, GROUT SHALL CONSIST OF 1 PART CEMENT, 2.5 PARTS SAND, AND 1.5 PARTS 10mm AGGREGATE WITH SUFFICIENT WATER TO ENSURE AN EVEN FLOW INTO ALL PARTS OF THE SPACE BEING GROUTED.
- IN REINFORCED BLOCKWORK, GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (F_c) OF 15MPa AND SHALL CONSIST OF 1 PART CEMENT, 1/10 PART LIME, 3 PARTS SAND, AND 2 PARTS 10mm AGGREGATE WITH SUFFICIENT WATER TO PROVIDE A MINIMUM SLUMP OF 125mm TO ENSURE AN EVEN FLOW INTO ALL PARTS OF THE SPACE BEING GROUTED.
- CLEANOUT AND INSPECTION OPENINGS ARE TO BE PROVIDED AT THE BASE OF ALL REINFORCED AND GROUTED CAVITIES AND CORES. BED JOINTS AND PERPENDS IN REINFORCED MASONRY ARE TO BE FULL WIDTH AND SHALL NOT BE RAKED.
- ALL CAVITIES IN MASONRY LOCATED BELOW GROUND ARE TO BE FILLED WITH MORTAR OR GROUT.

TIMBER:

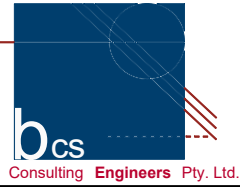
- ALL WORK SHALL CONFORM TO AS1720 AND AS1684.
- ALL TIMBER MEMBERS NOT NOMINATED SHALL CONFORM TO THE REQUIREMENTS OF AS1684.

GENERAL NOTES:

REV	AMENDMENT	DATE	CHK.	APR.
A	FIRST ISSUE	28/10/21	SW	JB

PROJECT	PROPOSED SHED AT :- 15 DELMA COURT, BEVERIDGE
DETAILS	FACE SHEET, INDEX & NOTES
MUNICIPALITY	MITCHELL SHIRE COUNCIL

PRINCIPAL	RED ED'S SHEDS
DATUM (A.H.D.)	
DESIGNED JB	CHECKED JB
DRAWN JB	DATE 10/21

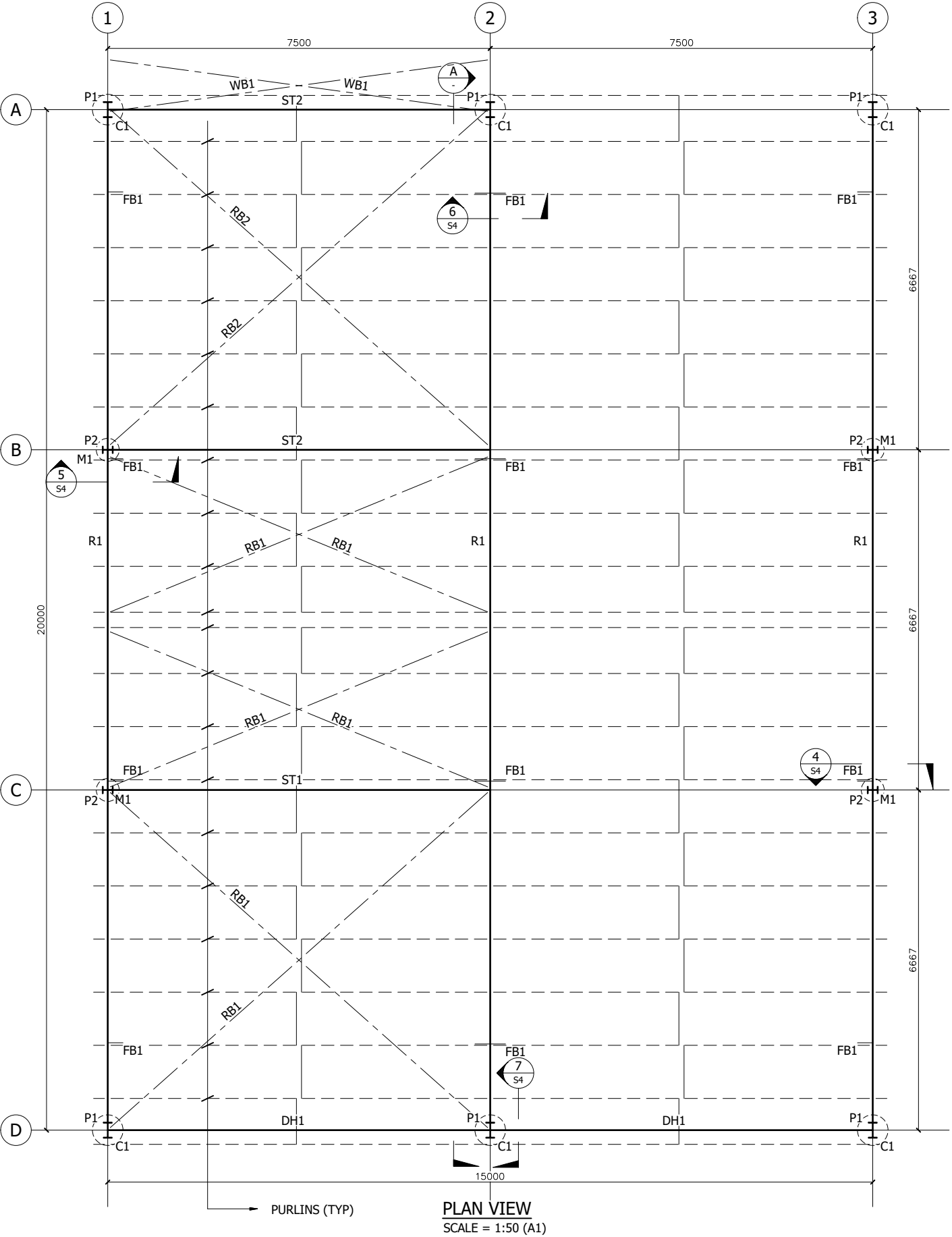
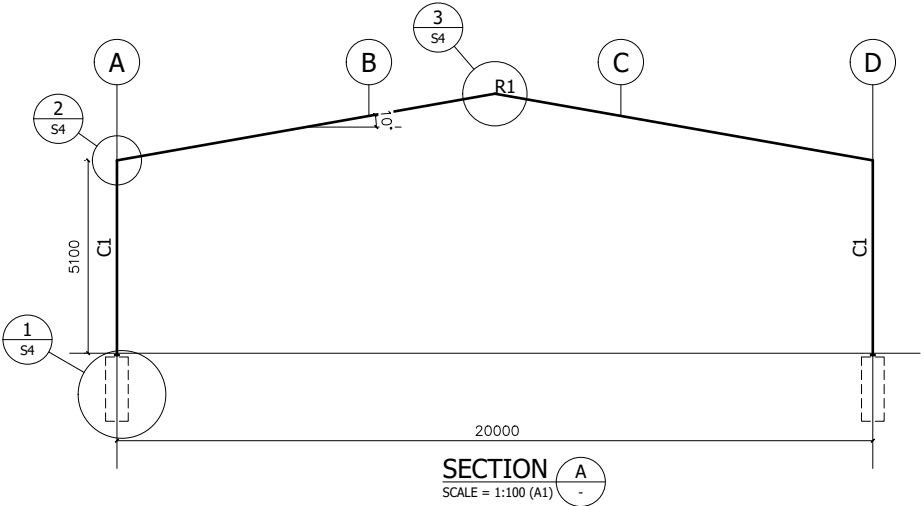



BRICSCAD FILE:	1328101 MAIN PLAN
DATE OF PLOT:	28/10/21
NTS	
CLIENT REF:	
SHEET 1 OF 4	
S1	A

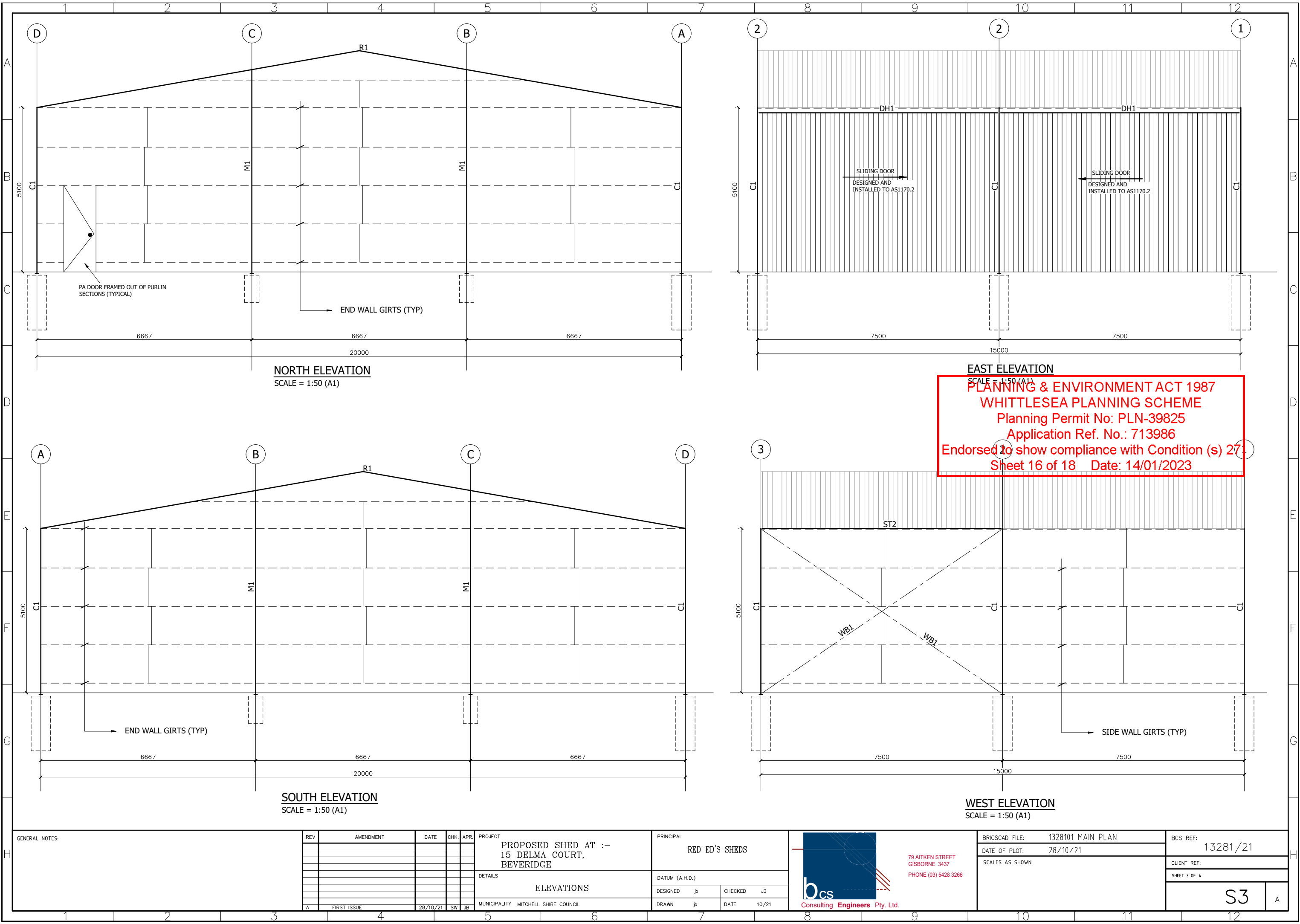
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CLIENT REF:	
SHEET 1 OF 4	
S1	A

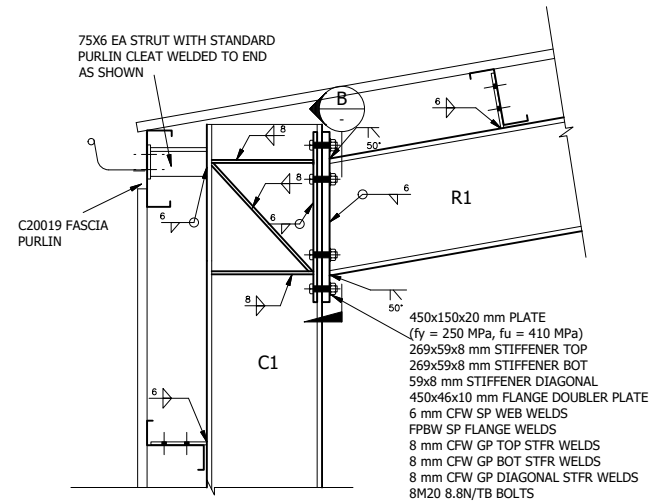
STEELWORK MEMBER SCHEDULE		
MARK	SIZE	REMARKS
C1	12X5 RSJ	COLUMNS
R1	12X5 RSJ	RAFTERS
M1	200UB25 OR 180UB18 + 1 FLY BRACING AS MID HEIGHT	MULLIONS
DH1	100 PFC *ON SIDE* WELDED TO 230 PFC *VERTICAL*	DOOR HEADER
RB1	16Ø ROD OR CABLE SIZED TO 2.8 TONNES (WORKING LOAD)	ROOF BRACING
RB2	20Ø ROD OR CABLE SIZED TO 4.8 TONNES (WORKING LOAD)	ROOF BRACING
WB1	20Ø ROD OR CABLE SIZED TO 5 TONNES (WORKING LOAD)	WALL BRACING
FB1	50X3 EA	FLY BRACING
ST1	114X3.8CHS OR 100X4 SHS	STRUT
ST2	139.7X4.9 CHS OR 125X4 SHS	STRUT
P1	600Ø X 1600 DEEP PAD OR 900Ø X 1400 DEEP PAD OR 1200SQ X 1000 DEEP PAD	PAD FOOTINGS
P2	450Ø X 900 DEEP PAD	MULLION FOOTINGS
PURLINS	Z15015 LAPPED + 1 BRIDGING @1200 C/C MAX OR C15015 + 2 BRIDGING @ 1200 C/C MAX	ROOF PURLINS
GIRTS	SIDE WALL GIRTS: Z15015 LAPPED + 1 BRIDGING @1200 C/C MAX OR C15015 + 3 BRIDGING @ 1200 C/C MAX END WALL GIRTS: Z15015 LAPPED + 1 BRIDGING @1200 C/C MAX OR C15015 + 2 BRIDGING @ 1200 C/C MAX	WALL GIRTS

PLANNING & ENVIRONMENT ACT 1987
WHITTLESEA PLANNING SCHEME
Planning Permit No: PLN-39825
Application Ref. No.: 713986
Endorsed to show compliance with Condition (s) 27
Sheet 15 of 18 Date: 14/01/2023

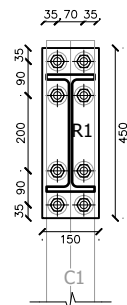


GENERAL NOTES:	REV	AMENDMENT	DATE	CHK	APR	PROJECT PROPOSED SHED AT :- 15 DELMA COURT, BEVERIDGE	PRINCIPAL RED ED'S SHEDS			79 AITKEN STREET GISBORNE 3437 PHONE (03) 5428 3266	BRICSCAD FILE: 1328101 MAIN PLAN		BCS REF: 13281/21	
											DATE OF PLOT: 28/10/21		CLIENT REF:	
											SCALES AS SHOWN		SHEET 2 OF 4	
													S2	
													A	
						DETAILS ROOF PLAN, SECTION & SCHEDULE		DATUM (A.H.D.)						
								DESIGNED JB		CHECKED JB				
								DRAWN JB		DATE 10/21				
	A	FIRST ISSUE	28/10/21	SW	JB	MUNICIPALITY MITCHELL SHIRE COUNCIL								

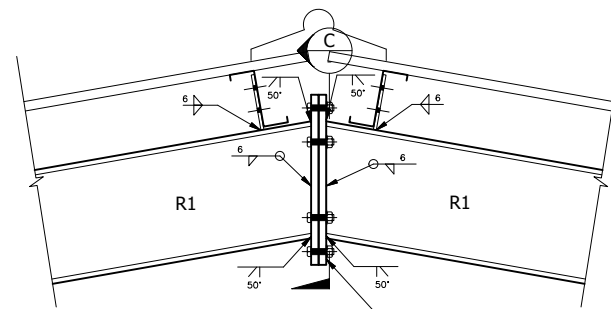




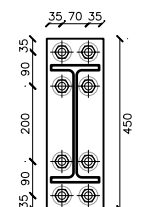
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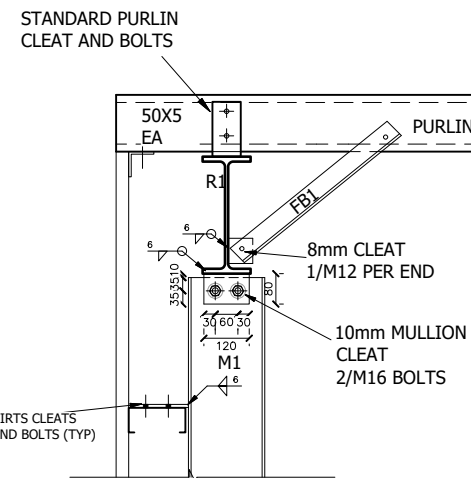
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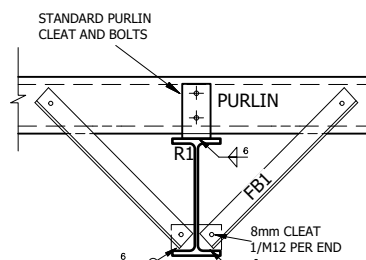
DETAIL 3
SCALE = 1:10 (A1) S2



SECTION C
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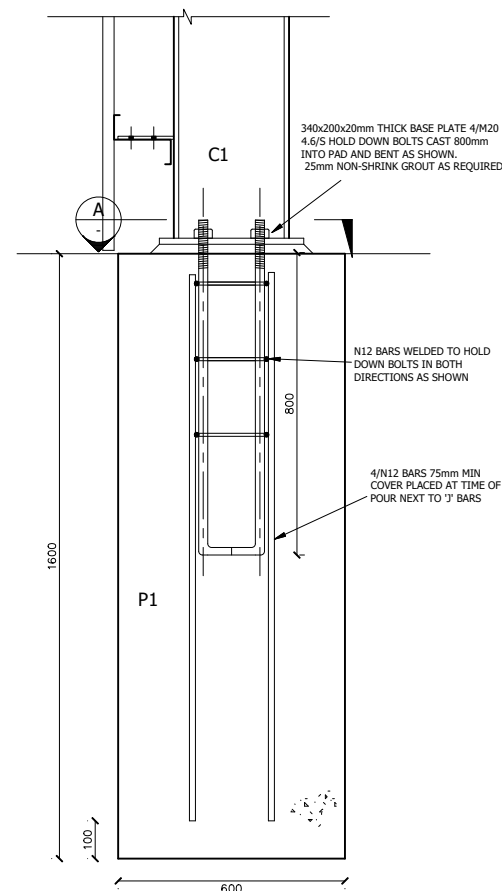


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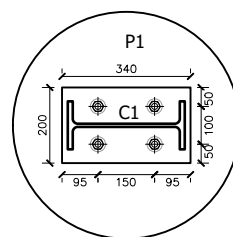


SECTION 6
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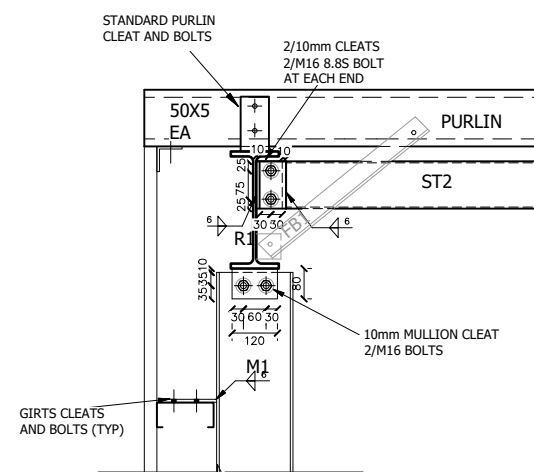
PLANNING & ENVIRONMENT ACT 1987
WHITTLESEA PLANNING SCHEME
Planning Permit No: PLN-39825
Application Ref. No.: 713986
Endorsed to show compliance with Condition (s) 27
Sheet 17 of 18 Date: 14/01/2023



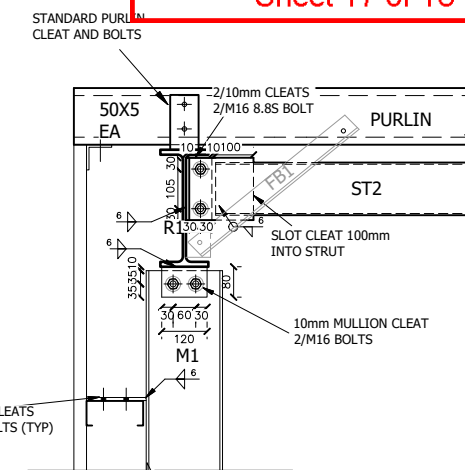
DETAIL 1
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SECTION A
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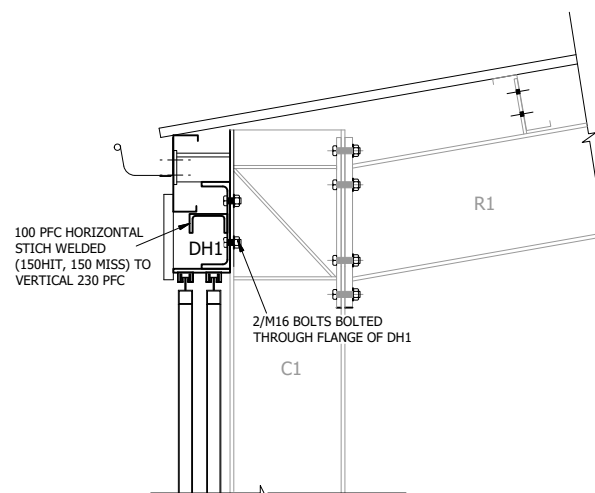


SECTION 5
SCALE = 1:10 (A1) S2



SECTION 5
SCALE = 1:10 (A1) S2

*125X4 SHS ST2 OPTION
FLY BRACE NOT SHOWN
FOR CLARITY*



SECTION 7
SCALE = 1:10 (A1) S2

GENERAL NOTES:	REV	AMENDMENT	DATE	CHK	APR	PROJECT	PRINCIPAL	BRICSCAD FILE:	1328101 MAIN PLAN	BCS REF:	13281/21
						PROPOSED SHED AT :- 15 DELMA COURT, BEVERIDGE	RED ED'S SHEDS	DATE OF PLOT:	28/10/21	CLIENT REF:	
						DETAILS	DATUM (A.H.D.)	SCALES AS SHOWN		SHEET 4 OF 4	
	A	FIRST ISSUE	28/10/21	SW	JB	MUNICIPALITY MITCHELL SHIRE COUNCIL	DESIGNED JB CHECKED JB DRAWN JB DATE 10/21	79 AITKEN STREET GISBORNE 3437 PHONE (03) 5428 3266		S4	A

SCHEDULE OF COLOURS & MATERIALS

COMPONENT

DESCRIPTION

EXTERIOR WALLS

Dulux Surfmist

Roller Doors

Colourbond Surfmist

ROOF

Main

Colourbond Woodland Grey

Verandah

Colourbond Woodland Grey

TRIM

Window Frames

Dulux Vivid White

Eave Brackets

Dulux Vivid White

Posts & Fascias

Dulux Vivid White

PLANNING & ENVIRONMENT
ACT 1987
WHITFIELD PLANNING
SCHEME
Planning Permit No. PUN-2020
Application Ref. No. 112020
Endorsed to show compliance
with Condition (a) 21
Sheet 13 of 13 Date:
14/01/2020