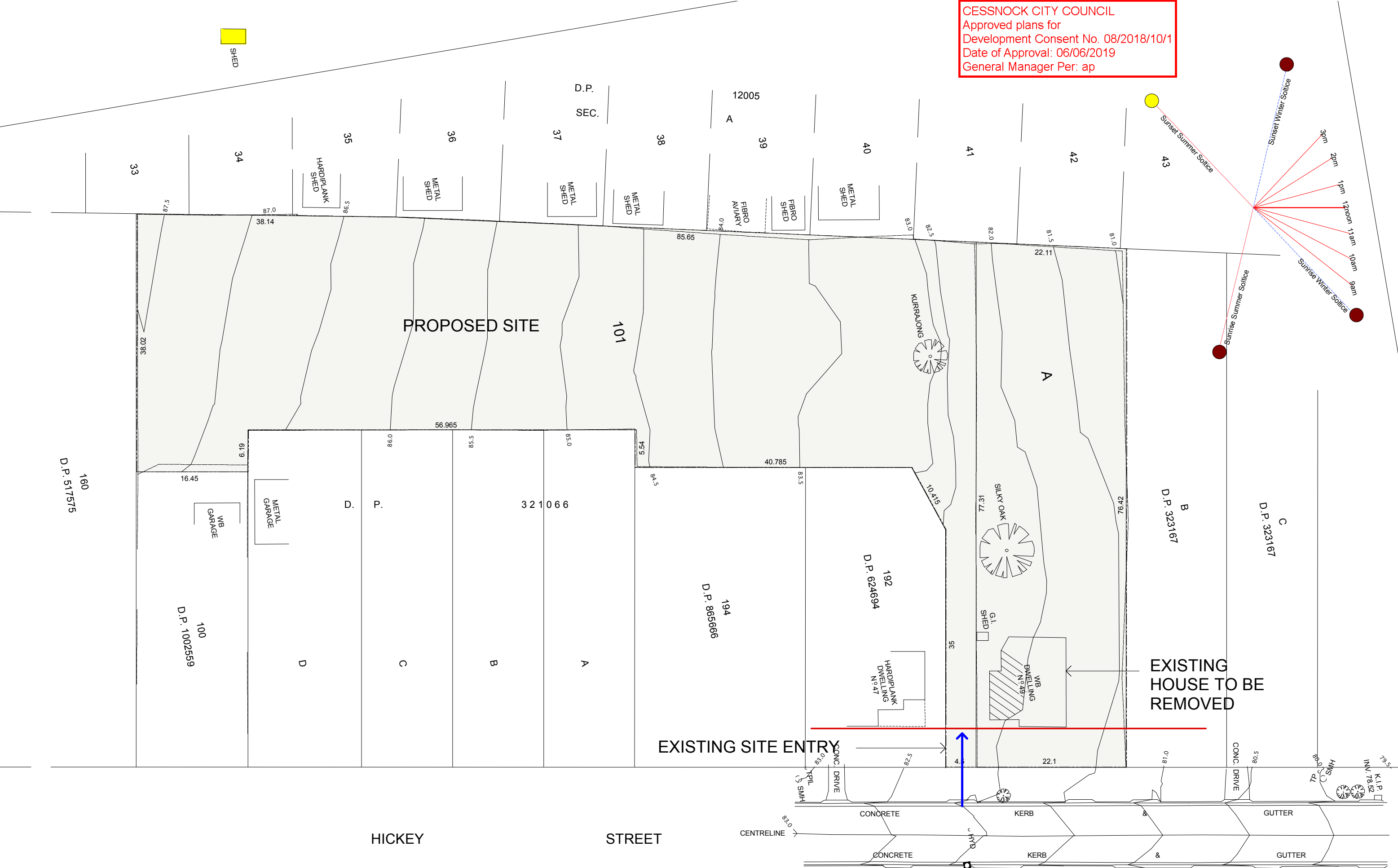
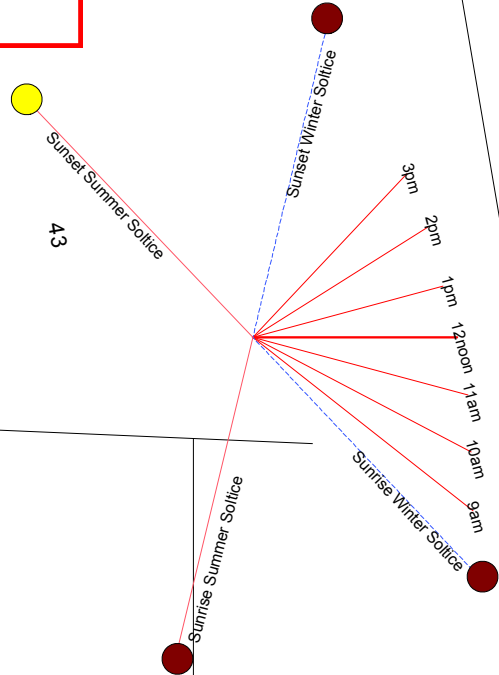


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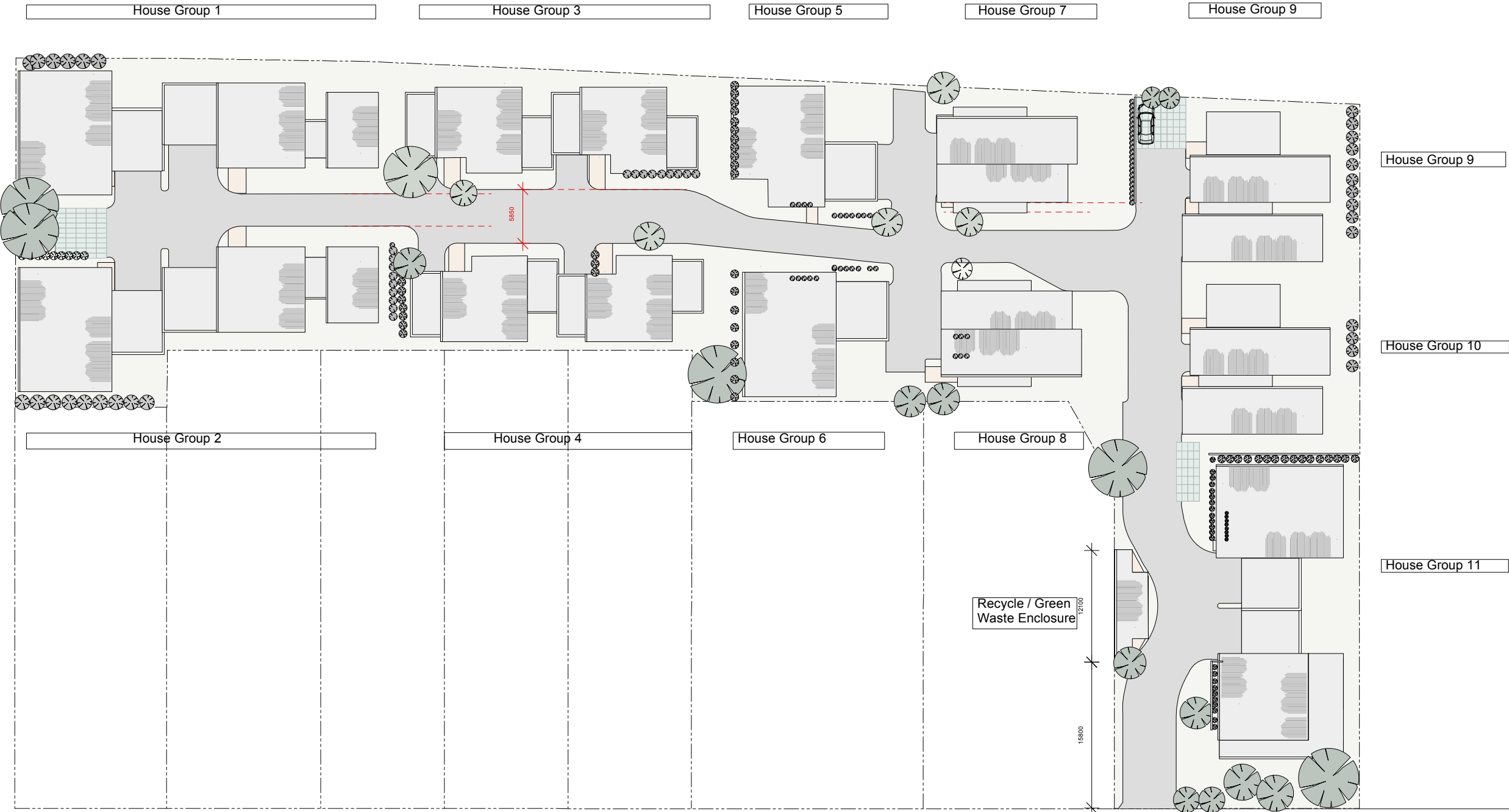


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Refer Civil Engineers Details for
External Works / Roadworks,
Drainage and RL's

Refer Landscape
Architect's Detail for
Landscaping

- Permeable Paving
- 4m x 4m Open Space
- 1500 High Lightweight Privacy Screens



HICKEY STREET

Issue F DA Submission 15 May 2019

SITE PLAN
ROOF PLANS
DRAWING

A02

RESIDENTIAL DEVELOPMENT
Hickey Street, Cessnock
PROJECT



SCALE 1:500 @ A3
DATE



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Refer Civil Engineers Details for
External Works / Roadworks,
Drainage and RL's

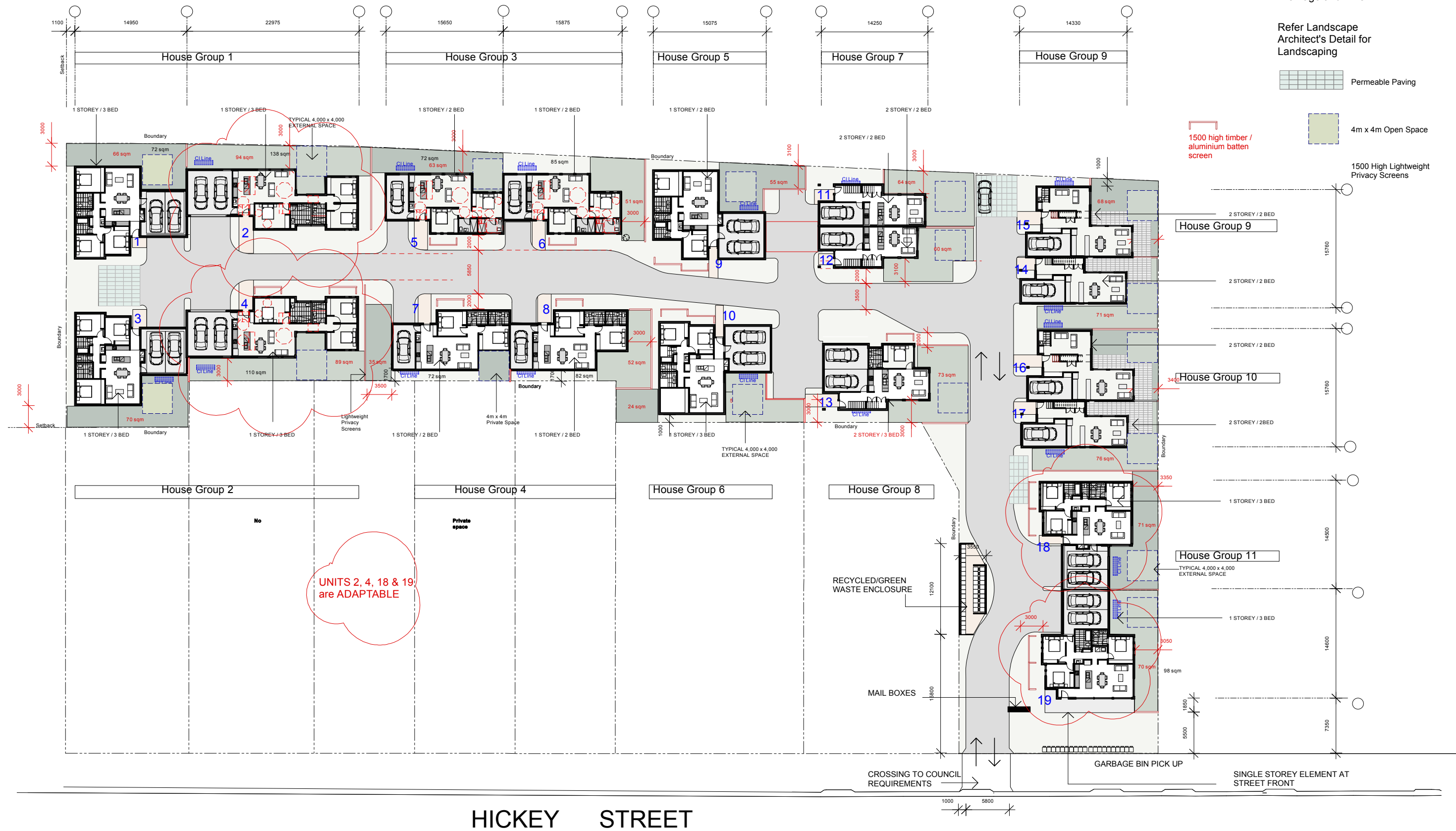
Refer Landscape
Architect's Detail for
Landscaping

Permeable Paving

4m x 4m Open Space

1500 high timber /
aluminium batten
screen

1500 High Lightweight
Privacy Screens



0 1 2 3 4 5 10 20
Scale

SITE PLAN
FLOOR PLANS
DRAWING

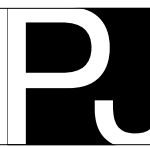
A03

RESIDENTIAL DEVELOPMENT
Hickey Street, Cessnock
PROJECT



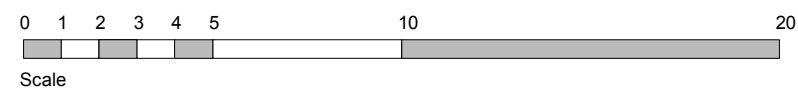
SCALE 1:500 @ A3
DATE

Issue F DA Submission 15 May 2019



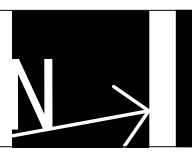
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HICKEY STREET
ELEVATION
DRAWING

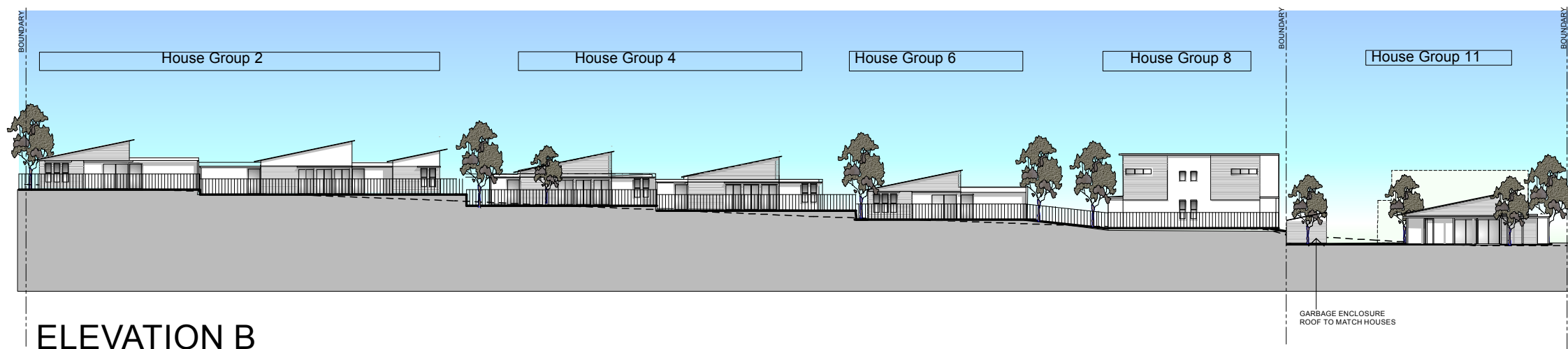
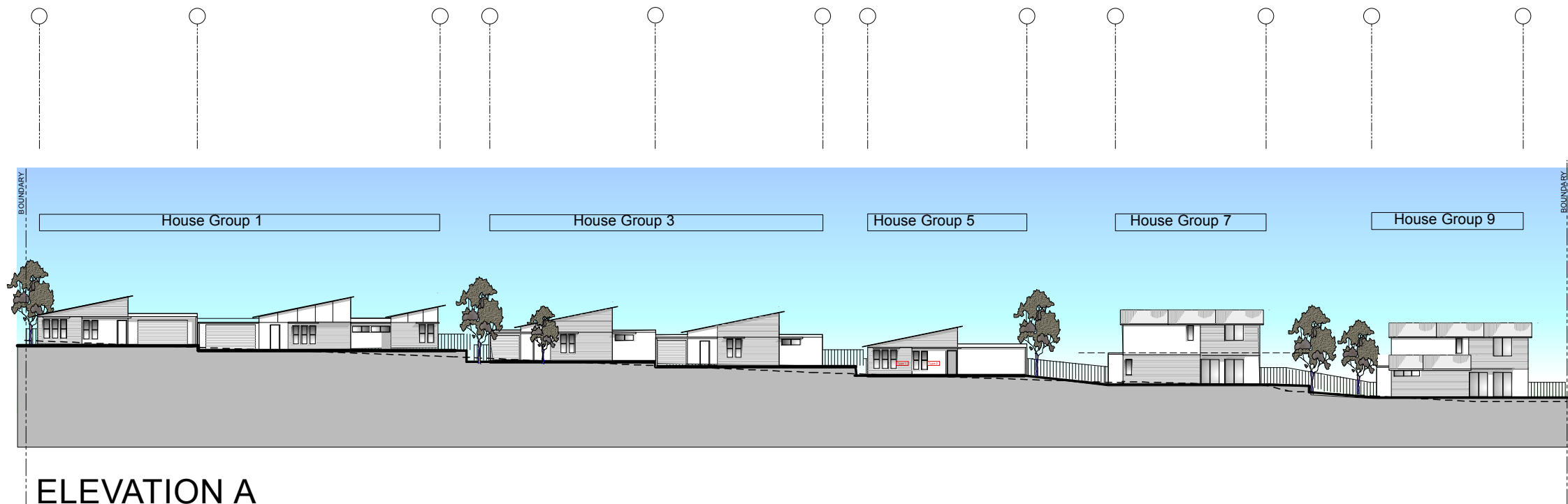
RESIDENTIAL DEVELOPMENT
Hickey Street, Cessnock
PROJECT



SCALE 1:500 @A3
DATE

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0 1 2 3 4 5 10 20
Scale

ELEVATIONS

A04

RESIDENTIAL DEVELOPMENT

Hickey Street, Cessnock

DRAWING

PROJECT



SCALE 1:500 @ A3

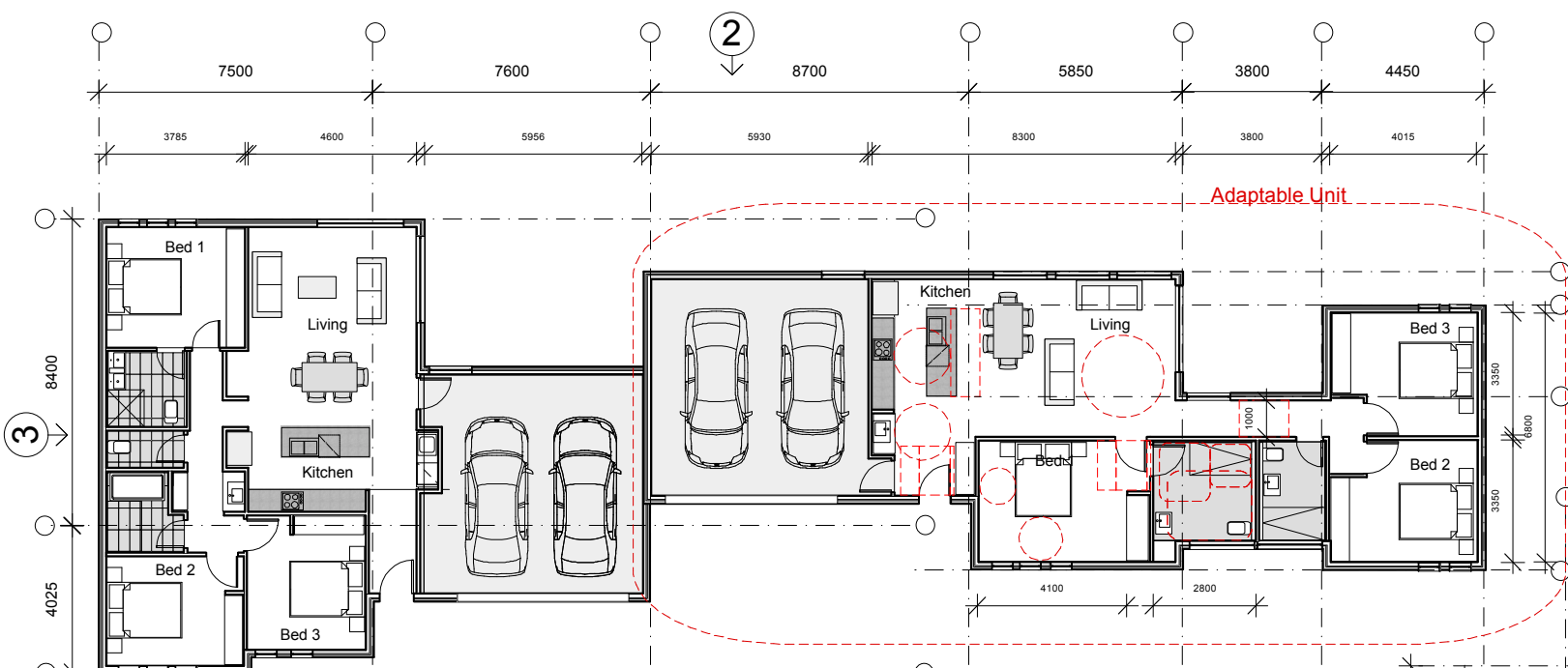
DATE

Issue F DA Submission 15 May 2019

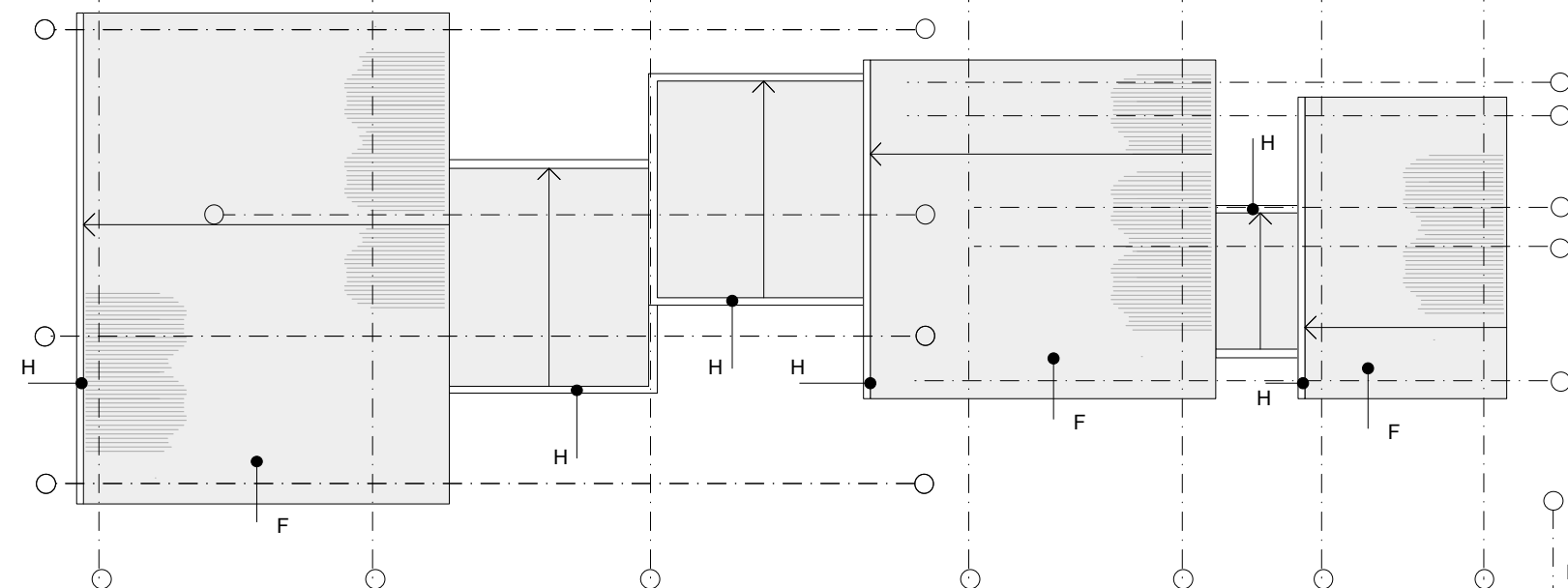
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Ground Floor House Group 1
House Group 2 Reversed



Roof Plan

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House Group 1 & 2



Adaptable Houses

The Adaptable houses are designed in accordance with AS 4299-1995

All Doors to have 920 mm leaves
Door hardware to comply with AS1428.1

Circulation Spaces are capable of modification to AS1428.1
Internal Corridors are minimum 1,000 mm clear

The main Bedroom Ensuite is sized to be Accessible.
Accessible complying fittings can be installed in place of the current Fittings
Shower Screen can be removed (no modifying to waterproofing required)

Kitchen: In post adaption, the island bench will be relocated to allow access in accordance with AS1428.2. Waste outlets can remain. Cupboards will be modified as required

Bedroom: The main bedroom has been sized to allow circulation as per AS1428.2
Power outlets and fittings to be located as per AS4299

Living: Circulation as per AS4299 has been allowed.
Power outlets and fittings to be located as per AS4299

Laundry: Circulation in front of Laundry complies with AS4299

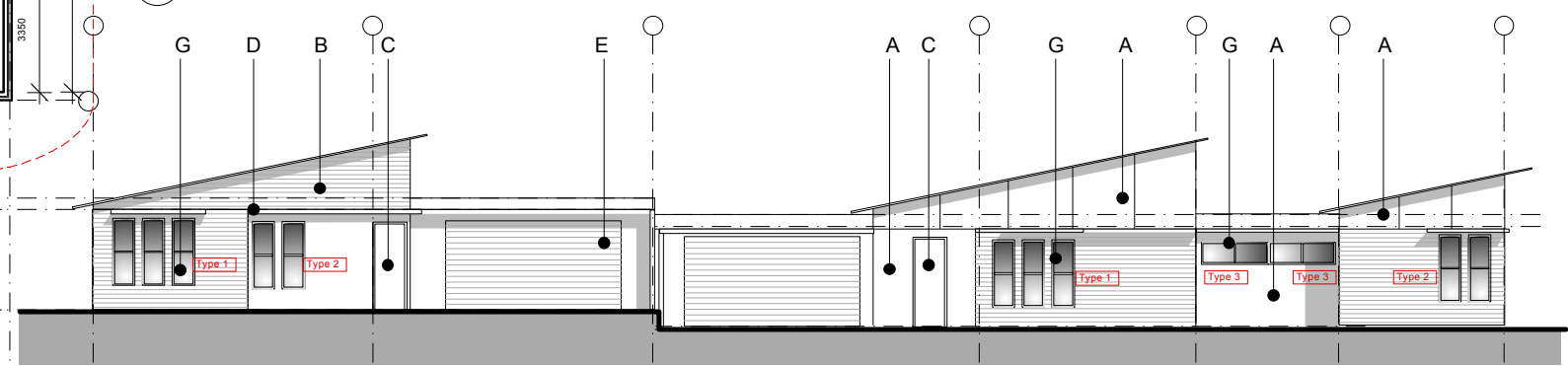
Additional Detail requirements to be incorporated in Construction Certificate Documentation

Finishes Legend

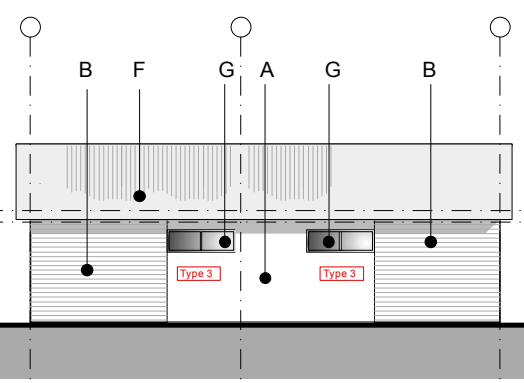
- A - FC Panel Sheet / Paint Finish (Off White)
- B - FC Horizontal Boarding / Paint Finish (Mid Grey)
- C - Timber Door / Paint Finish
- D - Aluminium Sunshade (Mid Grey)
- E - Roller Shutter / Colorbond (Light Grey)
- F - Metal Deck Roof / (Dark Grey)
- G - Alum Frame Glazing / Powdercoat (Mid Grey)
- H - Colorbond Gutter (Mid Grey)
- I - Timber Framing / Paint finish (Mid Grey)

NOTE: COLOUR SPECIFICATION TO BE CONFIRMED

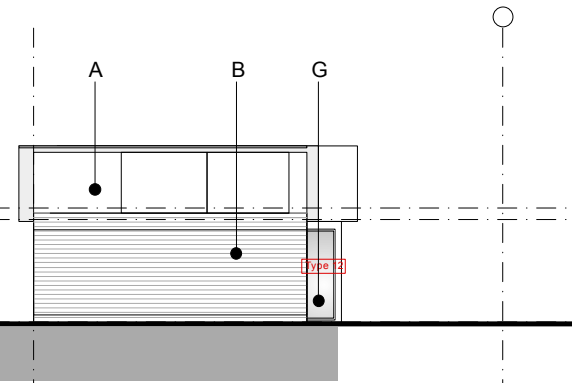
Section A



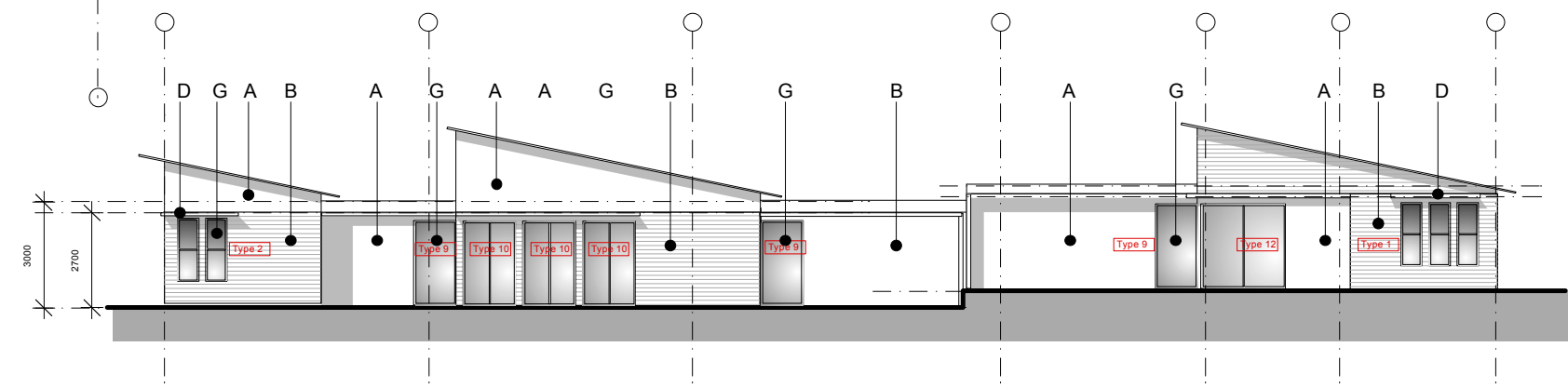
Elevation 1



Elevation 3

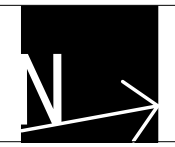


Elevation 4



Elevation 2

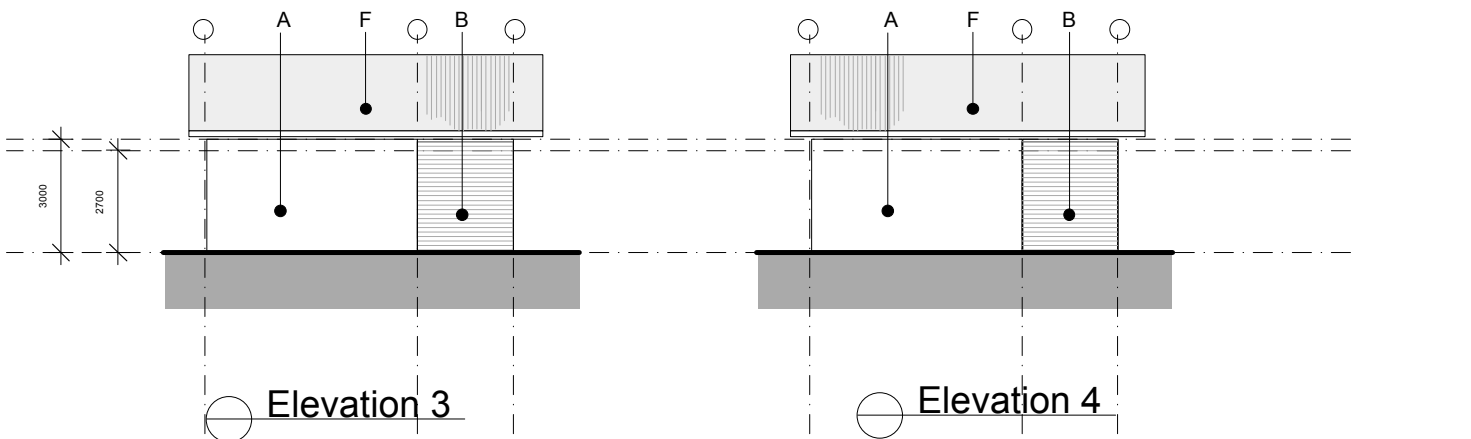
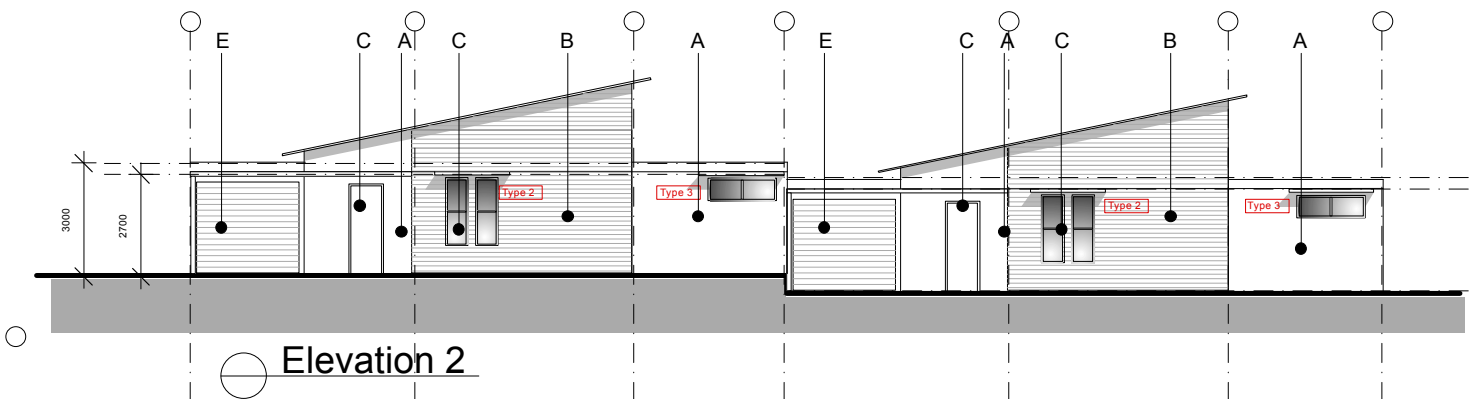
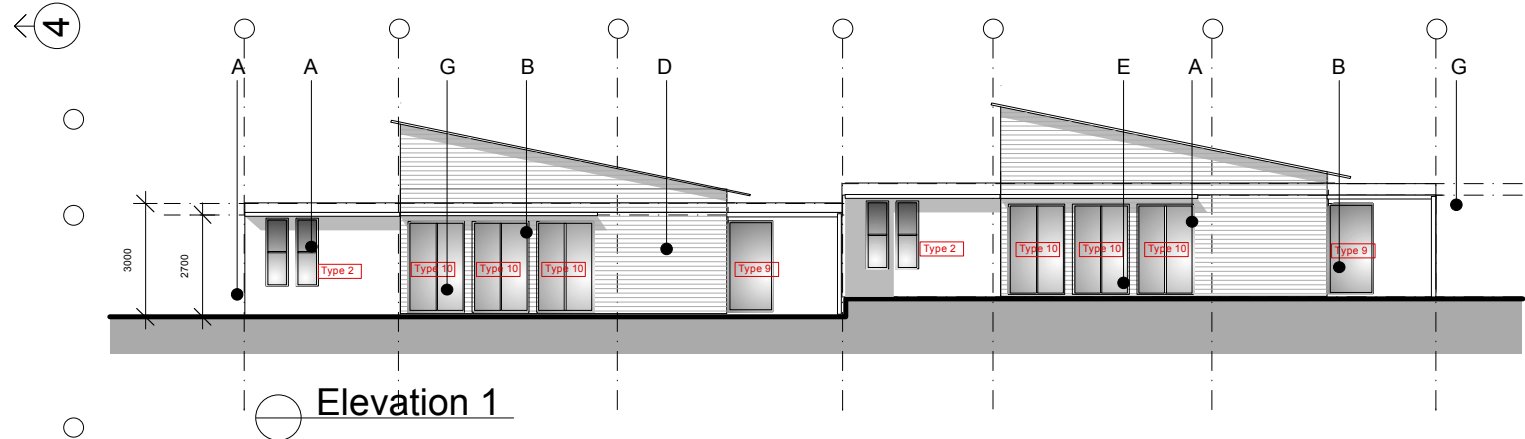
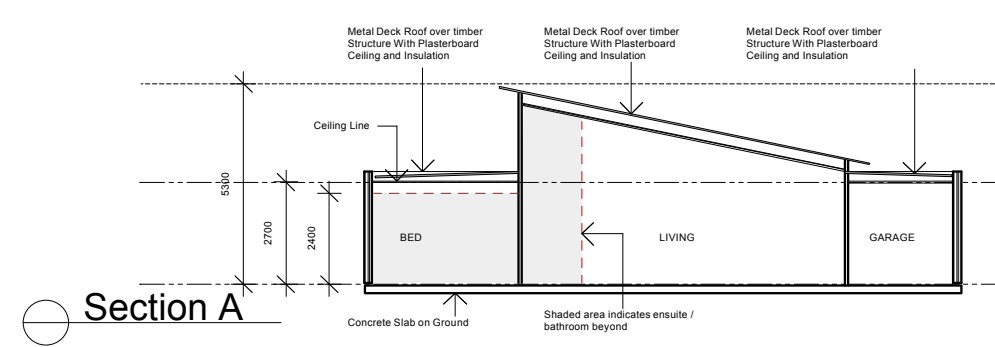
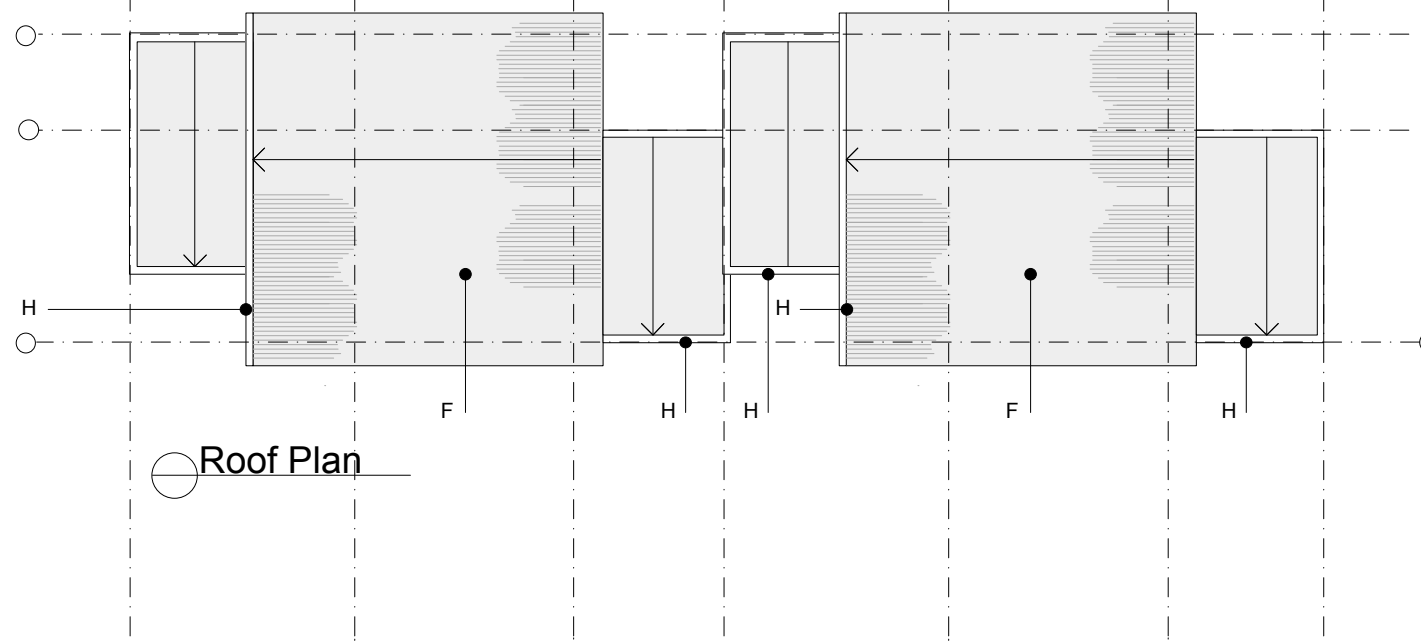
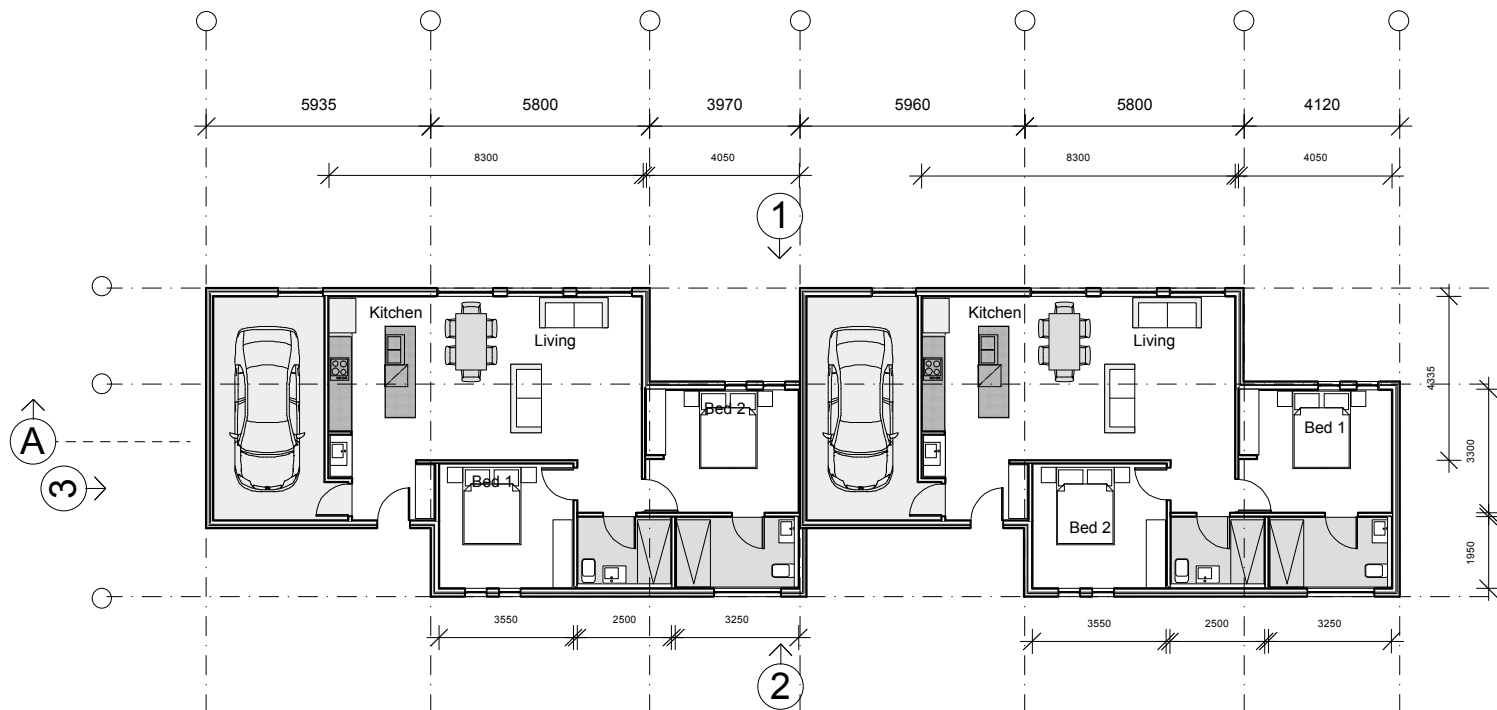
Issue F DA Submission 15 May 2019



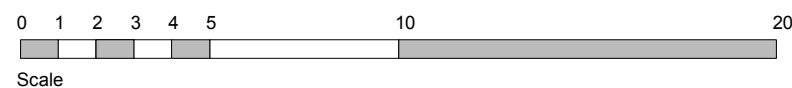
Finishes Legend

- A - FC Panel Sheet / Paint Finish (Off White)
- B - FC Horizontal Boarding / Paint Finish (Mid Grey)
- C - Timber Door / Paint Finish
- D - Aluminium Sunshade (Mid Grey)
- E - Roller Shutter / Colorbond (Light Grey)
- F - Metal Deck Roof / (Dark Grey)
- G - Alum Frame Glazing / Powdercoat (Mid Grey)
- H - Colorbond Gutter (Mid Grey)
- I - Timber Framing / Paint finish (Mid Grey)

NOTE: COLOUR SPECIFICATION TO BE CONFIRMED



House Group 3 & 4



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HOUSE PLANS

A06

RESIDENTIAL DEVELOPMENT

Hickey Street, Cessnock

DRAWING

PROJECT



SCALE 1:500 @A3

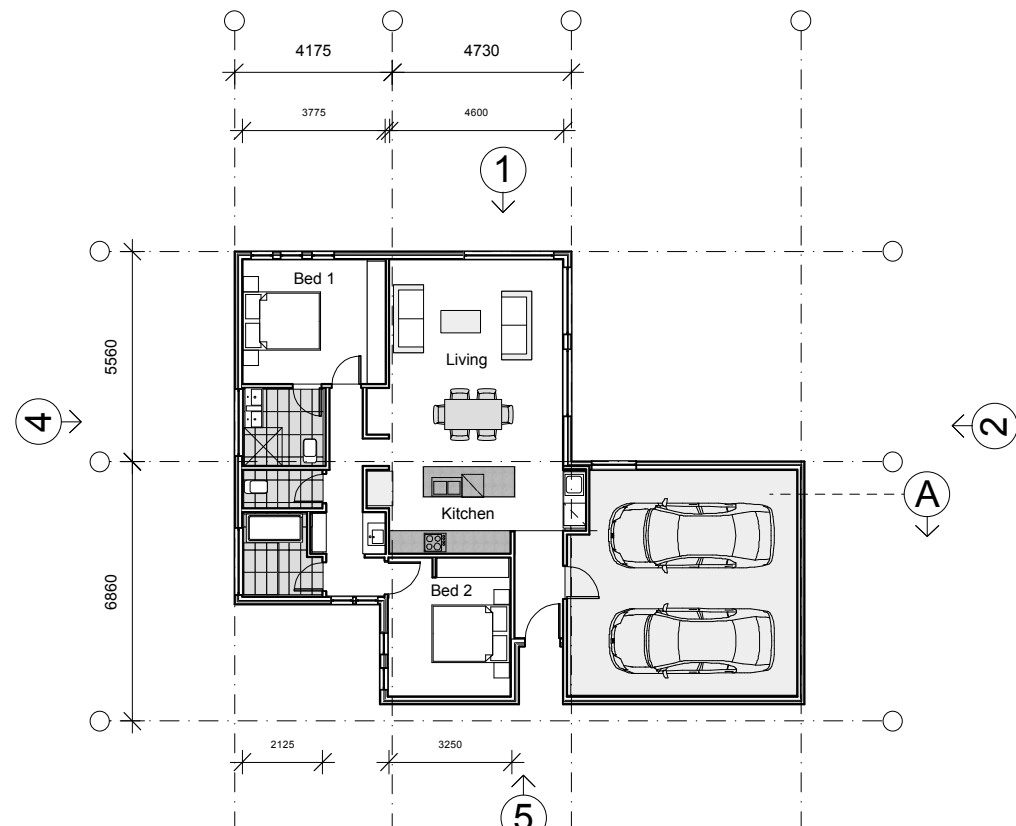
HOUSE CLUSTERS

DATE

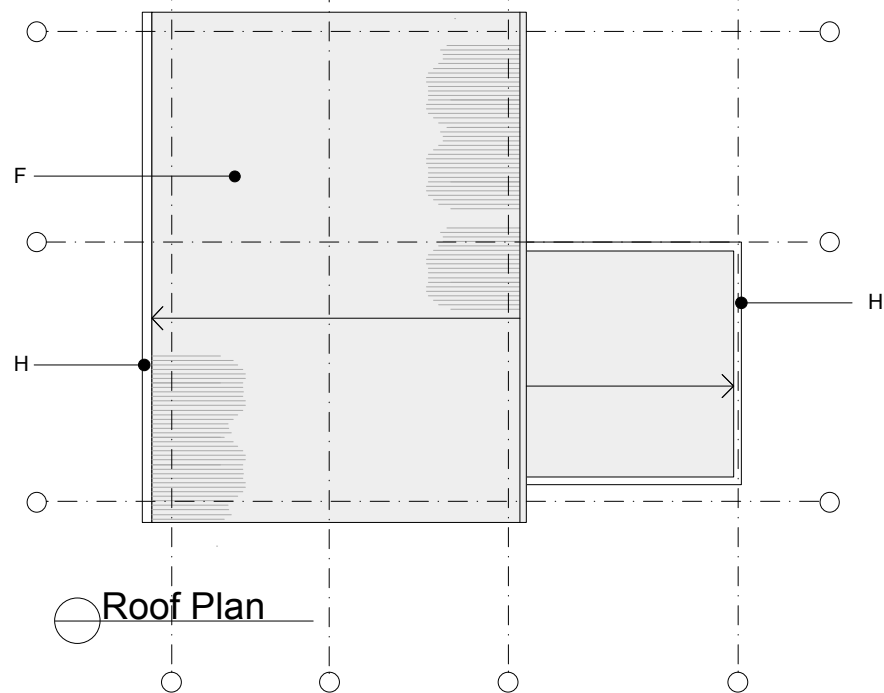


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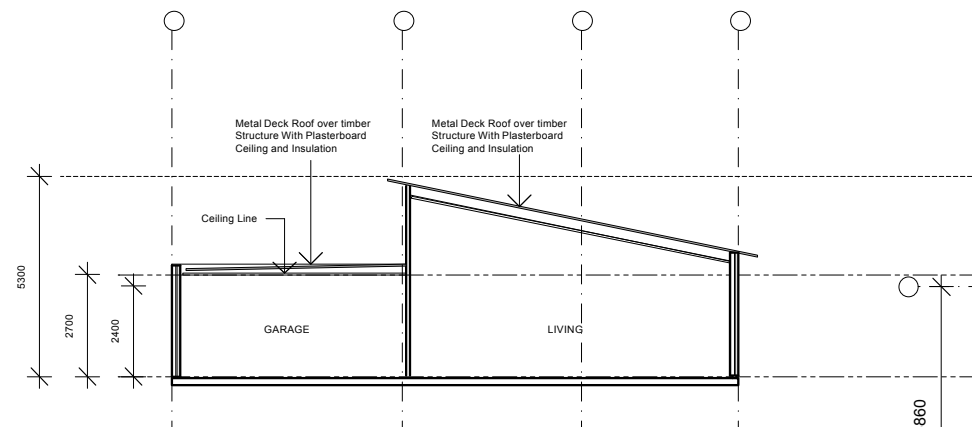
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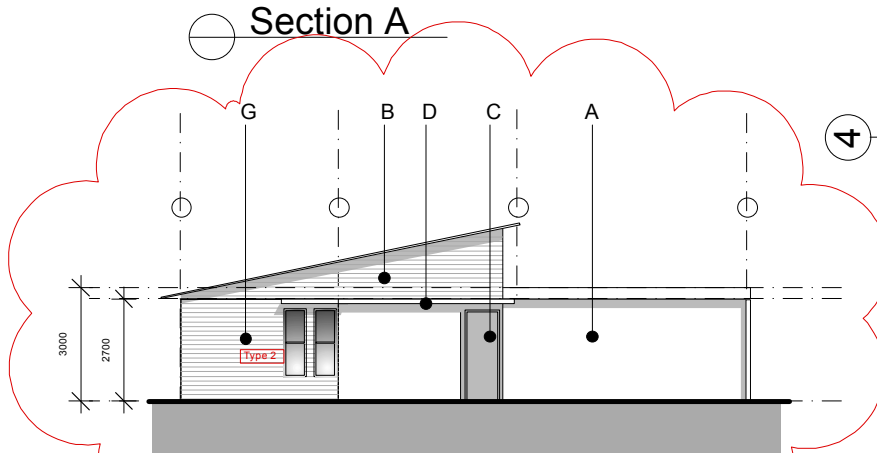
Ground Floor House Type 5



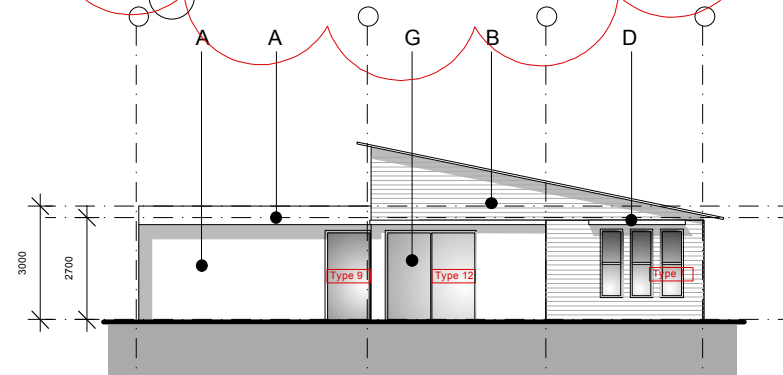
Roof Plan



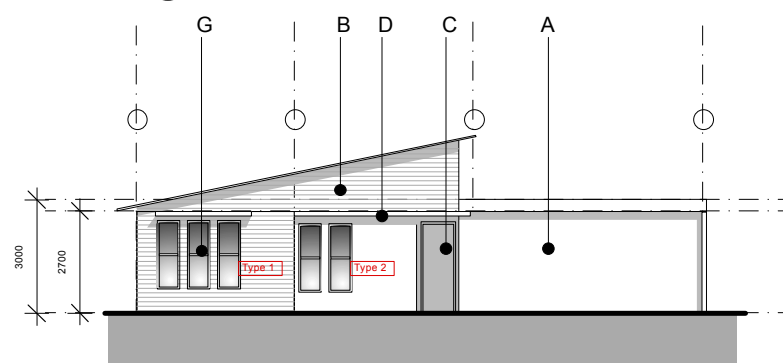
Section A



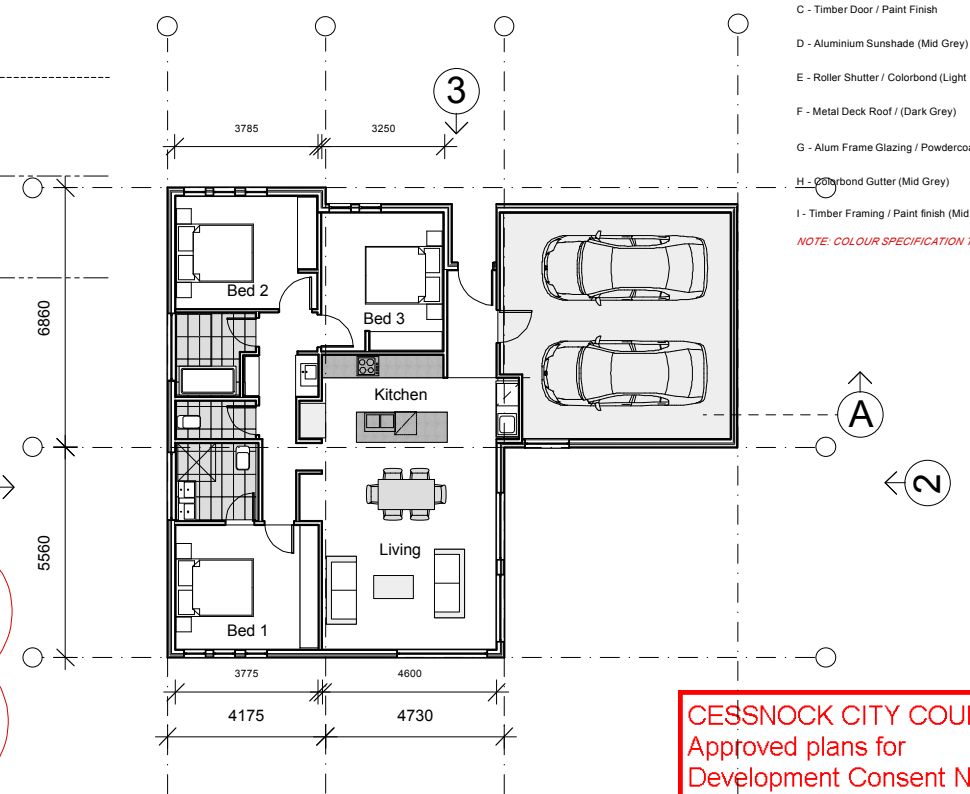
Elevation 5



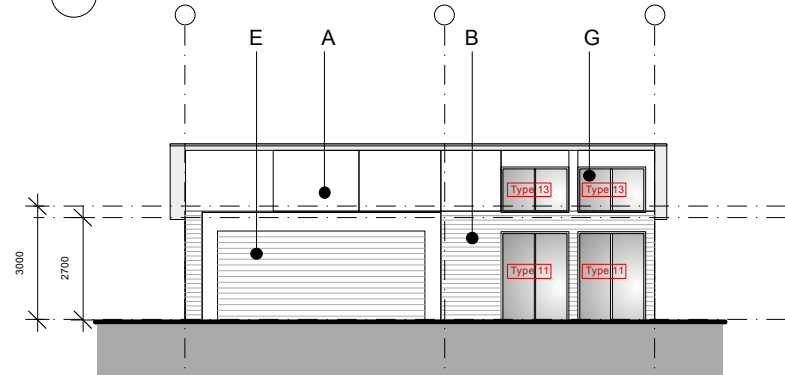
Elevation 1



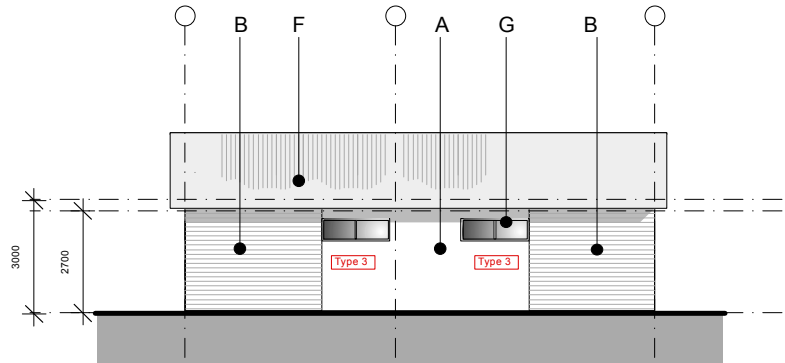
Elevation 3



Ground Floor House Type 6



Elevation 2



Elevation 4

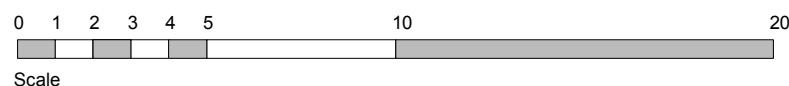
Finishes Legend

- A - FC Panel Sheet / Paint Finish (Off White)
- B - FC Horizontal Boarding / Paint Finish (Mid Grey)
- C - Timber Door / Paint Finish
- D - Aluminium Sunshade (Mid Grey)
- E - Roller Shutter / Colorbond (Light Grey)
- F - Metal Deck Roof / (Dark Grey)
- G - Alum Frame Glazing / Powdercoat (Mid Grey)
- H - Colorbond Gutter (Mid Grey)
- I - Timber Framing / Paint finish (Mid Grey)

NOTE: COLOUR SPECIFICATION TO BE CONFIRMED

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House Group 5 & 6



HOUSE PLANS

A07

RESIDENTIAL DEVELOPMENT

Hickey Street, Cessnock

DRAWING

PROJECT



SCALE

HOUSE CLUSTERS

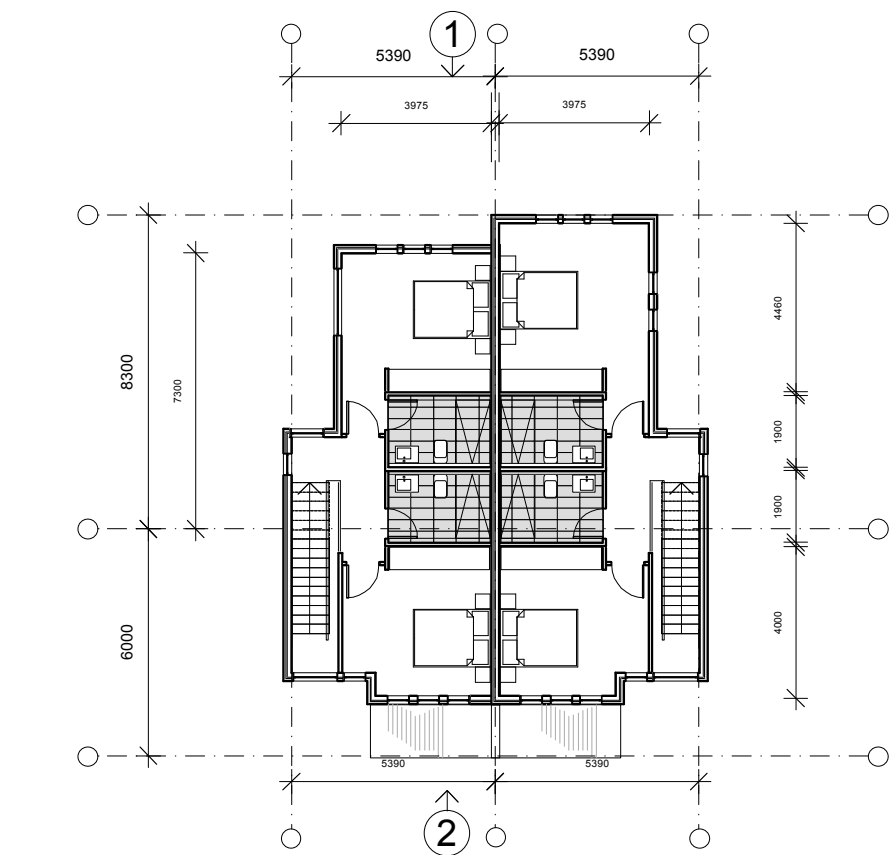
DATE

Issue F DA Submission 15 May 2019

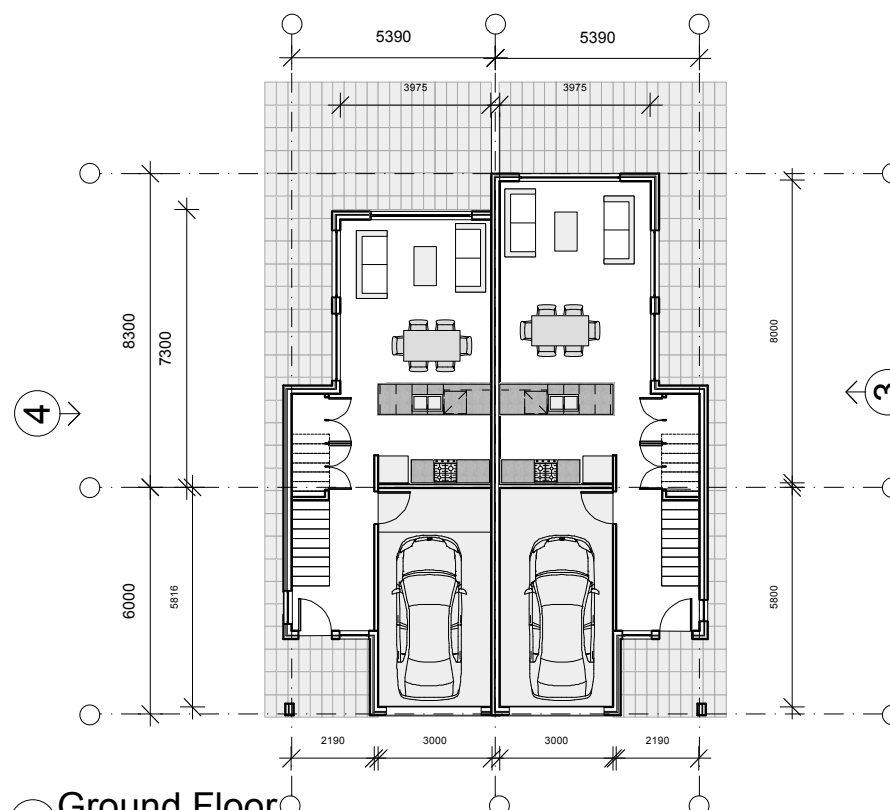
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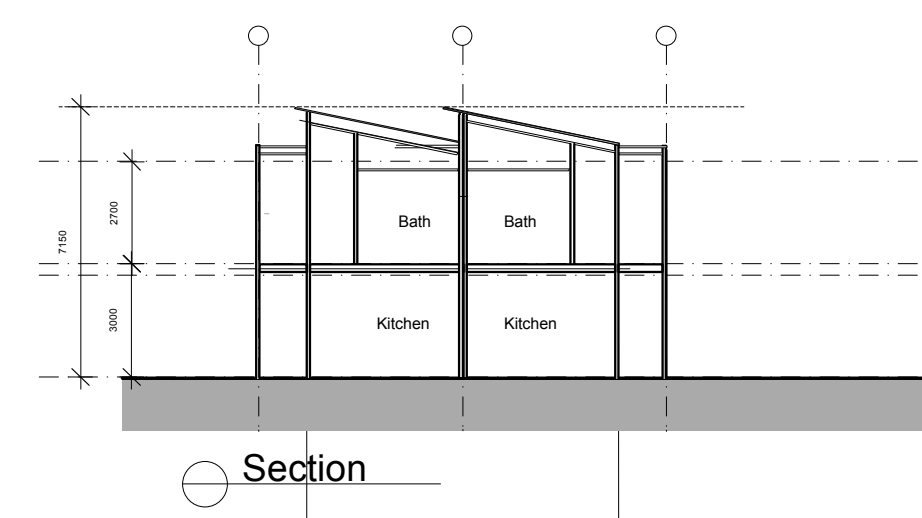
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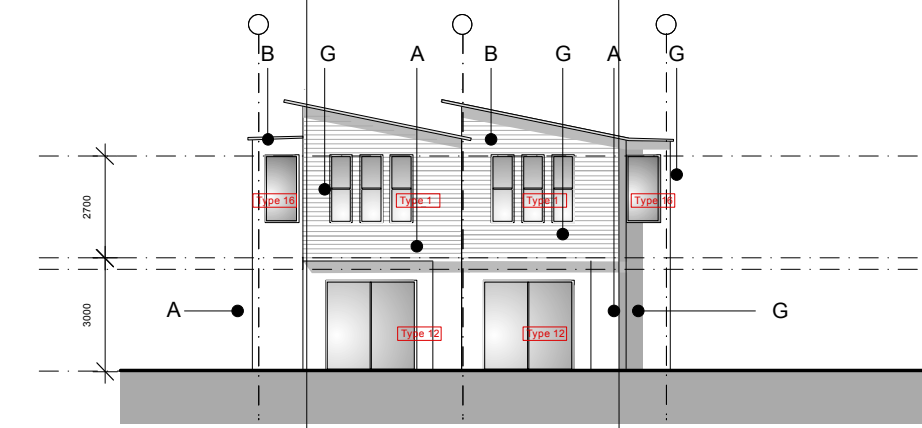
Upper Floor



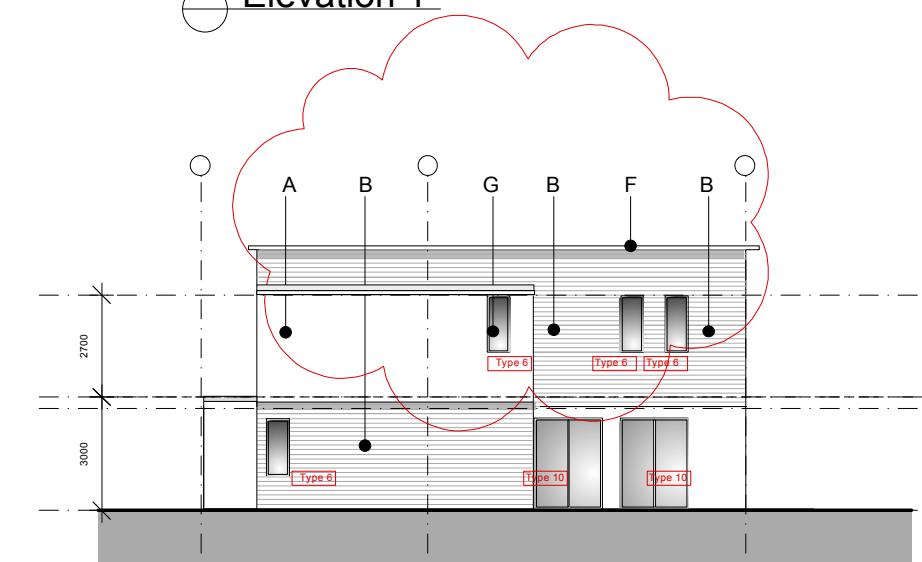
Ground Floor



Section



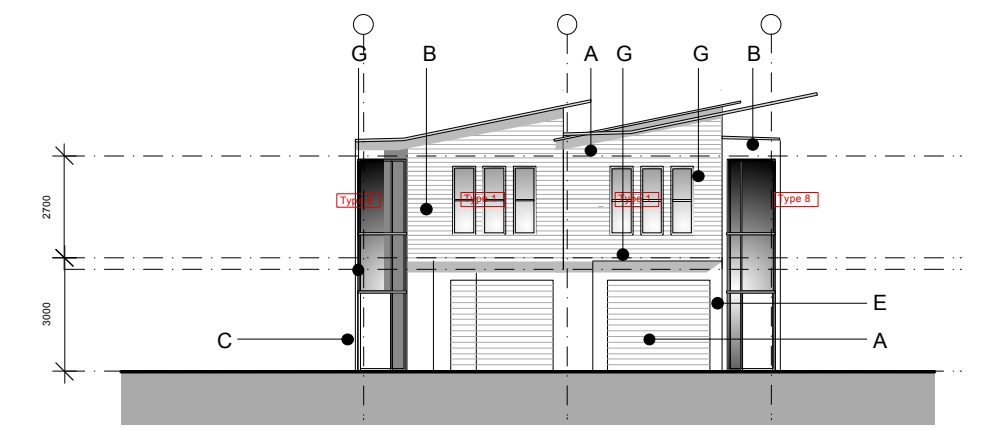
Elevation 1



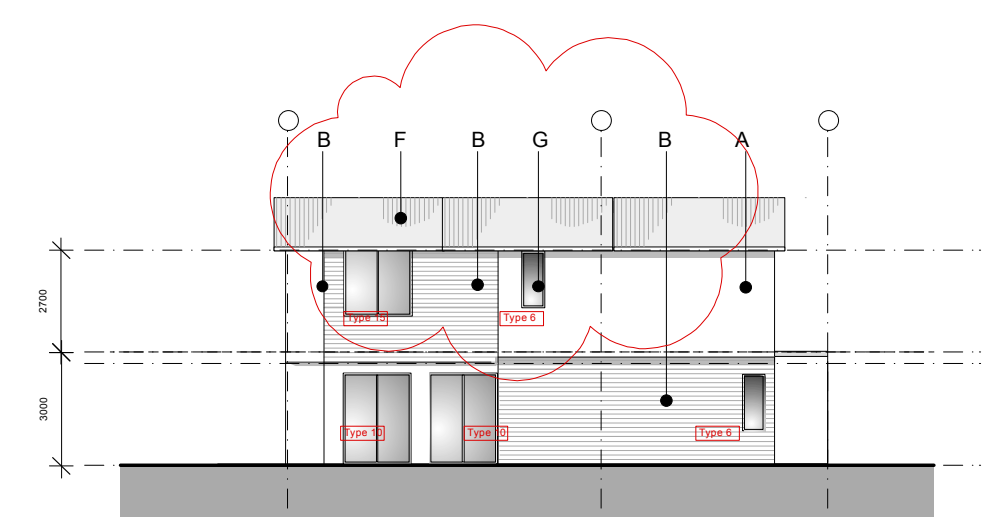
Elevation 3

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- Finishes Legend**
- A - FC Panel Sheet / Paint Finish (Off White)
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 - G - Alum Frame Glazing / Powdercoat (Mid Grey)
 - H - Colorbond Gutter (Mid Grey)
 - I - Timber Framing / Paint finish (Mid Grey)
- NOTE: COLOUR SPECIFICATION TO BE CONFIRMED*

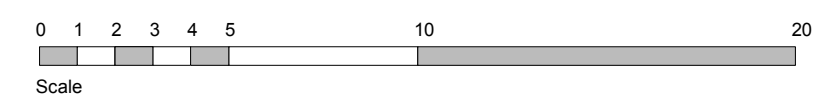


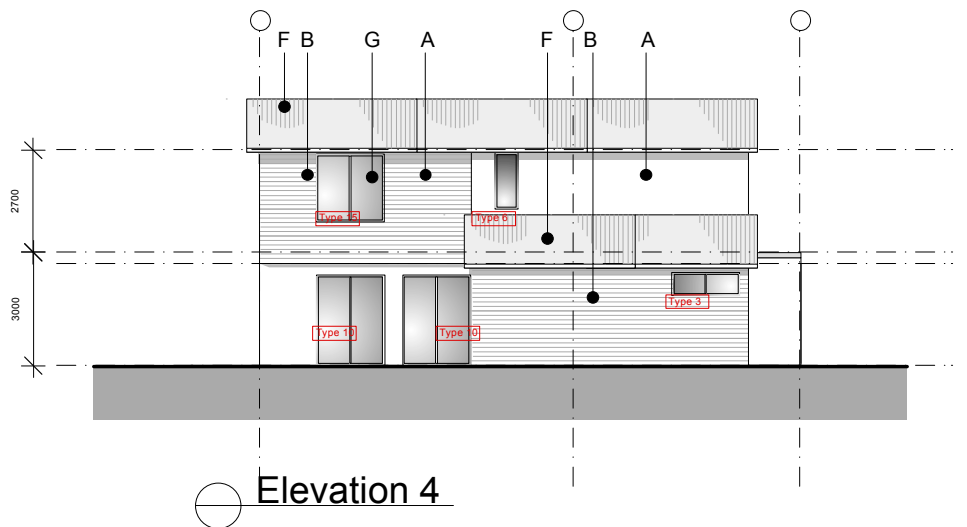
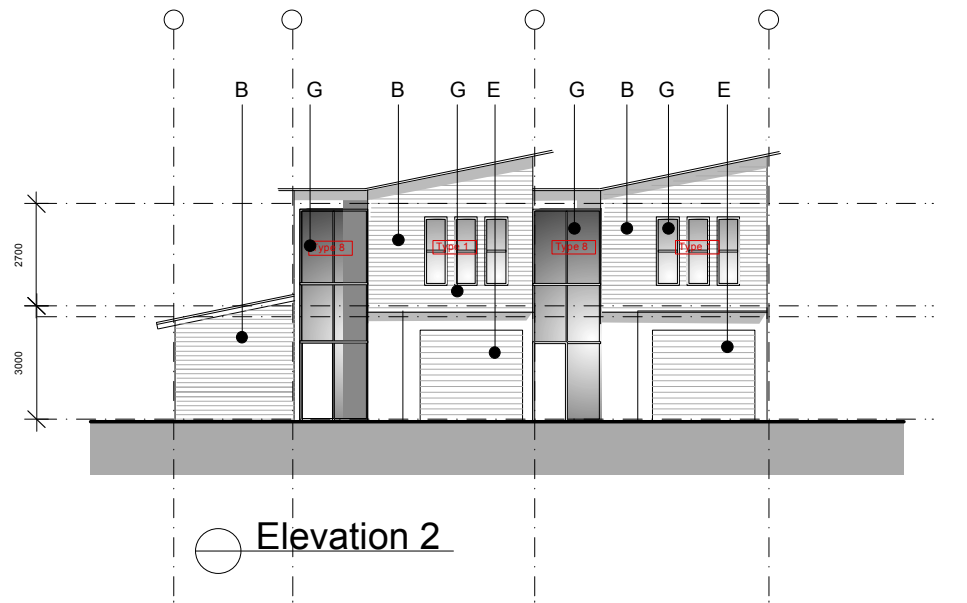
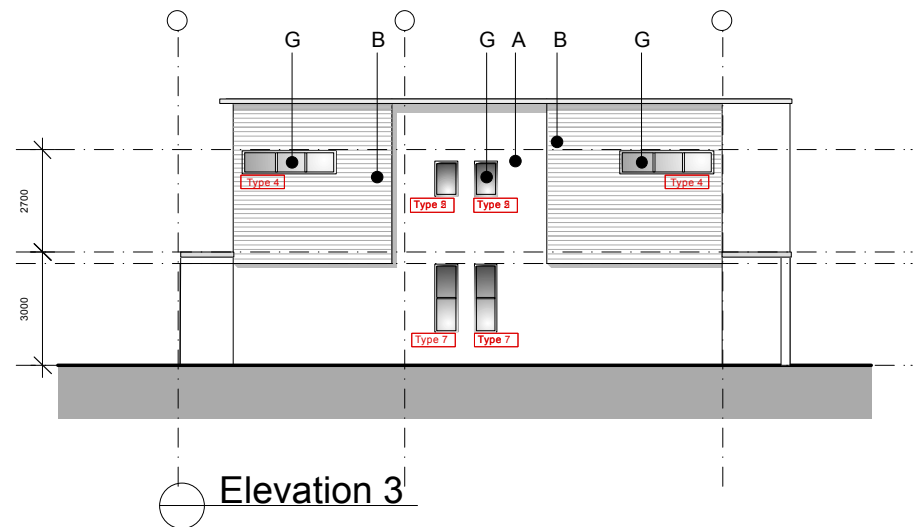
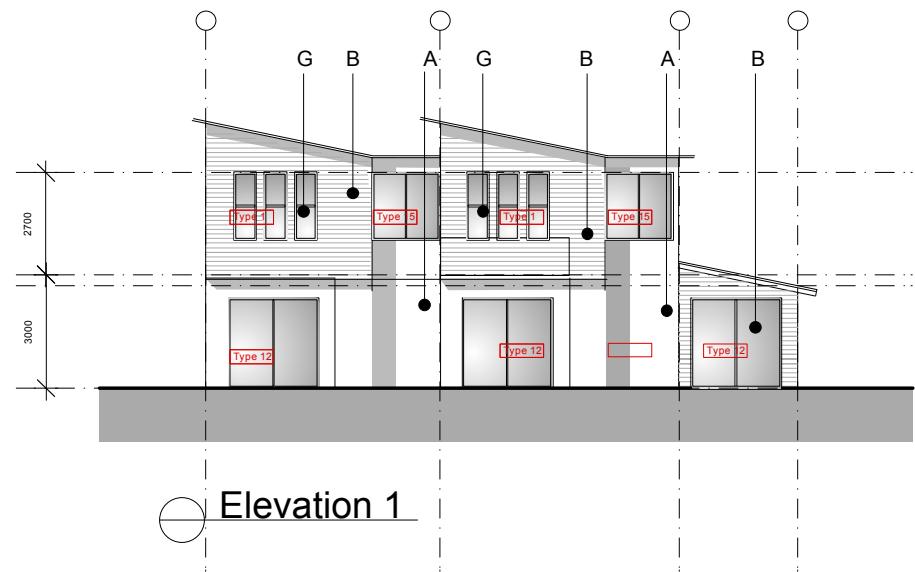
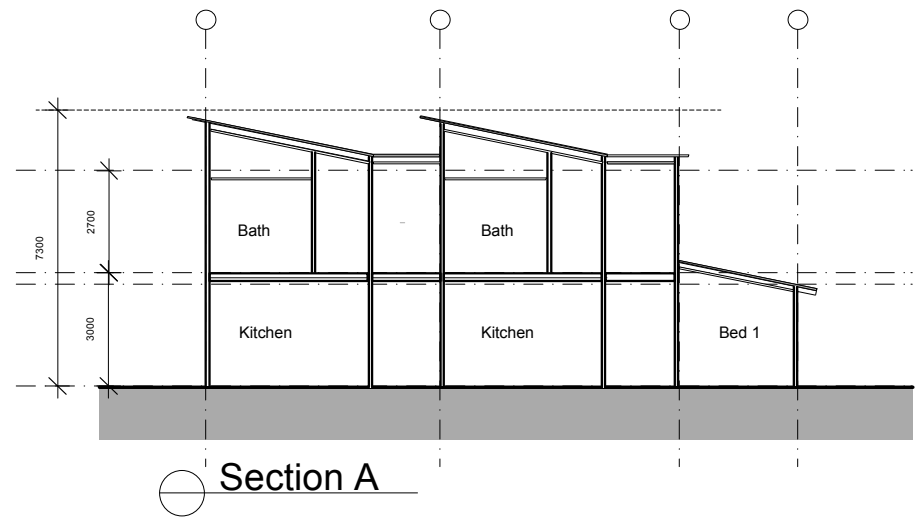
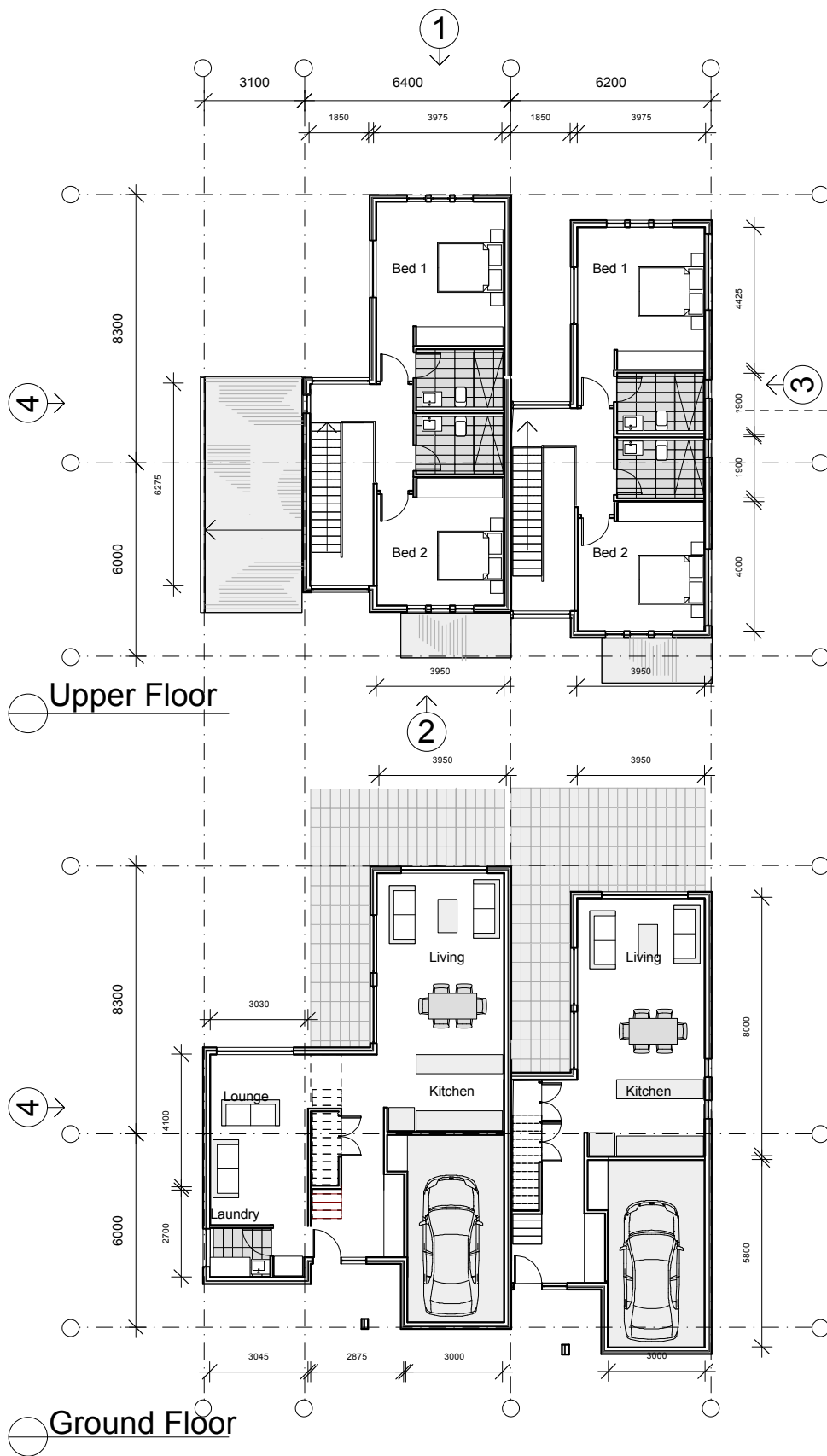
Elevation 2



Elevation 4

House Group 7 (mirrored)

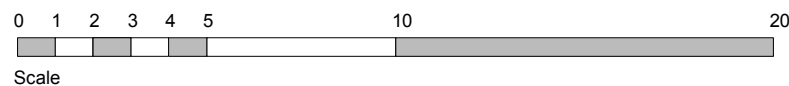




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- Finishes Legend**
- A - FC Panel Sheet / Paint Finish (Off White)
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 - G - Alum Frame Glazing / Powdercoat (Mid Grey)
 - H - Colorbond Gutter (Mid Grey)
 - I - Timber Framing / Paint finish (Mid Grey)
 - J - Timber Deck
- NOTE: COLOUR SPECIFICATION TO BE CONFIRMED*

House Group 9 & 10



HOUSE PLANS

A09

RESIDENTIAL DEVELOPMENT

Hickey Street, Cessnock

DRAWING

PROJECT



SCALE 1:500 @A3

HOUSE CLUSTERS

DATE

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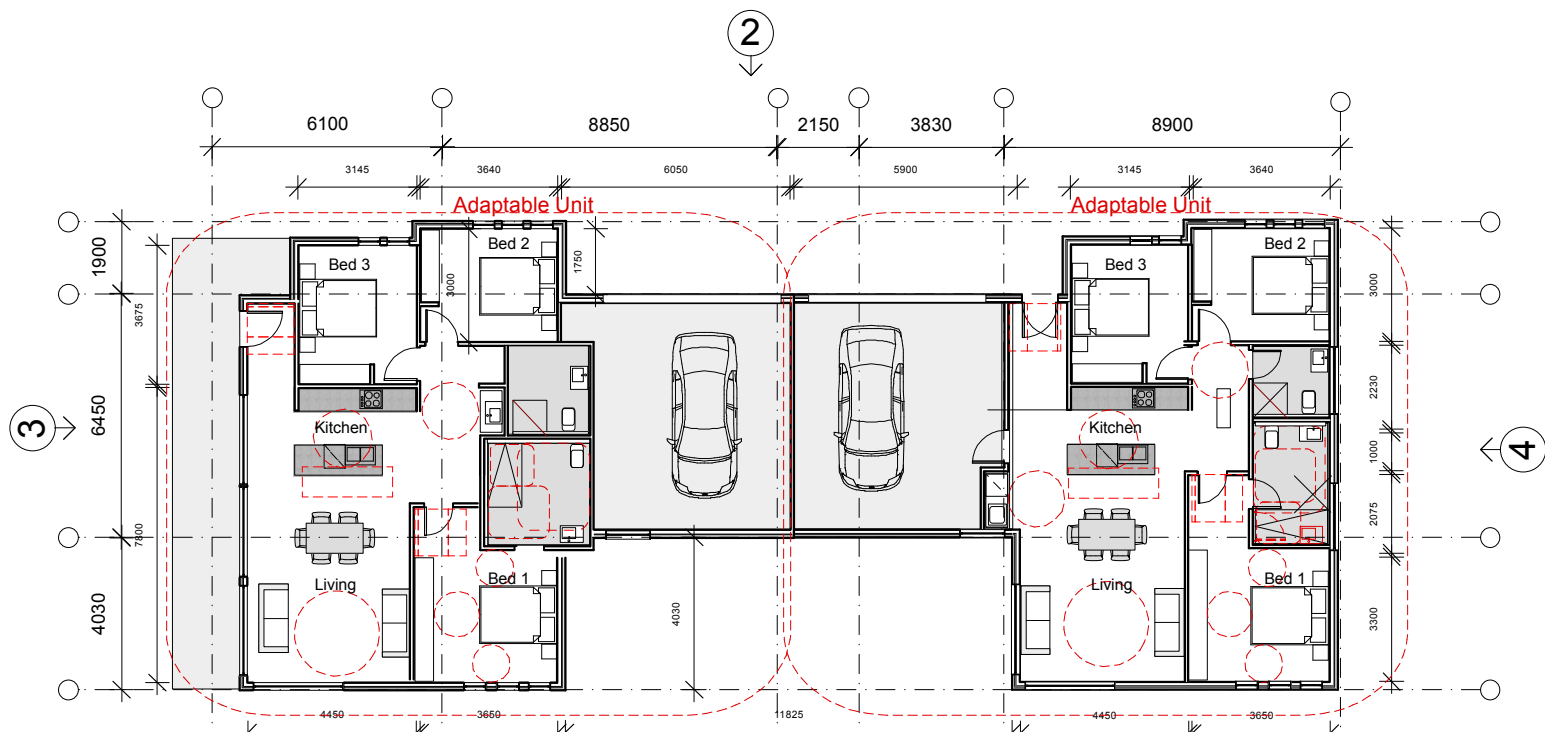
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Date of Approval: 06/06/2019
General Manager Per: ap

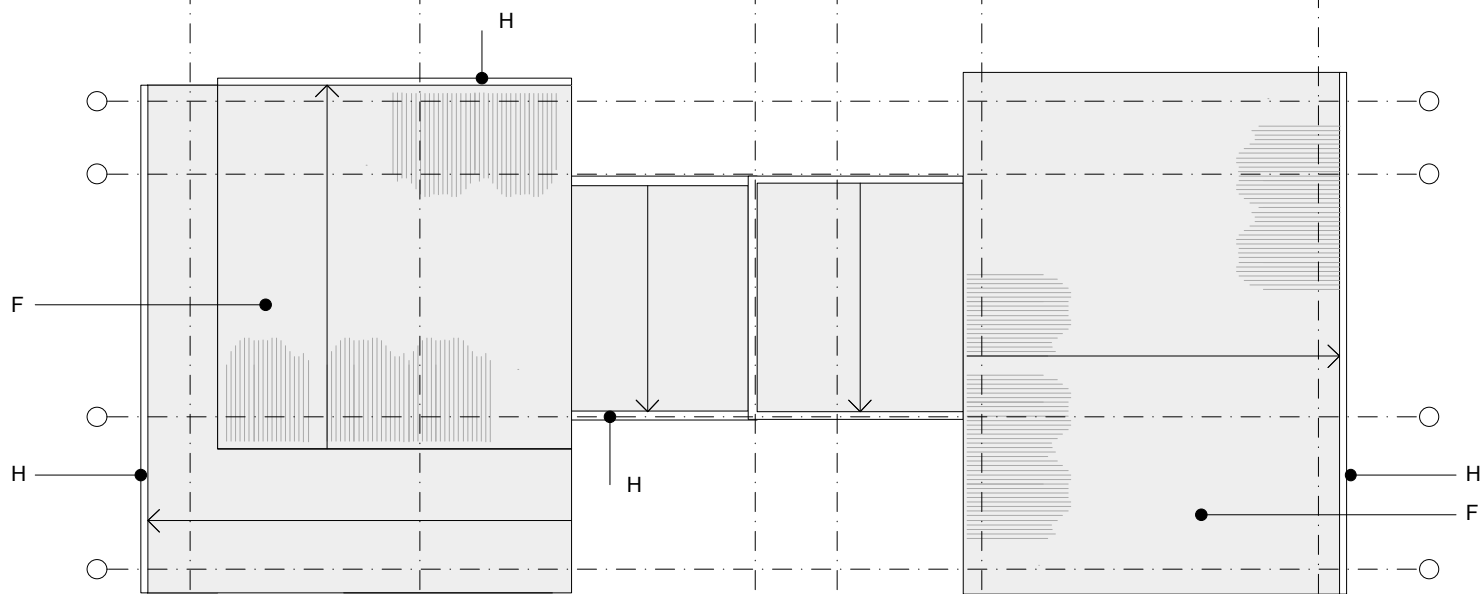
Finishes Legend

- A - FC Panel Sheet / Paint Finish (Off White)
- B - FC Horizontal Boarding / Paint Finish (Mid Grey)
- C - Timber Door / Paint Finish
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- H - Colorbond Gutter (Mid Grey)
- I - Timber Framing / Paint finish (Mid Grey)

NOTE: COLOUR SPECIFICATION TO BE CONFIRMED



Ground Floor (Adaptable Units)



Roof Plan

Adaptable Houses

The Adaptable houses are designed in accordance with AS 4299-1995

All Doors to have 920 mm leaves
Door hardware to comply with AS1428.1

Circulation Spaces are capable of modification to AS1428.1
Internal Corridors are minimum 1,000 mm clear

The main Bedroom Ensuite is sized to be Accessible.
Accessible complying fittings can be installed in place of the current Fittings
Shower Screen can be removed (no modifying to waterproofing required)

Kitchen: In post adaption, the island bench will be relocated to allow access in accordance
with AS1428.2. Waste outlets can remain. Cupboards will be modified as required

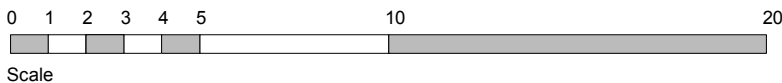
Bedroom: The main bedroom has been sized to allow circulation as per AS1428.2
Power outlets and fittings to be located as per AS4299

Living: Circulation as per AS4299 has been allowed.
Power outlets and fittings to be located as per AS4299

Laundry: Circulation in front of Laundry complies with AS4299

Additional Detail requirements to be incorporated in Construction Certificate Documentation

House Group 11



HOUSE PLANS

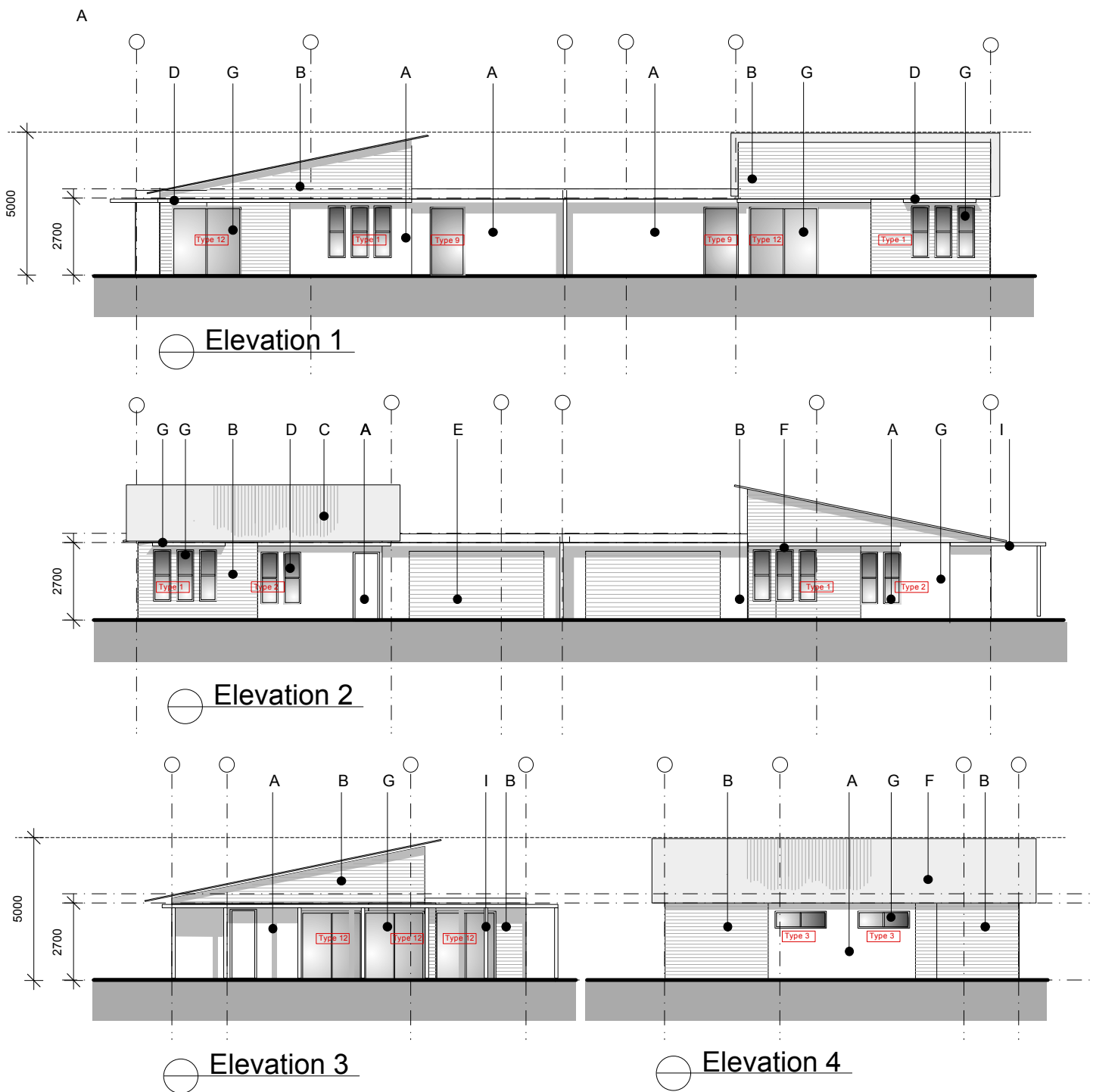
A10

RESIDENTIAL DEVELOPMENT

Hickey Street, Cessnock

DRAWING

PROJECT



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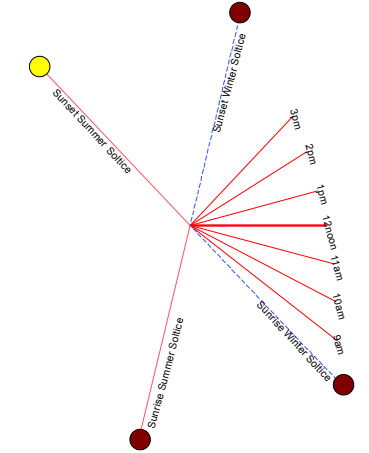
SCALE 1:500 @A3

HOUSE CLUSTERS

DATE



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General Manager Per: ap

0 1 2 3 4 5 10 20
Scale

SHADOW DIAGRAM
22 JUNE - 3 PM
DRAWING

A11

RESIDENTIAL DEVELOPMENT
Hickey Street, Cessnock
PROJECT



SCALE 1:750 @ A3
DATE

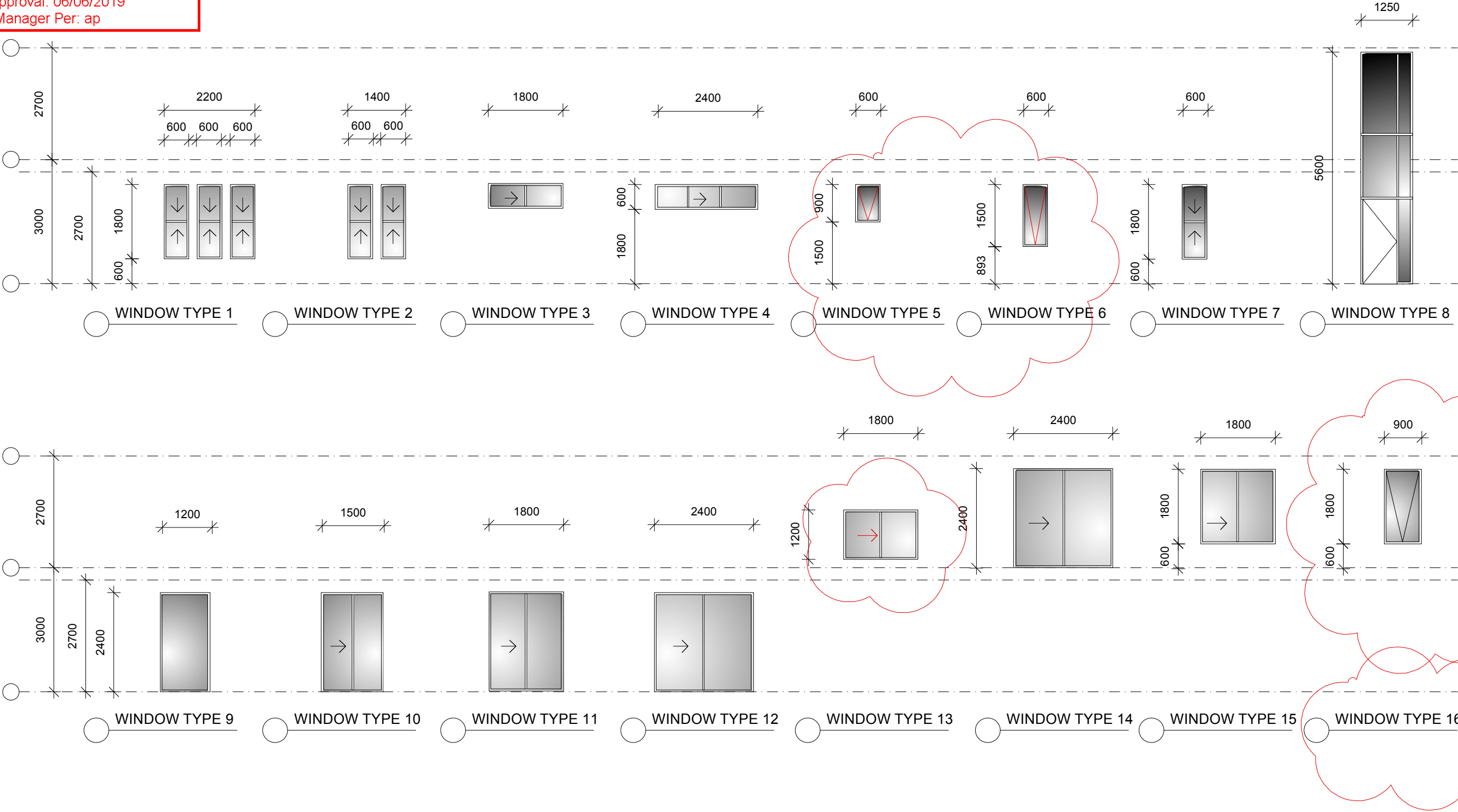
Issue F DA Submission 15 May 2019



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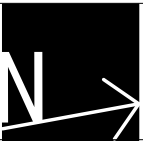
Hickey Street, Cessnock BASIX inclusions	
Glazing	<p>Doors / windows:</p> <p>Aluminium Thermally Broken framed High Solar Gain Low-E glazing to units 16 and 17.</p> <p>B – sliding doors/windows + fixed glazing + louvres windows</p> <p>U-Value: 3.10 (equal to or lower than) SHGC: 0.49 (±10%)</p> <p>Aluminium framed performance High Solar Gain Low-E glazing to all other two storey units and to units 2 and 4:</p> <p>A – awning windows + hinged glazed doors</p> <p>U-Value: 4.10 (equal to or lower than) SHGC: 0.47 (±10%)</p> <p>B – sliding doors/windows + fixed glazing + louvres windows</p> <p>U-Value: 4.10 (equal to or lower than) SHGC: 0.52 (±10%)</p> <p>Aluminium framed single clear glazing to all other units:</p> <p>A – awning windows + hinged glazed doors</p> <p>U-Value: 6.70 (equal to or lower than) SHGC: 0.57 (±10%)</p> <p>B – sliding doors/windows + fixed glazing + louvres windows</p> <p>U-Value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)</p> <p>Given values are AFRC, total window system values (glass and frame)Operability: All windows and glazed doors shown with a centre mullion on elevations must have a minimum operability of 10%</p>
Roof / ceiling insulation	<p>Roof:</p> <p>Metal with sarking (R1.0).</p> <p>Medium colour 0.475>SA>0.7</p> <p>Ceiling:</p> <p>Plasterboard ceiling :</p> <p>R4.0 insulation where roof is above to units 16 and 17, R3.0 insulation to all other units.</p> <p>R2.0 insulation to garage only where bedroom or living areas are above. Otherwise, no insulation required to garage.</p>
Wall / floor insulation	<p>External Wall:</p> <p>Lightweight FC cladding with a minimum R 2.0 insulation (no insulation required to garage external walls) to single storey units.</p> <p>Lightweight FC cladding with a minimum R2.5 insulation (insulation only value) to double storey units (no insulation require to garage external walls)</p> <p>Internal walls within units:</p> <p>Plasterboard on studs – a minimum R2.0 insulation to internal walls shared with garage.</p> <p>Inter-tenancy walls:</p> <p>Hebel with Plasterboard lining walls adjacent to neighbours, no insulation required.</p> <p>Floors:</p> <p>Concrete slab with 175mm waffle pods.</p> <p>Floor coverings:</p> <p>Carpet to bedrooms and tiles elsewhere</p>
Individual rainwater storage	<p>2000L tank to collect water from at least 50m2 of the main roof area.</p> <p>Rainwater to be used on laundry, toilets, irrigation and landscaping.</p>
Individual hot water systems	<p>Individual solar (electric-boosted) system – 31 to 35 STCs.</p>

CESSNOCK CITY COUNCIL
Approved plans for
Development Consent No. 08/2018/10/1
Date of Approval: 06/06/2019
General Manager Per: ap



WINDOW SCHEDULE
DRAWING

RESIDENTIAL DEVELOPMENT
Hickey Street, Cessnock
PROJECT



SCALE
DATE

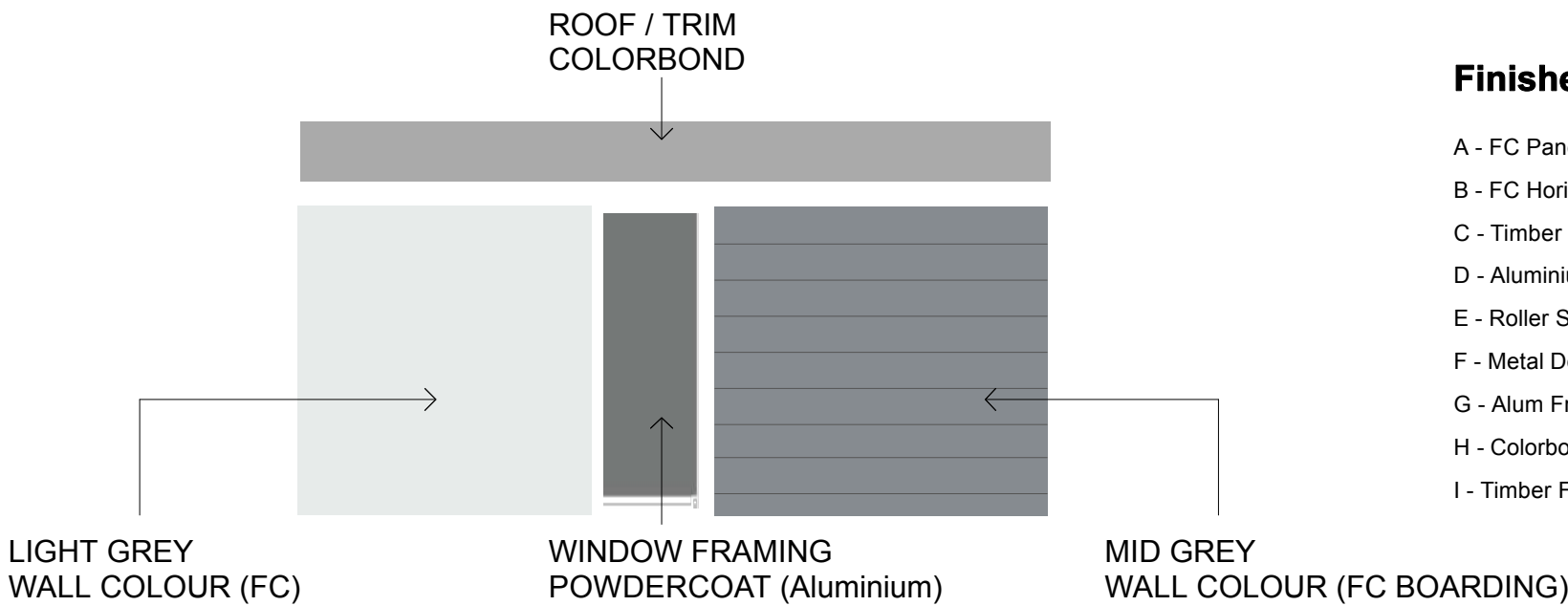
Issue F DA Submission 15 May 2019
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PRECEDENT IMAGES



TYPICAL ELEVATIONS



Finishes Legend

- A - FC Panel Sheet / Paint Finish (Off White)
- B - FC Horizontal Boarding / Paint Finish (Mid Grey)
- C - Timber Door / Paint Finish
- D - Aluminium Sunshade (Mid Grey)
- E - Roller Shutter / Colorbond (Light Grey)
- F - Metal Deck Roof / (Dark Grey)
- G - Alum Frame Glazing / Powdercoat (Mid Grey)
- H - Colorbond Gutter (Mid Grey)
- I - Timber Framing / Paint finish (Mid Grey)

COLOUR BOARD

DRAWING

RESIDENTIAL DEVELOPMENT

Hickey Street, Cessnock

PROJECT

SCALE

DATE

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PAUL JONES ARCHITECT



Legend

+97.20	PROPOSED LEVEL		PROPOSED LIGHTWEIGHT PRIVACY SCREENS
97.17	EXISTING LEVEL		TIMBER LAWN EDGE
	PROPOSED PAVED ENTERTAINING AREA		MULCHED ACCESS PATH
	LAWN AREA		CONCRETE FOOTPATH
	PROPOSED CONCRETE DRIVEWAY		CLOTHES LINE
			BOUNDARY LINE
			PROPOSED FENCE
			PERMEABLE PAVING AREA

Project

RESIDENTIAL DEVELOPMENT

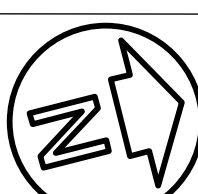
ARCHITECT

PJ PAUL JONES ARCHITECT

Notes

1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
2. Do not scale from drawings.
3. If in doubt contact Landscape Architect.
4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission
5. This plan has been prepared for Concept purposes only.
6. All Building Works shall be installed to Structural Engineers detail

Revision	Description	Date
A	AMENDMENTS	21.09.2018
B	AMENDMENTS	28.02.2019

DRAWING PROPOSED LANDSCAPE PLAN SHEET 1		
ADDRESS HICKEY STREET, CESSNOCK		DWG # L/01
	DATE #	28/07/17
	SCALE @ A1	1:200
	DRAWN	SL
	CHKD	SW
	PROJECT #	BIRDWOOD
		



PLANTING SCHEDULE (FOR WHOLE SITE)						
ID	Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
ACL	Acacia coenata 'Limelight'	Limelight Wattle	27	25lt	1000	1000
ANH	Angophora hispida	Dwarf Apple	6	75lt	3500	5000
BM	Backhausia myrtifolia	Grey Myrtle, Lancewood	1	25lt	3500	4500
BSP	Banksia spinulosa 'Birthday Candles'	Birthday Candles	37	5LT	1000	1000
BC	Buckinghamia celsissima	Ivory Curl Flower	4	75lt	3500	7000
CLJ	Callistemon 'Little John'	Bottlebrush	15	5lt	1000	1000
CGC	Casuarina glauca 'Cousin it'	'Cousin it'	6	240mm	400	400
CAL	Correa alba	Correa alba	26	5lt	1200	1500
CGU	Corymbia 'Summer Red'	Summer Red	4	75lt	4000	5000
DRE	Dichondra argentea	silver Falls	12	5lt	1000	100
DE	Doryanthes excelsa	Gymea Lily	7	15lt	1500	1500
EE	Elaeocarpus eumundi	Quandong	8	15lt	6000	12000
ES	Eucalyptus saligna	Sydney Blue Gum	3	45lt	10000	20000
GS	Grevillea sericea	Pink Spider Flower	16	5LT	1200	1200
LT	Lamandra 'Tanika'	Dwarf Lamandra	69	5lt	500	500
PP	Pandorea pandorana	Wonga Wonga Vine	7	5lt	1400	5000
SG	Syncarpia glomulifera	Turpentine	2	45lt	4000	5000
SCS	Syzygium 'Cascade'	Dwarf Weeping Lillypilly	42	25lt	1500	3000
SZE	Syzygium australe 'Elite'	Lillypilly	17	45lt	2000	6000
WF	Westringia 'Jervis Gem'	Coastal Rosemary	17	5LT	1000	1000

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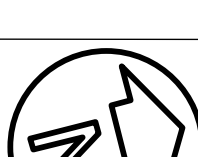
NOTE
FOR ARCHITECTURAL DETAIL
REFER PLAN BY PAUL JONES ARCHITECT

Legend		
+97.20	PROPOSED LEVEL	
97.1	EXISTING LEVEL	
	PROPOSED PAVED ENTERTAINING AREA	
	LAWN AREA	
	PROPOSED CONCRETE DRIVEWAY	
	PROPOSED LIGHTWEIGHT PRIVACY SCREENS	
I/E	TIMBER LAWN EDGE	
	MULCHED ACCESS PATH	
	CONCRETE FOOTPATH	
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Project
RESIDENTIAL DEVELOPMENT
ARCHITECT
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Revision	Description	Date
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B	AMENDMENTS	28.02.2019

DRAWING PROPOSED LANDSCAPE PLAN SHEET 2		
ADDRESS HICKEY STREET, CESSNOCK		DWG # L/02
	DATE # 28/07/17	
	SCALE @ A1 1:200	
	DRAWN SL	
	CHKD SW	
	PROJECT # BIRDWOOD	