

**GOOD IS
PRIME
POSITION**

**GREAT IS
WHAT YOU DO
FROM HERE**

GATEWAY@MURARRIE

Secure hardstand – 17 Goodman Place,
Murarrie, QLD

MAKING
SPACE
FOR
GREATNESS



OVERVIEW

Gateway@Murarrie is Brisbane's newest industrial development strategically located in Murarrie, with direct visibility from the Gateway Motorway.

AREA SCHEDULE	SQM
Secure hardstand	5,500
Total building area	5,500

Property features

- + Secure hardstand area of 5,500 sqm
- + Fully secured via 1.8m chain wire fence with barb wire
- + Dedicated concrete ramp access
- + Sealed hardstand with a two-coat spray seal bitumen
- + Approved for outdoor storage uses
- + Ideal for truck and vehicle parking
- + Completed and ready for occupation.



LOCATION



0.2KM
to Gateway
Motorway

11KM
to Brisbane
Airport

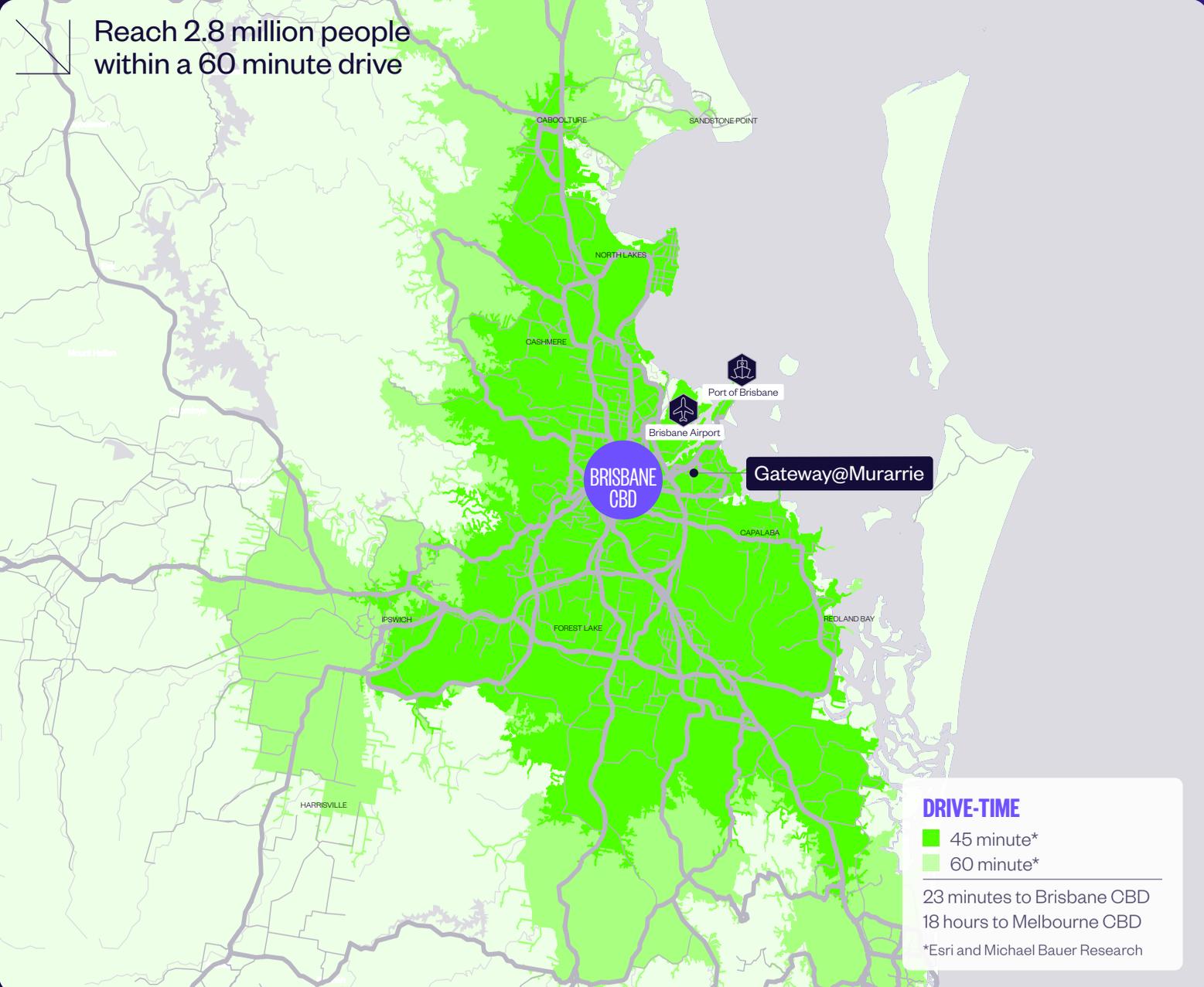
12KM
to Brisbane
CBD

15KM
to Port of
Brisbane

Gateway@Murarrie is directly adjacent to the Gateway Motorway and Port of Brisbane Motorway. The high visibility location presents a rare opportunity to be part of an emerging, next-generation industrial estate.

SPEED TO MARKET

WITHIN 60 MINUTE
DRIVE-TIME



KEY AREA STATISTICS

 **2.8M**
Total population

 **1M**
Total households

 **\$159.2BN**
Total purchasing power

TOTAL SPEND ON

 **\$4.8BN**
Clothing

 **\$15.8BN**
Food + beverage

 **\$3.9BN**
Personal care

 **\$772.8BN**
Online shopping

CONNECTIVITY



VIEW FROM ABOVE - EAST



Port of Brisbane Motorway

BRISBANE AIRPORT

PORT OF BRISBANE

Gateway@Murarrie

Australia Post

PepsiCo

Goodman Place

Daikin

Unit 2

Leviat

Secure hardstand

Gateway Motorway

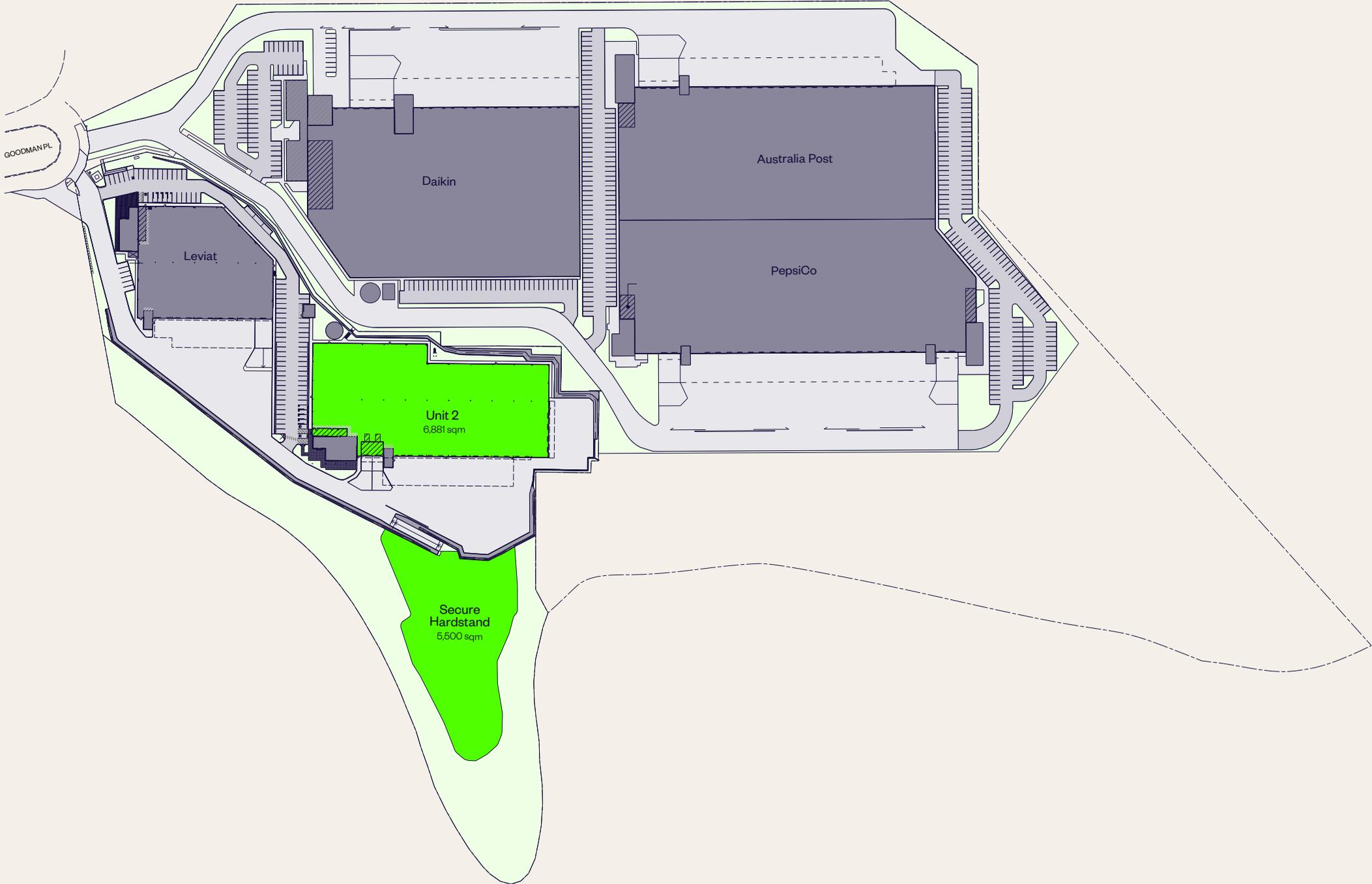
VIEW FROM ABOVE - WEST



ACCESS



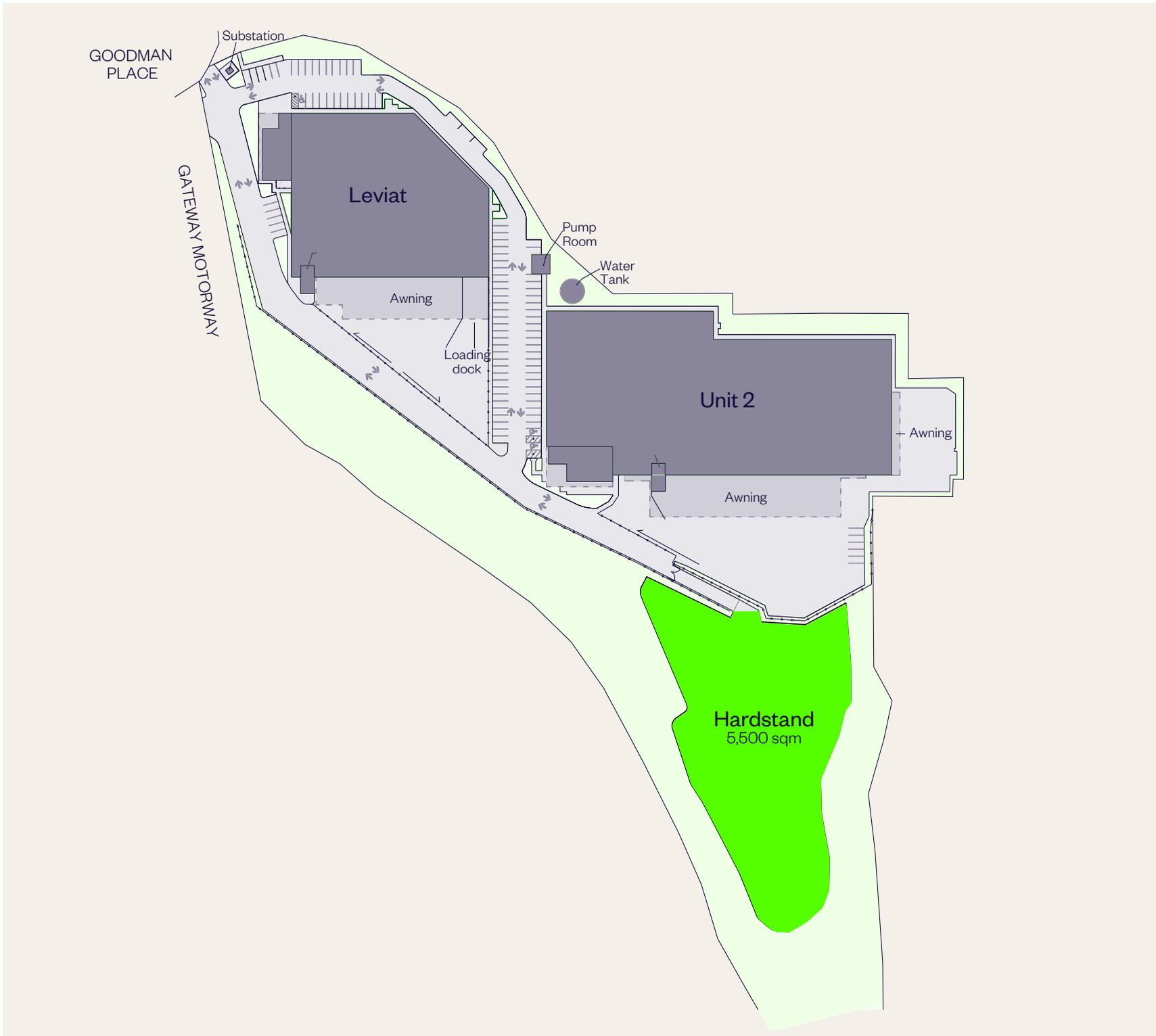
MASTERPLAN



SECURE HARDSTAND PLAN

Gateway@Murarrie

AREA SCHEDULE	SQM
Hardstand area	5,500



AMENITY AND SERVICES

Click on interactive links for more information on nearby services



Industrial Harvest



Hungry Baker



The Little Baker



Eastern Creek Quarter (ECQ)



Southridge Plaza



Supermarkets

Goodman Foundation



Doing good in the world

[CLICK TO LEARN MORE →](#)

Areas of focus

+ The Goodman Foundation is committed to making a sustained and tangible difference. We partner with organisations that support people with the knowledge, tools and resources they need to navigate and overcome adversity. Together we're cultivating resilient and vibrant communities through four key areas of focus:

FOCUS 01 

Meeting essential needs

+ We provide support for community organisations who are enabling food and housing security, including the supply of household goods and clothing to those in need.

FOCUS 02 

Promoting social and mental wellbeing

+ We focus on initiatives that improve psychosocial wellbeing and create space for people to flourish. Our support includes providing mental health services, social support systems, safe spaces, and activities that draw local communities together. Importantly we prioritise the prevention of violence against women and mental health challenges for young people.

FOCUS 03 

Enabling education and employment

+ We work with organisations that offer education and employment pathways that lead to self-sufficiency and resilience. Finishing high school is the first step to becoming more employable. It can also lead to further training in a career where a person can develop and grow.

FOCUS 04 

Providing disaster relief

+ We support communities to prepare for disasters and then to respond and initiate recovery as soon as they happen. We work with partners equipped to deliver immediate response and sustained disaster and humanitarian relief.

ABOUT GOODMAN



Our sustainability strategy
See how we're working to create a more sustainable future



First Nations Engagement
Read about our Reconciliation Action Plan



Goodman Foundation
This is how we do good in the world



We own, develop and manage high-quality, sustainable properties globally that are close to consumers and provide essential infrastructure for the digital economy.

In Australia, Goodman is the largest industrial property developer. From concept to delivery, we work side-by-side with our customers to design and develop facilities that meet specific needs and expectations.

LEARN MORE 

CONTACT US



Michael Scott
Property Manager

T. 07 3521 7713
M. 0447 889 090
michael.scott@goodman.com

John Gray
Head of Property Services,
Queensland

T. 07 3040 3308
M. 0438 098 597
john.gray@goodman.com

Goodman
Brisbane Gate Industrial Park
Unit 7
370 Nudgee Road
Hendra QLD 4011
T. 07 3040 3300

[VIEW THIS PROPERTY ONLINE →](#)

goodman.com/au

