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# PROPOSED WAREHOUSE & OFFICE DEVELOPMENT AT: LOT 11 HARRISON COURT, MELTON



Harrison Court Streetscape Elevation

N.T.S

## GENERAL NOTES:

ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING INTERIM REGULATIONS 2017, THE NATIONAL CONSTRUCTION CODE SERIES 2016 BUILDING CODE OF AUSTRALIA VOLUME 1 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.

THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORM WATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNES, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS

ALL STORM WATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES' APPROVAL.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL SPECIFICATIONS, RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS' DRAWINGS/DETAILS AND SPECIFICATIONS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

LIGHT SWITCHES, DOOR HANDLES ETC. TO ALL DOORS/WALLS TO BE LOCATED BETWEEN 900MM AND 1100MM ABOVE F.F.L.

SARKING-TYPE MATERIALS USED FOR WEATHERPROOFING OF ROOFS AND WALLS TO COMPLY WITH AS/NZS 4200 PARTS 1 AND 2.

ALL WET AREAS, FLOOR, WALLS ETC., TO BE IN ACCORDANCE WITH F1.7 OF B.C.A. AND AS 3740.

ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA. WHERE A PERFORMANCE SOLUTION IS PROPOSED THEN PRIOR TO IMPLEMENTATION OR INSTALLATION IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA.

WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.

REFER TO CIVIL ENGINEERS DESIGN AND DETAILS FOR ALL STORM WATER, CAR PARKING AND DRIVEWAY CONSTRUCTION REQUIREMENTS.

THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF BB DESIGN GROUP FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE WRITTEN CONSENT OF BB DESIGN GROUP DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY BB DESIGN GROUP FOR SUCH USE AND/OR RELIANCE.

THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF BB DESIGN GROUP EXCEPT WHERE A REGISTERED BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO BB DESIGN GROUP.

## FIRE HAZARD PROPERTIES:

ALL FLOOR MATERIAL OR FLOOR COVERING MUST HAVE (a) A CRITICAL RADIANT FLUX NOT LESS THAN THAT LISTED IN TABLE 1:  
(b) IN A BUILDING NOT PROTECTED BY A SPRINKLER SYSTEM COMPLYING WITH SPECIFICATION E1.5, A MAXIMUM SMOKE DEVELOPMENT RATE OF 750 PERCENT-MINUTES.

THE MINIMUM TYPE OF FIRE RESISTING CONSTRUCTION OF A BUILDING MUST BE THAT SPECIFIED IN TABLE C1.1 AND SPECIFICATION C1.1.  
CONSTRUCTION JOINTS BETWEEN CONCRETE PANELS TO BE FIRE SEALS AS NECESSARY, IN ACCORDANCE WITH AS 1530.4

## EARLY FIRE HAZARD INDICES:

	SMOKE DEVELOPED:	SPREAD OF FLAME:
CARPET (0- 10)	5	4
SARKING (0- 10)	0	0
VINYL FLOORING (0- 10)	6	1

FIRE HAZARD PROPERTIES OF MATERIALS AND ASSEMBLIES TO COMPLY WITH BCA SPECIFICATION C1.10.

CONSTRUCTION JOINTS BETWEEN CONCRETE PANELS TO BE FIRE SEALS AS NECESSARY, IN ACCORDANCE WITH AS 1530.4

## FIRE SERVICE LEGEND

REFER TO FIRE SERVICES DESIGN FOR ALL HYDRANT, HOSE REELS AND EXTINGUISHER DETAILS.  
ELECTRICAL SWITCHBOARDS LOCATED IN THE PATH OF TRAVEL TO EXITS TO BE ENCLOSED IN A METAL OR OTHER NON COMBUSTIBLE CABINET WITH SMOKE PROOF DOORS. SIGNIFICANT SWITCHBOARDS SHALL BE PROVIDED WITH A 5KG CARBON DIOXIDE EXTINGUISHER OR ANOTHER TYPE OF EXTINGUISHER WITH A MINIMUM CLASSIFICATION OF 1A:E AND FITTED WITH A HOSE COMPLETE WITH EXTINGUISHER IDENTIFICATION SIGNAGE AND SHALL BE LOCATED BETWEEN 2M AND 20M FROM THE SIGNIFICANT SWITCHBOARD.

PROVIDE ONE DRY POWDER EXTINGUISHER ADJACENT TO THE MAIN SWITCHBOARD.  
REQUIRED HOSE REEL (36m HOSE), LOCATED WITHIN 4m OF EXIT DOOR.

DURING CONSTRUCTION, NOT LESS THAN ONE FIRE EXTINGUISHER TO SUIT CLASS A, B, AND C FIRES AND ELECTRICAL FIRES MUST BE PROVIDED AT ALL TIMES ON EACH STOREY ADJACENT TO EACH REQUIRED EXIT OR TEMPORARY STAIRWAY OR EXIT.

## EXITS:

ALL EXIT DOORS & DOORS IN A PATH OF TRAVEL TO EXITS ARE TO BE CAPABLE OF BEING OPENED AT ALL TIMES FROM THE SIDE OF PERSON SEEKING EGRESS FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD OR PUSHING ACTION ON A SINGLE DEVICES WITHOUT THE USE OF A KEY & LOCATED BETWEEN 900mm & 1200mm ABOVE FLOOR LEVEL IN ACCORDANCE WITH CLAUSE D2.21 OF THE BCA  
ALL PROPOSED SLIDING DOORS SERVING AS EXIT DOORS TO OPEN AUTOMATICALLY IF THERE IS A POWER FAILURE TO THE DOOR OR ON ACTIVATION OF THE FIRE OR SMOKE ALARM ANYWHERE IN THE TENANCY.

## DISABLED ACCESS:

DISABLED PERSON ACCESS TO THE BUILDING SHALL BE VIA ENTRANCE DOOR No. D01, AS DESIGNATED ON FLOOR PLAN. DISABLED ACCESS & MOBILITY SHALL FULLY COMPLY WITH AS.1428.1 & AS.1428.4

BRAILLE AND TACTILE SIGNAGE COMPLYING WITH SPEC. D3.6 AND INCORPERATING THE INTERNATIONAL SYMBOL OF ACCESS OR DEAFNESS OR OTHER SYMBOL AS APPROPRIATE MUST BE PROVIDED TO THE DISABLED SANITARY FACILITY.

## LIGHTING LEGEND:

ALL EMERGENCY LIGHTING AND EXIT SIGNS TO COMPLY WITH AS 2293. AND B.C.A. 2016

### WAREHOUSE

⚡ DENOTES "CLEVERTRONICS" 2 x 3 WATT LIFELIGHT LUMINAIRE NON MAINTAINED EMERGENCY LIGHT. CHAIN SUSPENDED 6000mm ABOVE FLOOR LEVEL TO UNDERSIDE OF ROOF PURLINS

CAT NO. CLIFE-2PRO-SMS-600 (Co D125 34m, C90 D125 34m)

### OFFICE

⚡ DENOTES "CLEVERTRONICS" 1 x 1.9 WATT LIFELIGHT LUMINAIRE NON MAINTAINED EMERGENCY LIGHT, RECESSED MOUNTED 2700mm ABOVE FLOOR LEVEL TO UNDERSIDE OF SUSPENDED CEILING  
CAT NO. ELIFE-X (Co-D40 18M, C90-D40 18M)  
⚡ DENOTES HIGH EFFICIENCY HI BAY LIGHTING IN ACCORDANCE WITH PART J6. 1-6.6 OF THE BCA AND THE SPECIFICATION J6

⚡ DENOTES "CLEVERTRONICS" 1 x 3.3w MAINTAINED EXIT EMERGENCY SIGN MOUNTED ABOVE ALL EXIT DOOR OPENINGS BETWEEN 2100-2400mm HIGH  
CAT. No. CCFPRO (Co-D4; C90-E8)

## GLAZING NOTES:

MAXIMUM AREAS OF CLEAR PATTERNED GRADE 'A' FRAMED GLASS SIDE PANELS AND OTHER GLAZED SAFETY GLASS MATERIAL FOR FRAMED GLASS, GLAZING AS PER AS.1288 AND AS.2047

TYPE OF GLASS	THICKNESS	AREA.
TOUGHENED SAFETY GLASS.	3mm 4mm 5mm 6mm 8mm 10mm 12mm	1.0sqm 2.0sqm 3.0sqm 4.0sqm 6.0sqm 8.0sqm 10.0sqm
LAMINATED SAFETY GLASS.	5.38mm 6.38mm 8.38mm 10.38mm 12.38mm	2.0sqm 3.0sqm 5.0sqm 7.0sqm 9.0sqm

## MECHANICAL VENTILATION SCHEDULE:

### PROPOSED WAREHOUSE 1 :

FLOOR AREA = 348.88m<sup>2</sup> @ 5% = 17.44m<sup>2</sup>  
EXISTING VENTILATION (OPENINGS) = 24.25m<sup>2</sup>  
BALANCE REQUIRED = 00.00m<sup>2</sup>

### PROPOSED WAREHOUSE 2 :

FLOOR AREA = 393.67m<sup>2</sup> @ 5% = 19.68m<sup>2</sup>  
EXISTING VENTILATION (OPENINGS) = 24.25m<sup>2</sup>  
BALANCE REQUIRED = 00.00m<sup>2</sup>

### PROPOSED WAREHOUSE 3 :

FLOOR AREA = 415.60m<sup>2</sup> @ 5% = 17.44m<sup>2</sup>  
EXISTING VENTILATION (OPENINGS) = 24.25m<sup>2</sup>  
BALANCE REQUIRED = 00.00m<sup>2</sup>

⚡ DENOTES PROPOSED EXHAUST FAN

MECHANICAL VENTILATION OR AIR-CONDITIONING OF ROOMS TO BE PROVIDED WITH A SYSTEM COMPLYING WITH AS1668.2 AND AS/NZS 3866.1 AS AMENDED. EXHAUST OUTLETS TO BE LOCATED NO CLOSER THAN 6.0M TO FRESH AIR INLETS.

AIR CONDITIONING TO BE PROVIDED TO OFFICE. MECHANICAL VENTILATION TO BE PROVIDED TO WC AND AIR LOCK AREAS. (BY OTHERS)

## DIRECTIONAL SIGNAGE NOTES:

Where directional signage is provided consistant colour and layout to assist people find & use the signage.

Mat finishes shall be used to assist people with vision impairment.

Colours with high luminance contrast are to be used.

Standardized symbols to be used where possible to reinforce written words.

Sans Serif font to be used.

## EMERGENCY SERVICES NOTES:

All emergency services and warning systems to be in accordance with BCA requirements.

All lighting levels are to comply with AS1428.1 CLAUSE 17.1 and be consistant with AS1680.0 to provide for safe movement within the warehouse.

## GENERAL CONSTRUCTION NOTES:

Light switches to be located between 900mm - 1100mm above FL, horizontally aligned with door handles and not less than 500mm from internal corners.

Carpet to have a max. pile height of 6mm.

Vinyl flooring if proposed to be slip resistive comply with AS1428.1:2009 Clause 7.

## ACCESSIBLE SIGNAGE:

Accessible signage to be provided adjacent to each required exit door.

Braille and tactile components of a sign must be located not less than 1200mm and not higher than 1600mm above the floor or ground surface.

Signs with single lines of characters must have the line of tactile characters not less than 1250mm and not higher than 1350mm above the ground or floor surface

Each sign must indicate the word "Exit" and description of the Level. (Refer Example Below)



## DISABLED STANDARD NOTES:

Signage to designated car spaces to be in accord. with AS 1428.1 and 2890.6

Maximum cross-fall to designated car spaces for persons with disabilities not to exceed 1:40 in both directions.

Drainage grates not to be in path of travel b/w designated car space for persons with disabilities and any paths to entry doors.

Provide level transition b/w car space and landing to entry doors.

If any door closers are fitted to any door requiring accessibility, then the force to open not to exceed 20N.

Disabled amenity room size and internal fit-out to comply with AS 1428.1:2009.

Cross-fall on designated car spaces, paths and level landings at entry doors not to exceed 1:40.

All door circulation spaces & disabled amenities to comply with AS1428.1:2009.

All Pavement pathways are to be flush with roadways and parking areas with otherwise disabled compliant kerb ramps are to be provided.

All entry & internal doors to provide minimum 850mm clear opening.

Provide level threshold at entry oor/landing junction and maximum fall on landing at 1:40.

All joinery fitout to be by tenant.

All Doors & handles to comply with AS 1428.1:2009 and door frame to have 30% luminance contrast to the adjacent surface. Safety decals to door leaves, sidelights and any other areas which can be mistaken for openings. Min. solid non-transparent band no less than 75mm wide req. with the lower edge of the band to be 900-1000mm above FL.

Tactile indicators to footpaths either side of crossovers, as required by local authority.

NOTE:  
ALL PARKING BAYS TO BE LINE MARKED INCLUDING DISABLED AND ASSOCIATED SHARED AREA PAVEMENT MARKING.

## PROJECT CONSULTANTS LIST

Consulting Structural Engineer: Matrix Consulting Engineers

Consulting Civil Engineer: Matrix Consulting Engineers

Consulting Fire Service Design: PBH Design Solutions

Consulting Geotechnical Engineer: Melbourne Soil Test

Consulting Landscape Designer: Etched Projects

## PROJECT AUTHORITIES LIST

Municipality: Melton City Council

Planning Permit No: PA2014/4523

Issue Date: 14th January 2015

Sewerage Authority: Western Water

Drainage Authority: Melton City Council

Relevant Building Surveyor: Permit Point

No.	DATE.	DESCRIPTION.	APPD.
-	16/03/2018	PRELIMINARY ISSUE	M.C.
A	09/06/2018	PRELIMINARY ISSUE	M.C.

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## PROJECT

## PROPOSED WAREHOUSE & OFFICE DEVELOPMENT AT: LOT 11 HARRISON COURT, MELTON

CLIENT

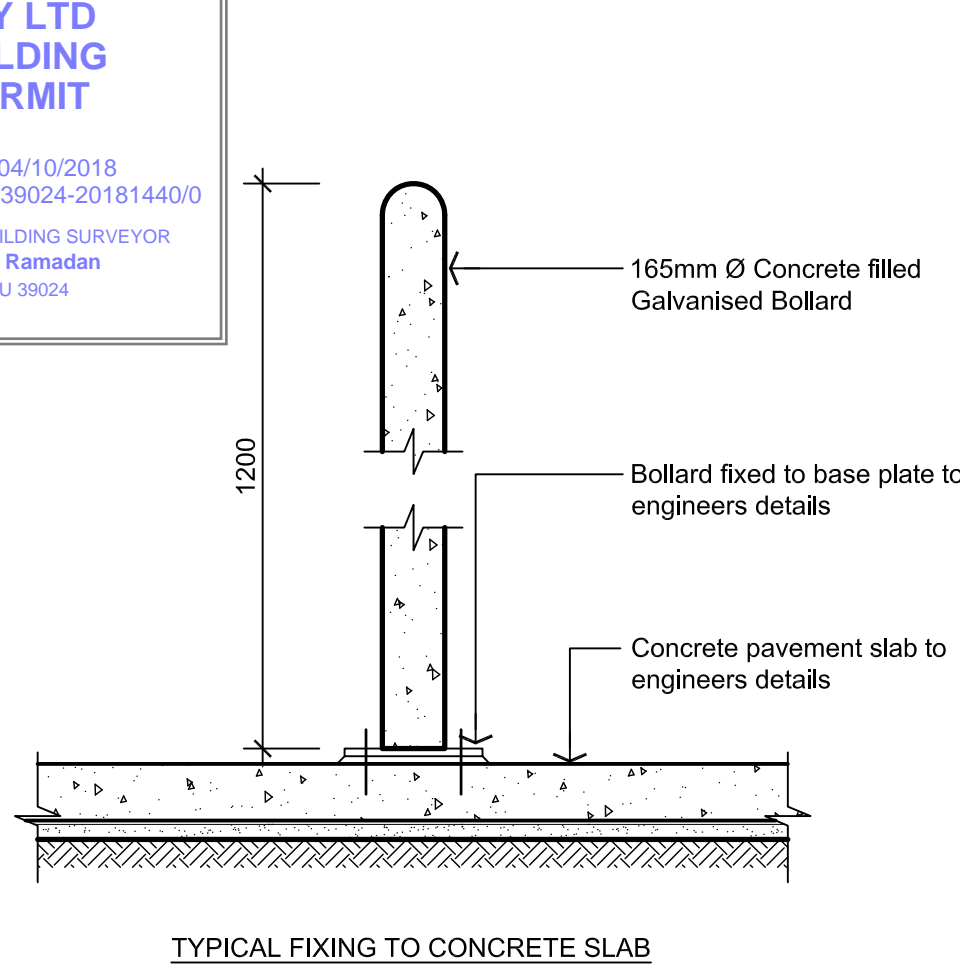
CARABOTT NOMINEES

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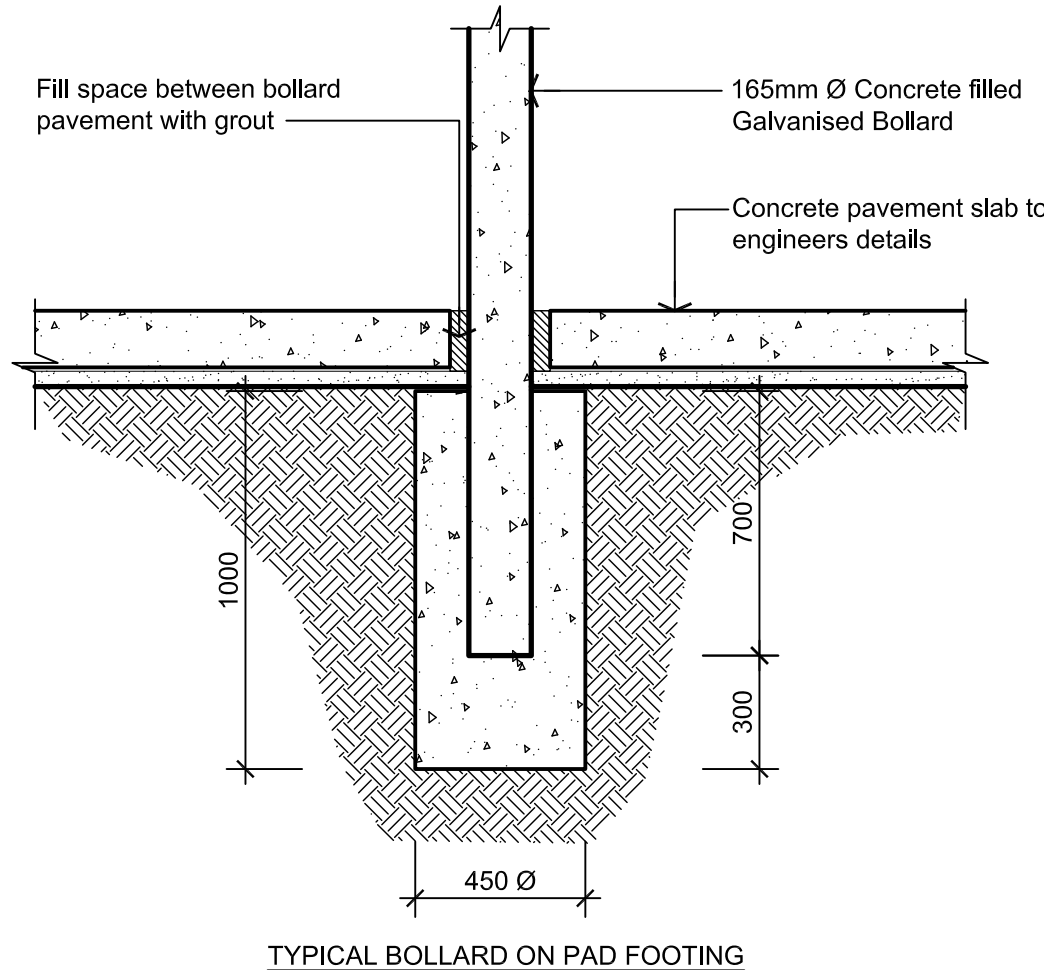
GENERAL NOTES

DATE	SCALE	DRG NO.
MAR 2018	N/A	A00
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	171208

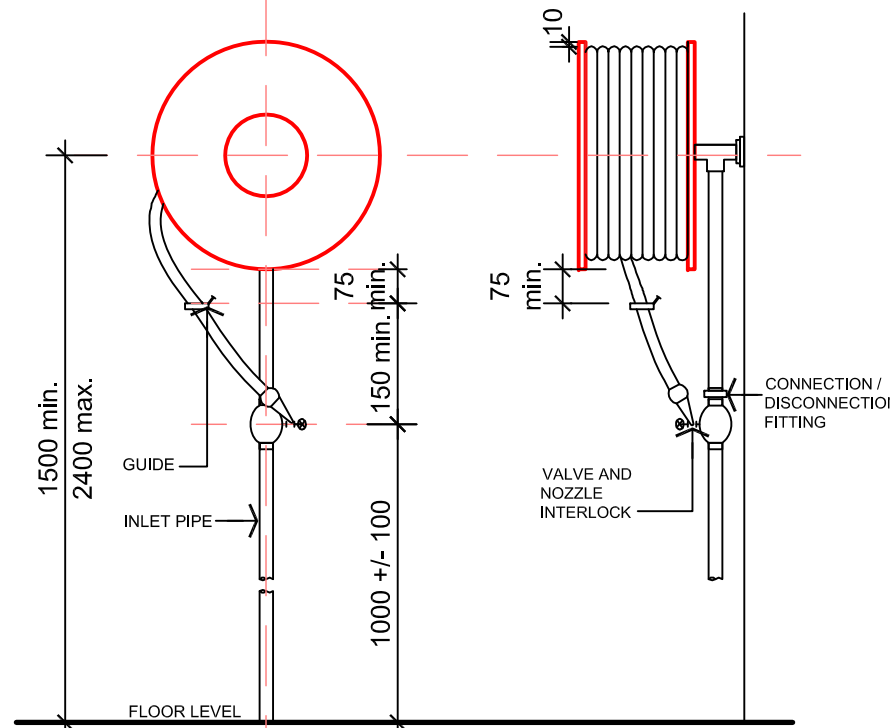




TYPICAL FIXING TO CONCRETE SLAB



TYPICAL BOLLARD ON PAD FOOTING



Typical Fire Hose Reel Detail

SCALE 1:20

Typical Steel Bollard Details

SCALE 1:20

### Legend

HATCH DENOTES ALL WEATHER SEALED CONCRETE PATTERN PAVED PATHS WITH "CHARCOAL" COLOR FINISH AS SELECTED

DENOTES SIGNAGE. SIGNAGE TO HAVE FOLLOWING: "ALL VEHICLES MUST EXIT OR ENTER IN A FORWARD FACING DIRECTION."

EXTERNAL "PILLAR BAFFLED" LED LIGHTING TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY

EXTERNAL HIGH EFFICIENT WALL MOUNTED LED SECURITY LIGHTING

TRANSLUCENT SHEET ROOFING TO ALLOW NATURAL LIGHT INTO WAREHOUSE FLOOR AREA.

STORMWATER DRAINAGE TO CONNECT TO LEGAL POINT OF DISCHARGE TO LOCAL AUTHORITY REQUIREMENTS

NOTE: SITE TO BE SITESCAPED OF TOPSOIL AND STOCKPILED ON SITE FOR USE IN PLANTING AREAS.

### LANDSCAPE DESIGN

REFER TO LANDSCAPE PLAN PREPARED BY ETCHED PROJECTS TO BE IN ACCORDANCE WITH LOCAL AUTHORITY VEGETATION REQUIREMENTS.

### AREA ANALYSIS:

TOTAL SITE AREA LOT 11 = 2,354.00 SQ METERS  
WAREHOUSE AREA = 1,158.12 SQ METERS  
OFFICE AREA (TOTAL) = 287.85 SQ METERS  
OVERALL DEVELOPMENT = 1,445.97 SQ METERS  
SITE COVERAGE = 61.42%

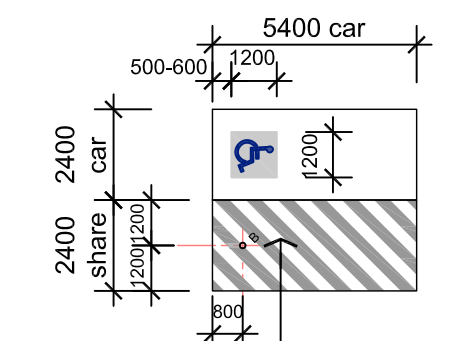
### CARPARK ANALYSIS

WAREHOUSE : 1,158.12m<sup>2</sup>  
(1,075.92 m<sup>2</sup> net - minus loading bay 82.20m<sup>2</sup>)

OFFICE : 287.85 m<sup>2</sup>  
(257.85m<sup>2</sup> net - minus staircase 30.00m<sup>2</sup>)

TOTAL NET FLOOR AREA: 1333.77m<sup>2</sup>

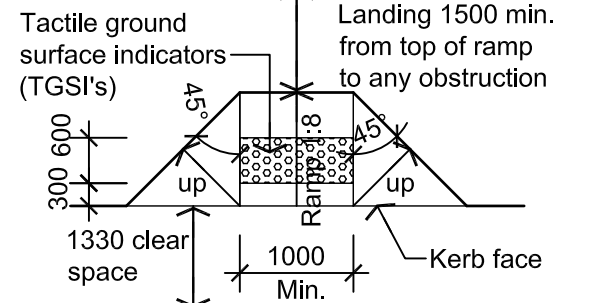
CARSPACE REQUIRED  
WAREHOUSE/OFFICE : @ 2 + 1.5/100M<sup>2</sup>  
TOTAL CARSPACE REQUIRED : 26  
TOTAL CARSPACE PROVIDED : 20



Prop. disabled carspace 2400 x 4000 each with 2400mm wide shared area. Detailed signage to be prov. in accordance with AS1428.1 / 2890.6

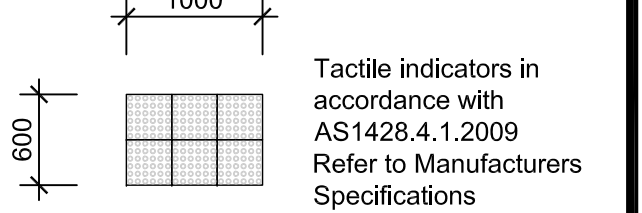
### Disabled Carspace Detail

Scale: N.T.S



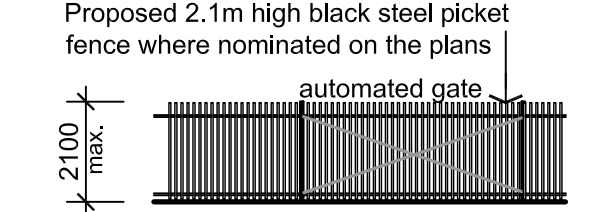
### Typical Kerb Ramp Detail

Scale: N.T.S



### Tactile Indicator Plan

Scale: 1:50



### Typical Front Fence Detail

Scale: N.T.S

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### PROJECT

**PROPOSED WAREHOUSE & OFFICE DEVELOPMENT AT: LOT 11 HARRISON COURT, MELTON**

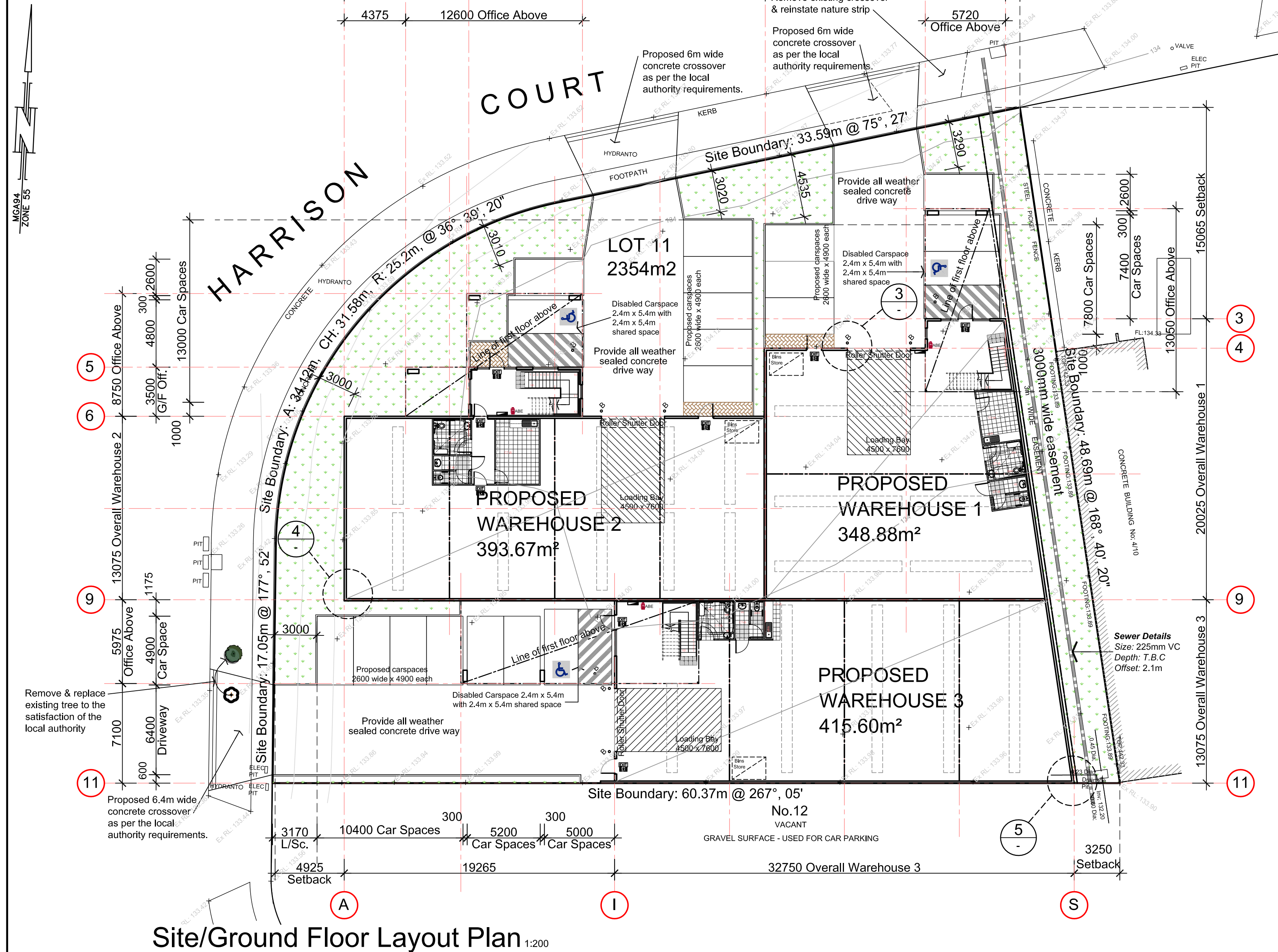
CLIENT

**CARABOTT NOMINEES**

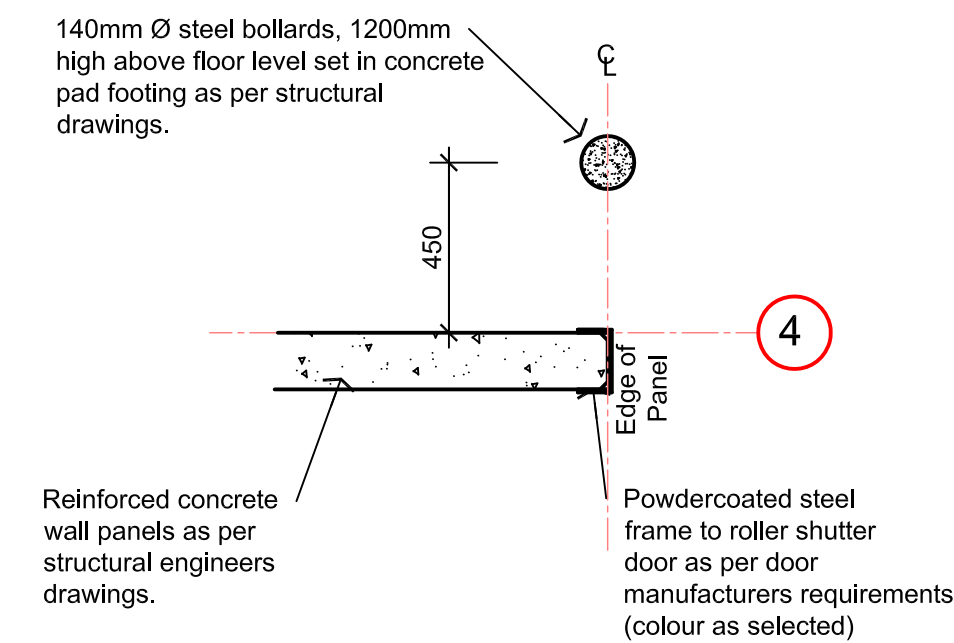
### DRAWING TITLE

**SITE & GROUND FLOOR LAYOUT PLAN**

DATE	SCALE	DRG NO.
MAR 2018	1:200	A01
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	171208

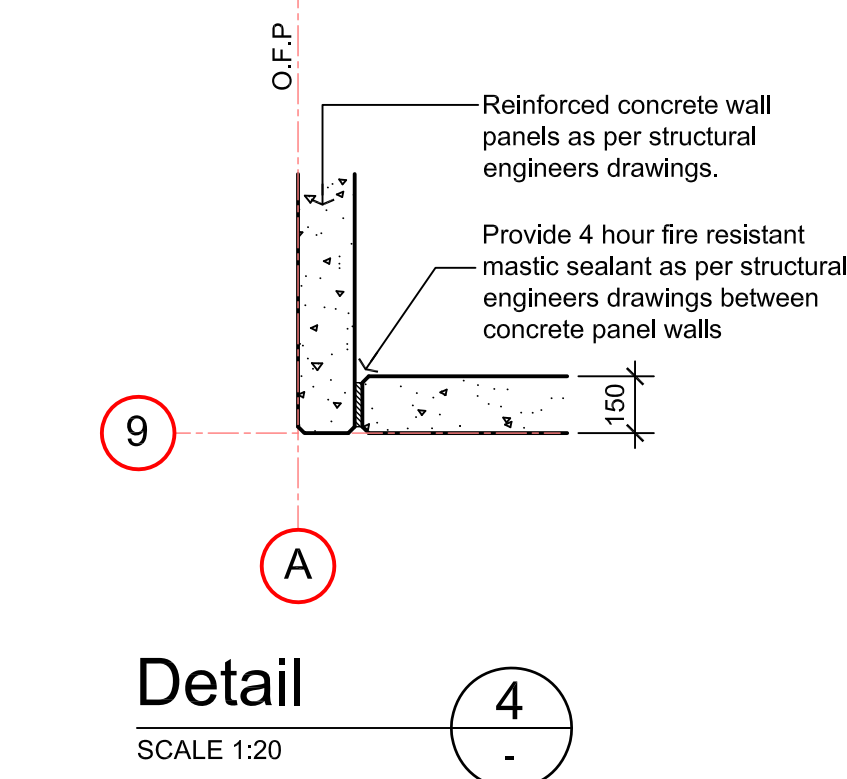


Site/Ground Floor Layout Plan 1:200



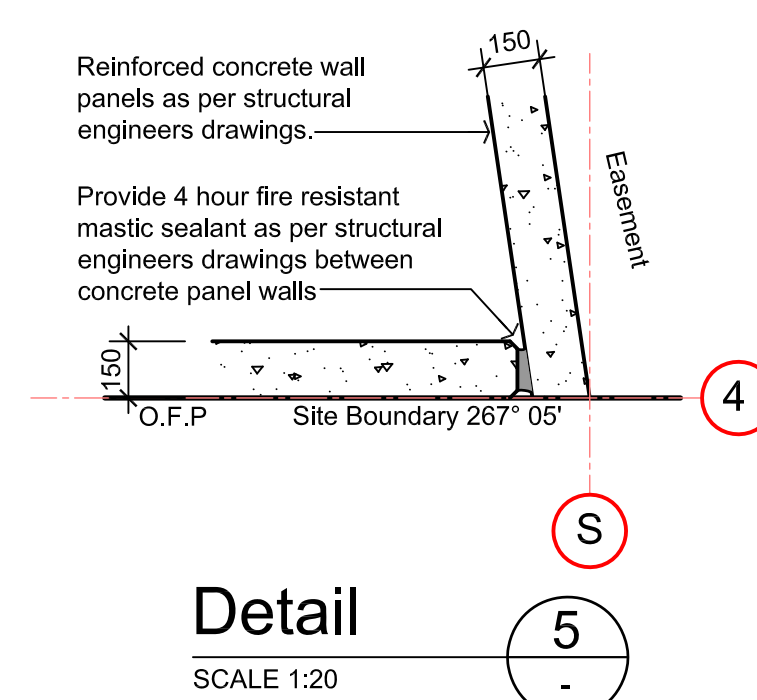
### Bollard Detail

SCALE 1:20  
(TYPICAL TO ALL ROLLER DOOR OPENINGS)



### Detail

SCALE 1:20



### Detail

SCALE 1:20



LEGEND	
COL	= COLUMN
DP	= DOWNPIPE
SV	= SHEET VINYL
VT	= VINYL TILES
CA	= CARPET
CT	= CERAMIC TILES
B	= BOLLARDS
BR	= BIKE RACK
rl	= ROOF LIGHT
OPP	= OUTSIDE FACE OF PANEL
CL	= CENTRE LINE

### Wall Legend

- P1 150mm Thick Concrete Panel Wall
- P2 150mm Thick Concrete Panel Wall with "Foil Board Ultra 20-" Insulation Panel or similar to all external walls only to achieve R2.8 min. Refer to detail for further information. (floor to ceiling)
- P3 Solid partition internal walls (metal stud & plasterboard) to 2700mm high (floor to ceiling)
- P4 Solid partition external walls (metal stud & plasterboard) full height with "Bulk Insulation" b/w studs or similar. Provide compressed sheet and alucobond cladding as noted on the elevations.
- G1 "6mm Viridian Ewantage Grey (#2) or similar approved in 150mm Capral 419 Flushline single glazed frames to provide min. U value 3.8 and min. SHGC value 0.41. to external office glazing where nominated on floor plans and elevations.

NOTE:  
ALL ARCHITECTURAL DRAWINGS TO  
BE READ IN CONJUNCTION WITH  
STRUCTURAL & CIVIL DRAWINGS AS  
PREPARED BY MATRIX ENGINEERING  
GROUP

### GENERAL CONSTRUCTION:

Light switches to be located between  
900mm - 1100mm above FL, horizontally  
aligned with door handles and not less than  
500mm from internal corners.

Carpet to have a max. pile height of 6mm.

Vinyl flooring if proposed to be slip resistive  
& comply with AS1428.1:2009 Clause 7.

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PROJECT

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AT: LOT 11 HARRISON COURT,  
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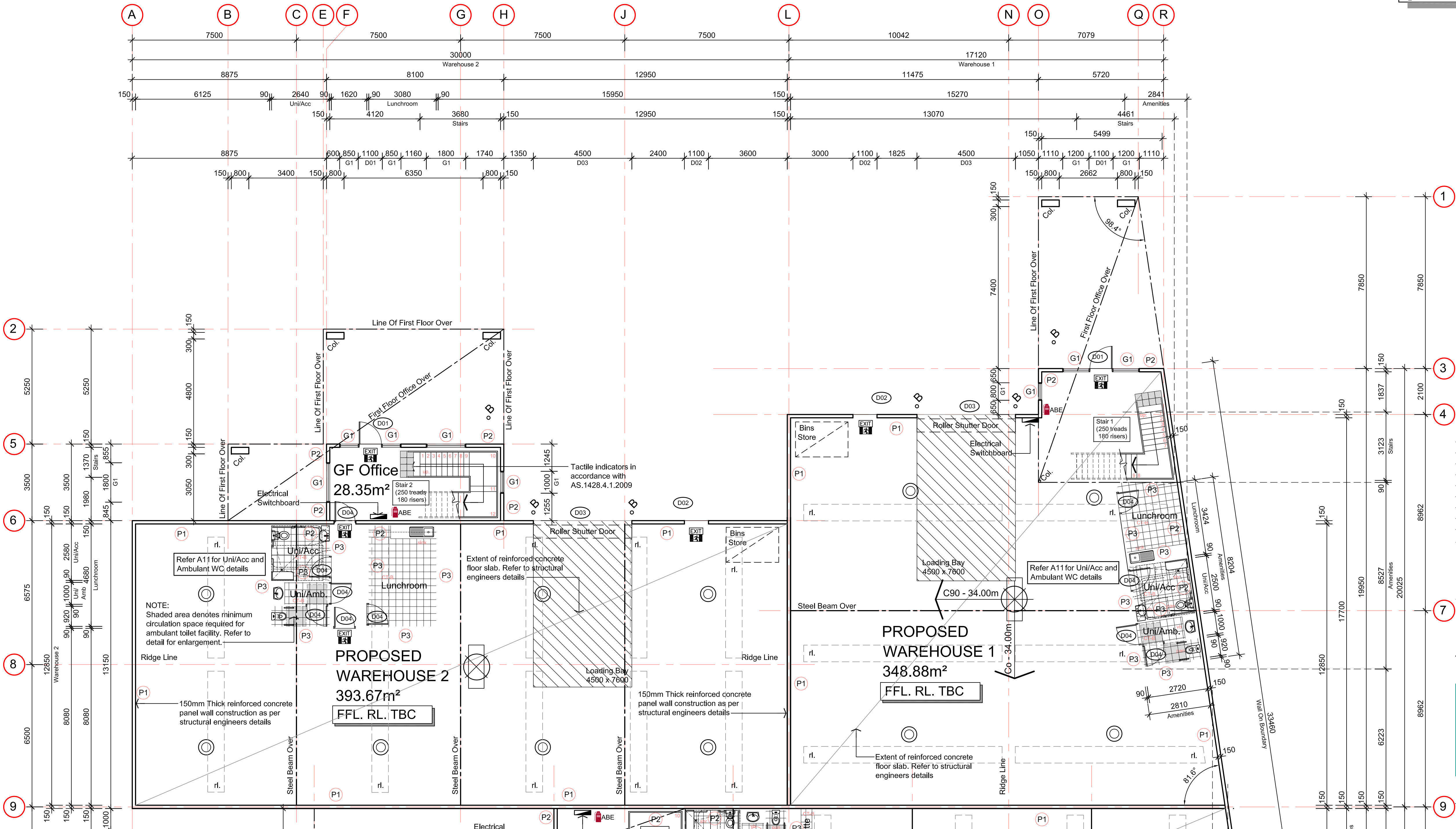
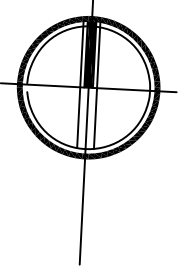
CLIENT

**CARABOTT NOMINEES**

DRAWING TITLE

**PART GROUND  
FLOOR PLAN**

DATE	SCALE	DRG NO.
MAR 2018	1:100	A02
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	171208



Part Ground Floor Plan 1:100

REFER TO PAGE A03 FOR CONTINUATION OF GROUND FLOOR PLAN



LEGEND	
COL	= COLUMN
DP	= DOWNPIPE
SV	= SHEET VINYL
VT	= VINYL TILES
CA	= CARPET
CT	= CERAMIC TILES
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OFFP	= OUTSIDE FACE OF PANEL
CL	= CENTRE LINE

#### Wall Legend

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NOTE:  
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#### GENERAL CONSTRUCTION:

Light switches to be located between 900mm - 1100mm above FL, horizontally aligned with door handles and not less than 500mm from internal corners.

Carpet to have a max. pile height of 6mm.

Vinyl flooring if proposed to be slip resistive & comply with AS1428.1:2009 Clause 7.

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PROJECT

**PROPOSED WAREHOUSE &  
OFFICE DEVELOPMENT  
AT: LOT 11 HARRISON COURT,  
MELTON**

CLIENT

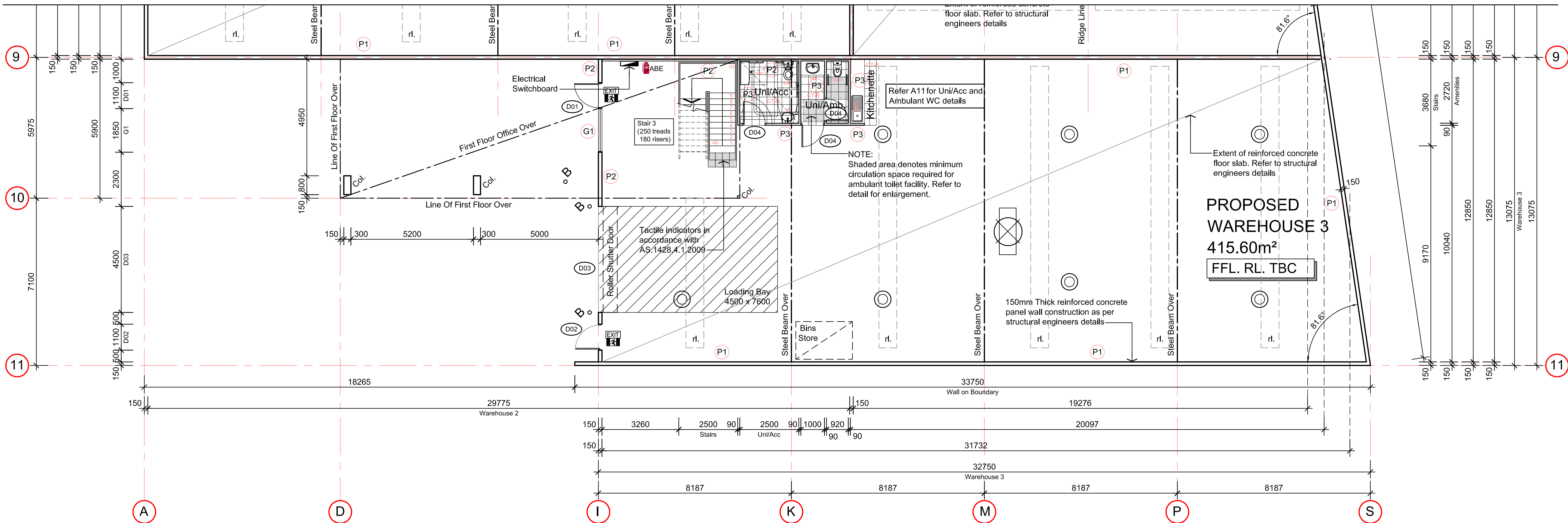
**CARABOTT NOMINEES**

DRAWING TITLE

**PART GROUND  
FLOOR PLAN**

DATE	SCALE	DRG NO.
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DRAWN	CHECKED	JOB NO.
M.C.	B.B.	171208

REFER TO PAGE A02 FOR CONTINUATION OF GROUND FLOOR PLAN

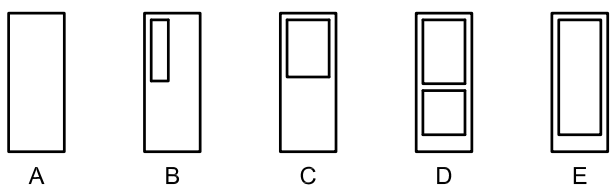


Part Ground Floor Plan 1:100

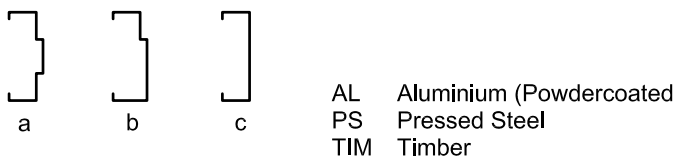
#### Door Schedule

NOTE: ALL DOORS AND DOOR HARDWARE TO BE IN ACCORDANCE WITH BCA D2.21

##### Door Types



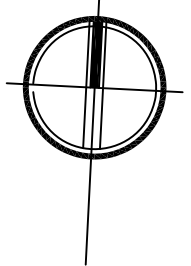
##### Frame Profiles



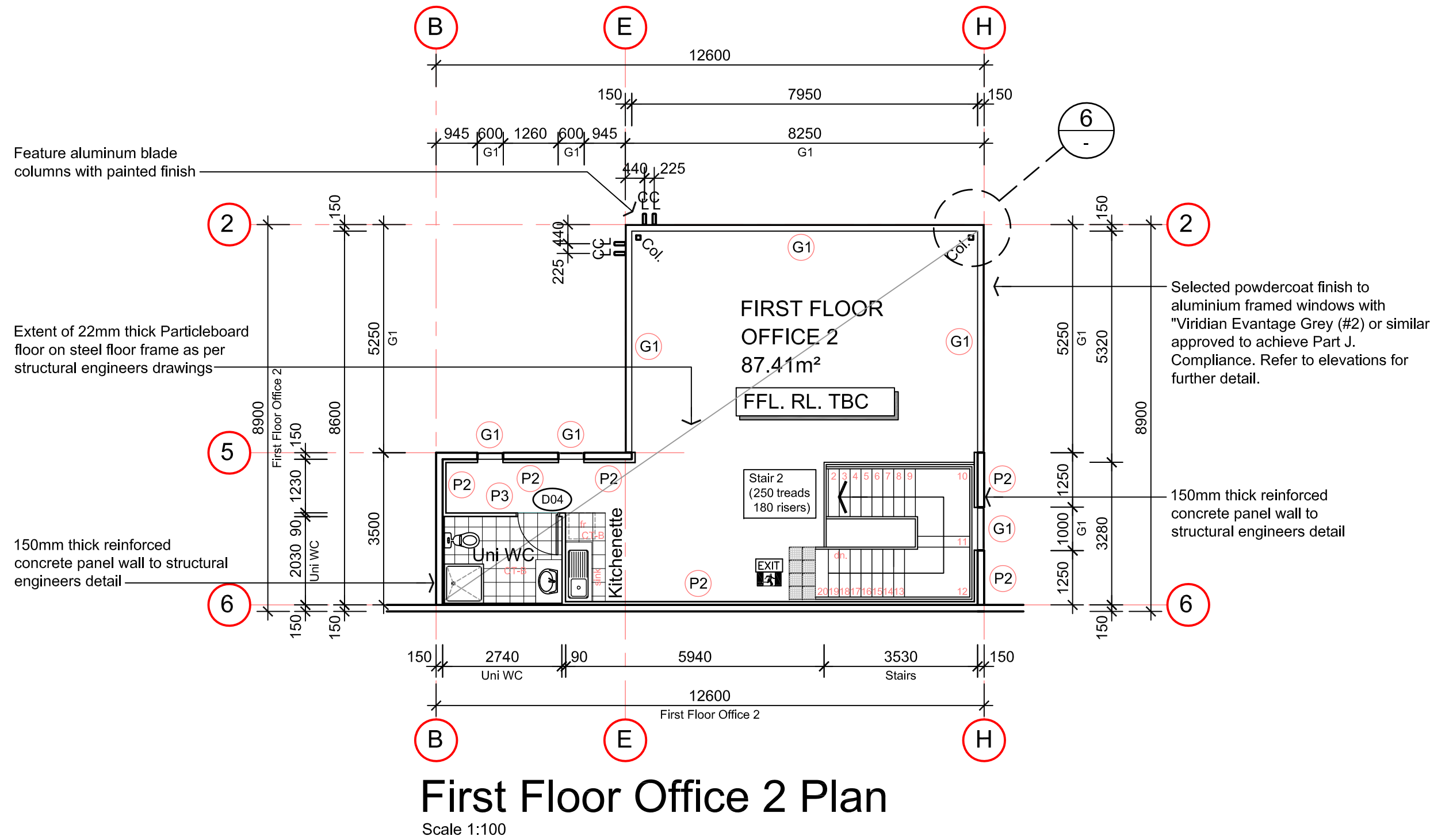
##### Abbreviations

R.D.S DENOTES RAVEN DOOR SEALS  
H.T DENOTES HEAT TRACING

DOOR No.	LOCATION	QTY.	LEAF SIZE WIDTH X HEIGHT	DOOR TYP	FRAME PROFILE	COMMENTS
WAREHOUSE & OFFICE						
D01	OFFICE ENTRY	3	920 X 2390	E	AL-A	POWDERCOATED ALUMINIUM FRAME WITH SELECTED GLAZING
D02	WAREHOUSE EXIT	3	1020 X 2040	A	PS-A	PRESSED STEEL FRAME METAL CLAD EXIT DOOR
D03	WAREHOUSE RSD	3	4500 X 4500	N/A	N/A	POWDERCOAT ROLLER SHUTTER DOOR
D04	GENERAL AMENITIES	16	920 X 2040	A	TIM-A	HINGED FLUSH PANEL SEMI-SOLID DOOR WITH PAINT FINISH

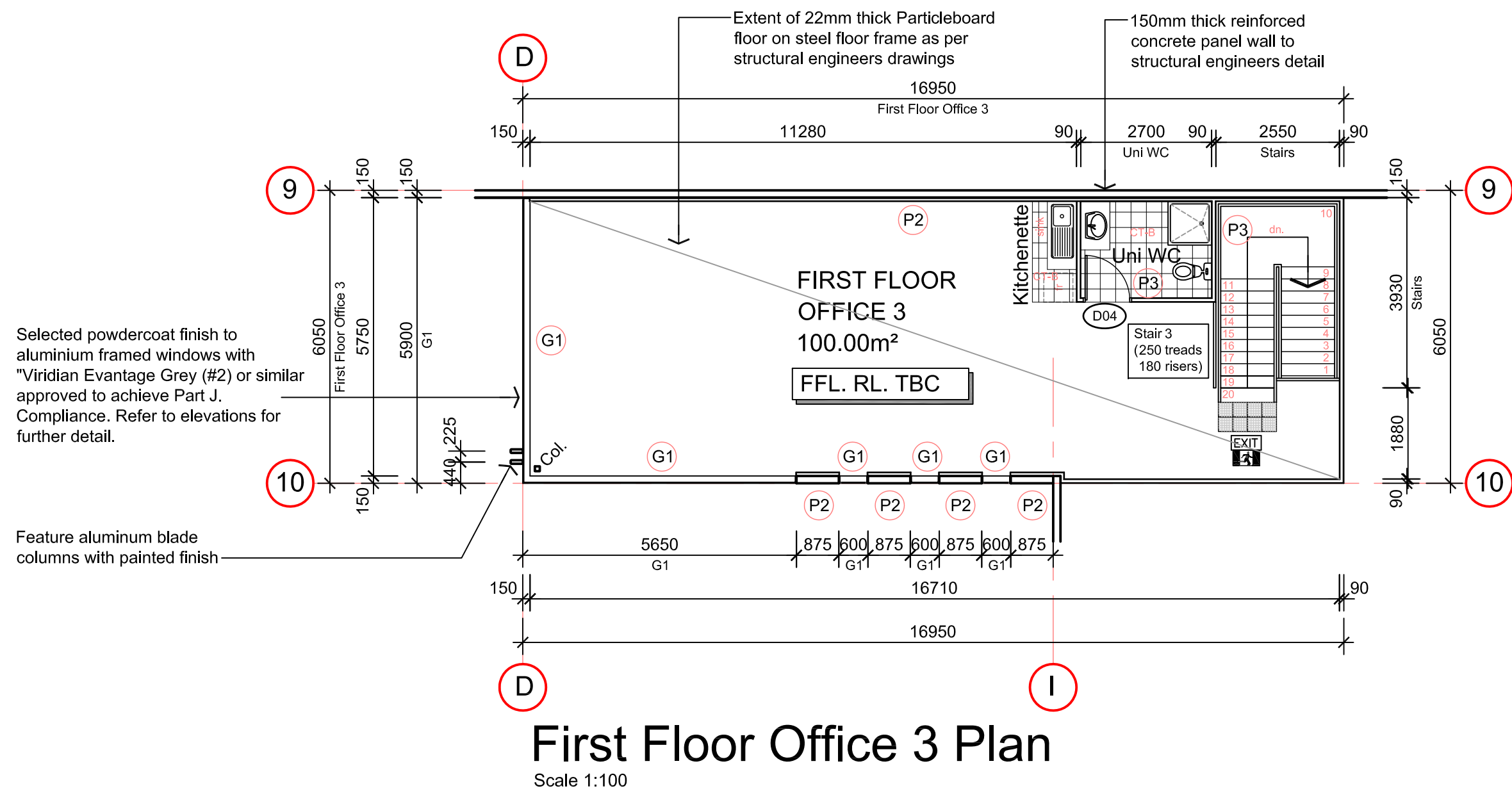






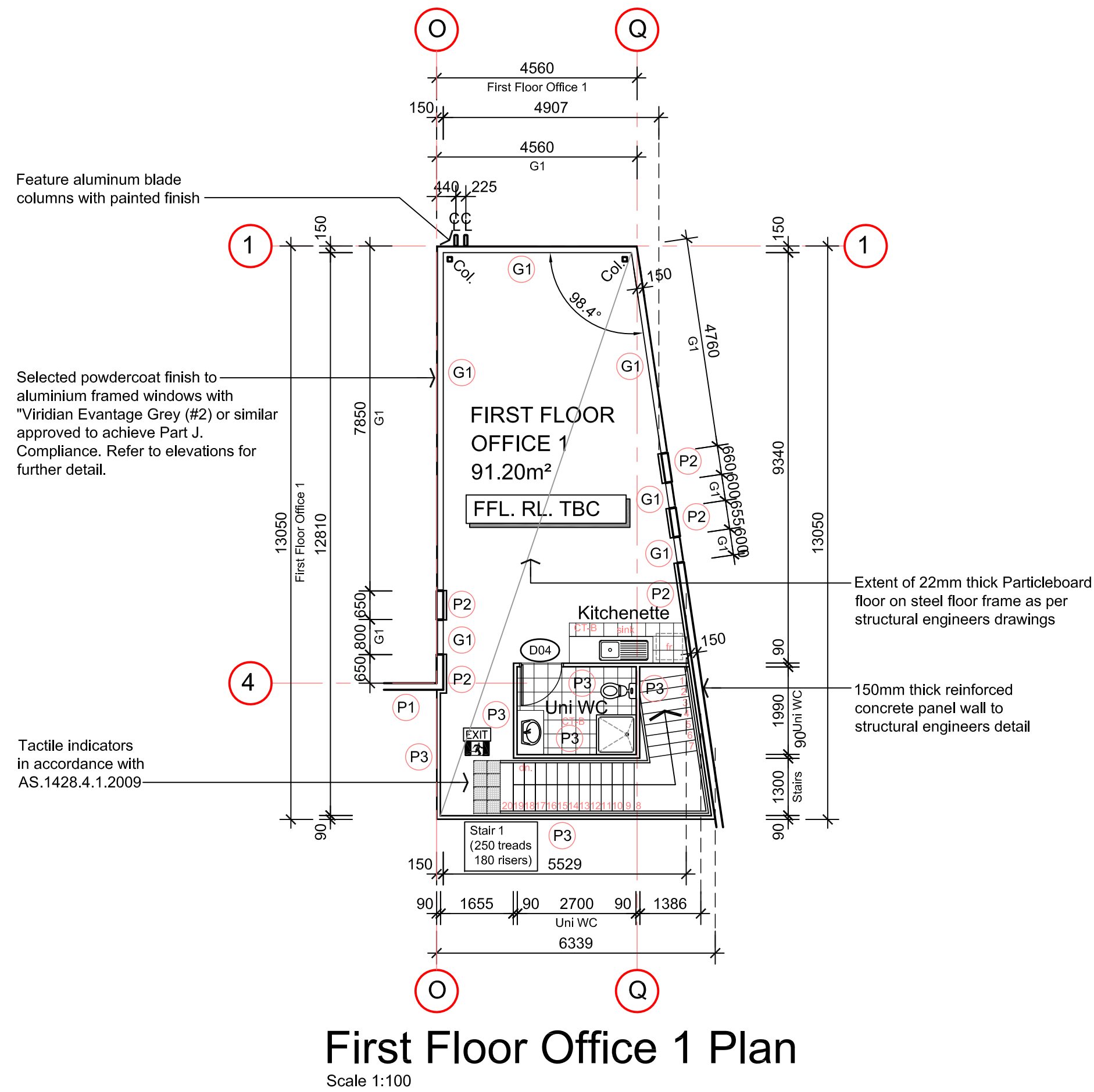
First Floor Office 2 Plan

Scale 1:100



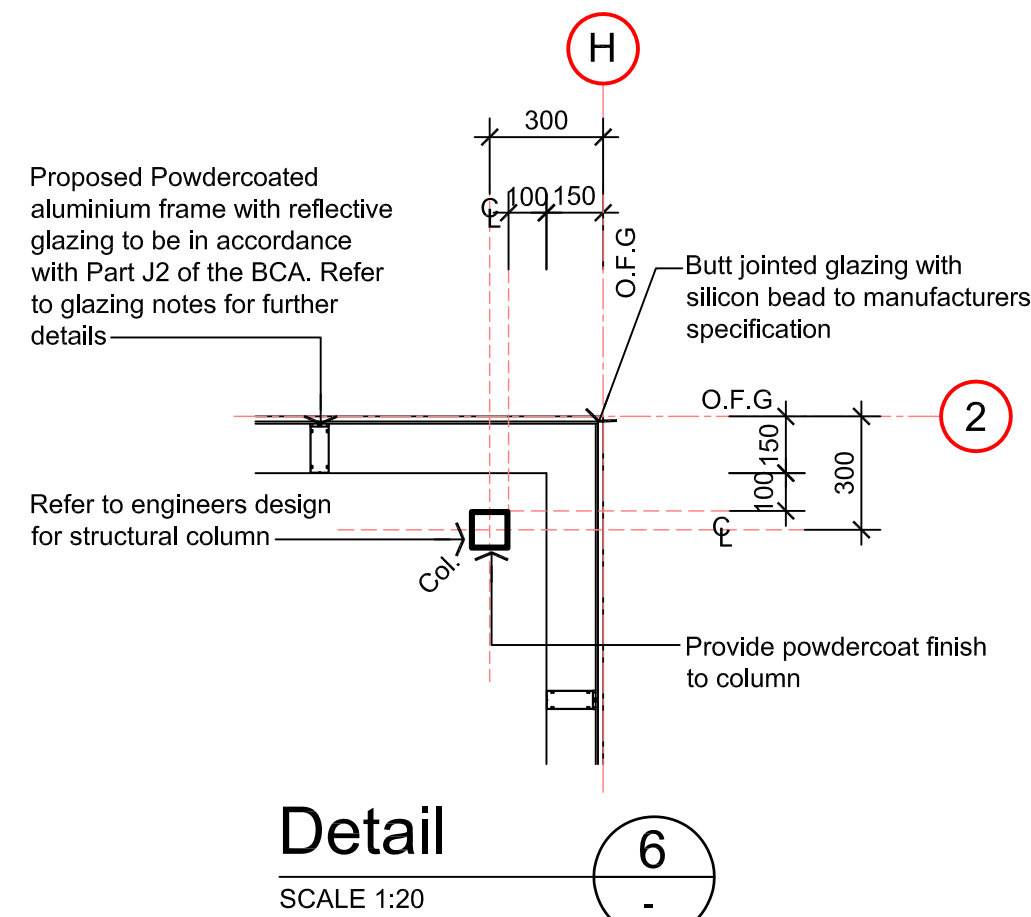
First Floor Office 3 Plan

Scale 1:100



First Floor Office 1 Plan

Scale 1:100



Detail

SCALE 1:20

LEGEND	
COL	= COLUMN
DP	= DOWNPIPE
SV	= SHEET VINYL
VT	= VINYL TILES
CA	= CARPET
CT	= CERAMIC TILES
B	= BOLLARDS
BR	= BIKE RACK
rl	= ROOF LIGHT
OFFP	= OUTSIDE FACE OF PANEL
CL	= CENTRE LINE

### Wall Legend

- P1 150mm Thick Concrete Panel Wall
- P2 150mm Thick Concrete Panel Wall with "Foil Board Ultra 20-" Insulation Panel or similar to all external walls only to achieve R2.8 min. Refer to detail for further information. (floor to ceiling)
- P3 Solid partition internal walls (metal stud & plasterboard) full height with "Bulk Insulation" b/w studs or similar. Provide compressed sheet and alucobond cladding as noted on the elevations.
- P4 Solid partition external walls (metal stud & plasterboard) full height with "Bulk Insulation" b/w studs or similar. Provide compressed sheet and alucobond cladding as noted on the elevations.
- G1 "6mm Viridian Evantage Grey (#2) or similar approved in 150mm Capral 419 Flushline single glazed frames to provide min. U value 3.8 and min. SHGC value 0.41. to external office glazing where nominated on floor plans and elevations.

NOTE:  
ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL & CIVIL DRAWINGS AS PREPARED BY MATRIX ENGINEERING GROUP

### GENERAL CONSTRUCTION:

Light switches to be located between 900mm - 1100mm above FL, horizontally aligned with door handles and not less than 500mm from internal corners.

Carpet to have a max. pile height of 6mm.

Vinyl flooring if proposed to be slip resistive & comply with AS1428.1:2009 Clause 7.

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### PROJECT

**PROPOSED WAREHOUSE & OFFICE DEVELOPMENT AT: LOT 11 HARRISON COURT, MELTON**

CLIENT

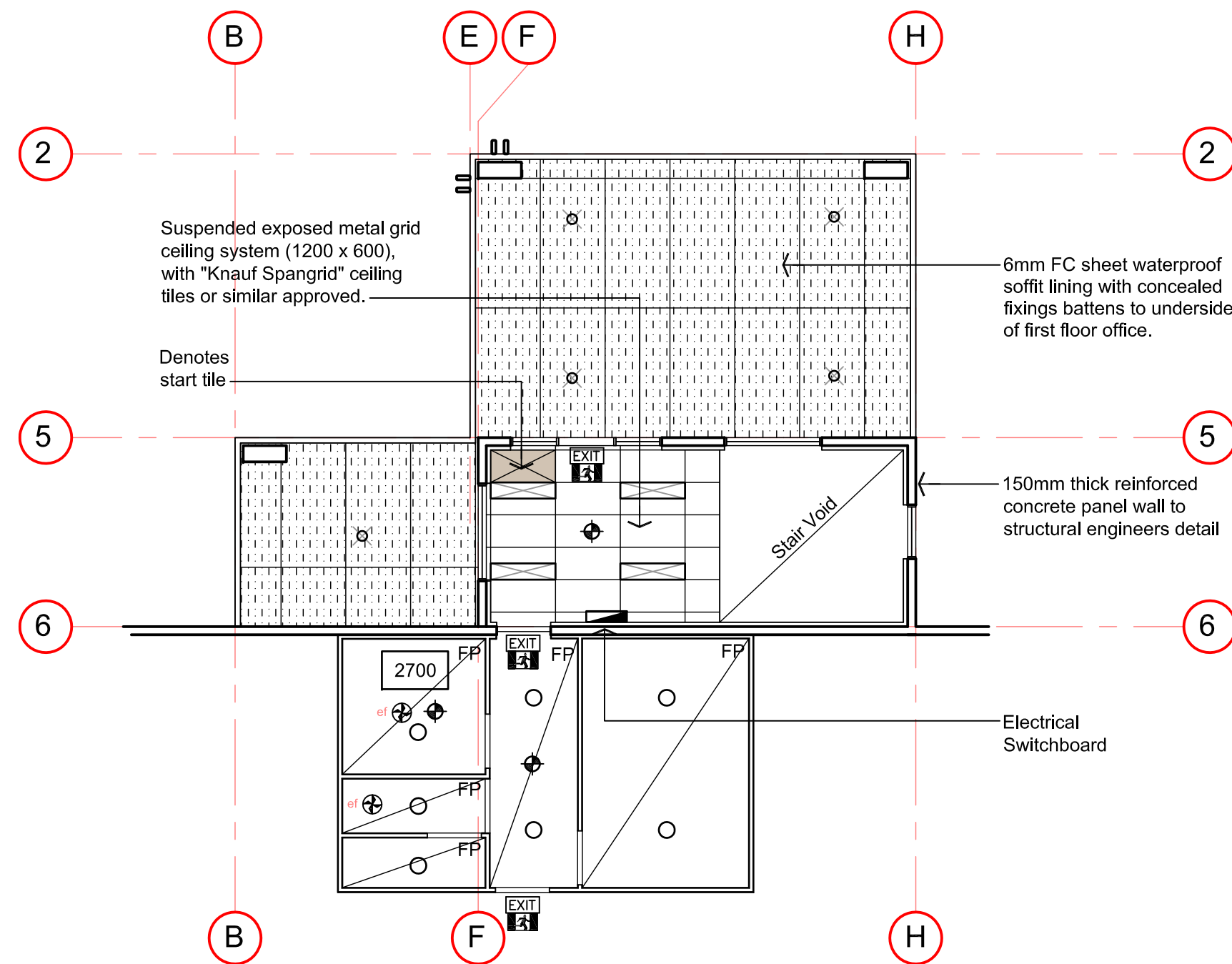
**CARABOTT NOMINEES**

### DRAWING TITLE

**FIRST FLOOR PLAN**

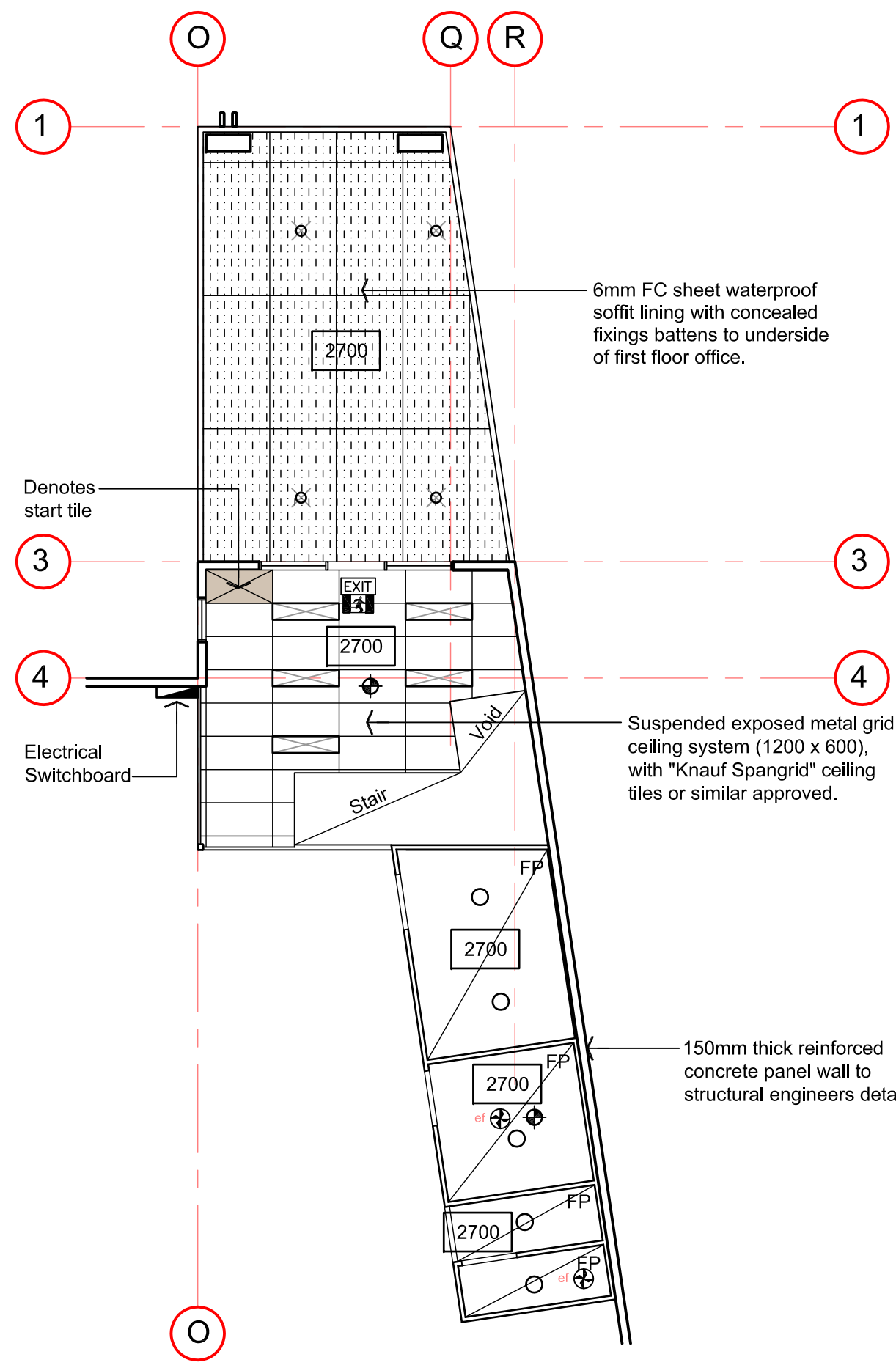
DATE	SCALE	DRG NO.
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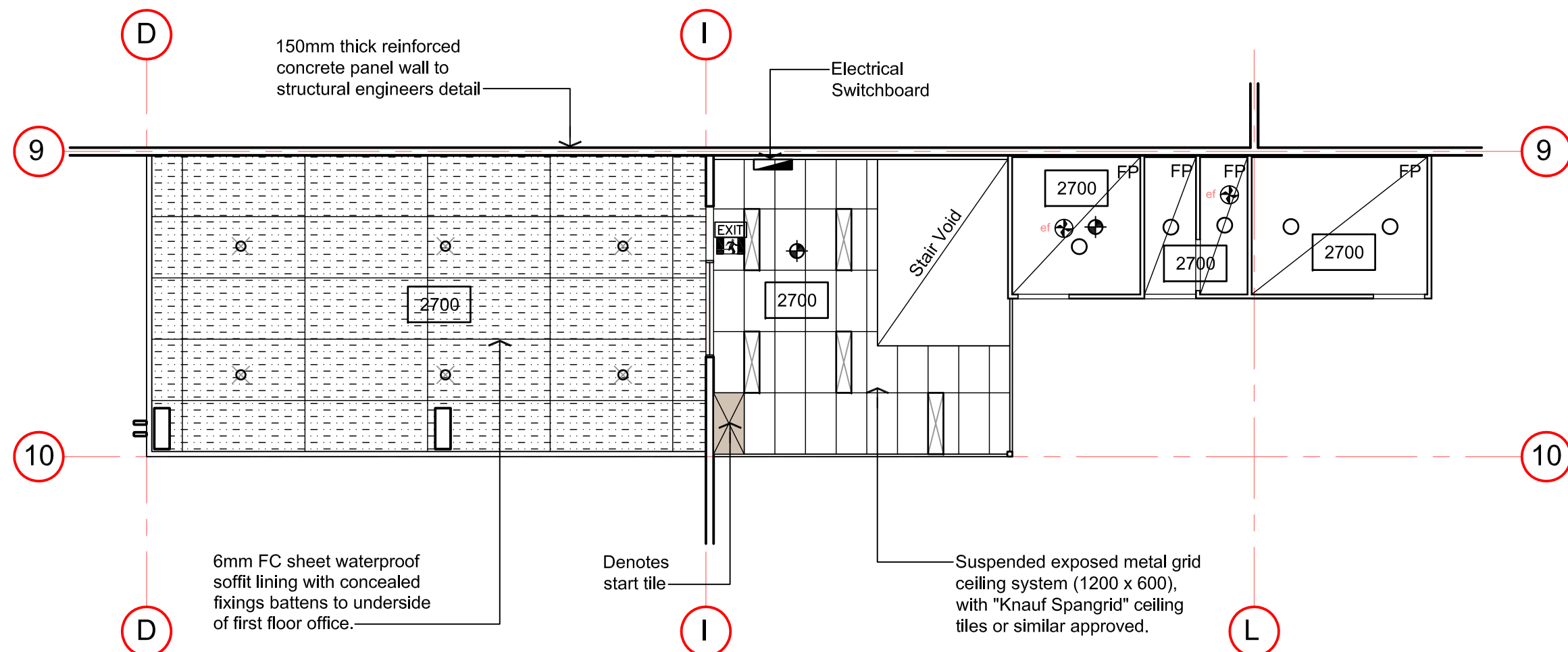
Ground Floor Reflected Ceiling Plan

Scale 1:100  
Office 2



Ground Floor Reflected Ceiling Plan

Scale 1:100  
Office 1



Ground Floor Reflected Ceiling Plan

Scale 1:100  
Office 3

**LIGHTING LEGEND:**

DENOTES HIGH EFFICIENCY RECESSED FLUORESCENT LIGHT FITTING WITH PRISMATIC DIFFUSER.

DENOTES 2 X 36w HIGH EFFICIENCY SURFACE MOUNTED LIGHT FITTING WITH DIFFUSER.

OFFICE GROUND FLOOR  
DENOTES 'CLEVERTRONICS' 1 x 1.9 WATT LIFELIGHT LUMINAIRE NON MAINTAINED EMERGENCY LIGHT, RECESSED MOUNTED 2700mm ABOVE FLOOR LEVEL TO UNDERSIDE OF SUSPENDED CEILING  
CAT NO. ELIFE-X (Co-D40 18M, C90-D40 18M)

OFFICE FIRST FLOOR  
DENOTES 'CLEVERTRONICS' 1 x 1.9 WATT LIFELIGHT LUMINAIRE NON MAINTAINED EMERGENCY LIGHT, RECESSED MOUNTED 2700mm ABOVE FLOOR LEVEL TO UNDERSIDE OF SUSPENDED CEILING  
CAT NO. ELIFE-X (Co-D40 18M, C90-D40 18M)

DENOTES 'CLEVERTRONICS' 1 x 3.3w MAINTAINED EXIT EMERGENCY SIGN MOUNTED ABOVE ALL EXIT DOOR OPENINGS. CAT. No. CCFPRO (Co-D4; C90-E8)

DENOTES HIGH EFFICIENCY LIGHT FITTING (OYSTER FITTING)

DENOTES HIGH EFFICIENCY LOW VOLTAGE RECESSED DOWNLIGHT

DENOTES WALL / CEILING MOUNTED HIGH EFFICIENCY SECURITY LIGHTING

DENOTES LOCATION OF EXHAUST FANS, TO BE DUCTED TO EXTERNAL AIR, VIA PENETRATIONS ON ROOF, IN ACCORDANCE WITH BCA & CONTRACTORS DESIGN & DETAIL

DENOTES START TILE, IN CEILING SETOUT

DENOTES OUTLINE OF ROOF ACCESS HATCH. EXACT LOCATION TO BE CONFIRMED ON SITE

NOTE: INSTALL ALL LIGHTING POWER CONTROL DEVICES INCLUDING TIMERS, TIME SWITCHES, MOTION DETECTORS AND DAYLIGHT CONTROL DEVICES IN ACCORDANCE WITH J6.1-6.6 AND SPECIFICATION J6 OF THE BCA.

**CEILING LEGEND:**

Suspended exposed metal grid ceiling system (1200 x 600), with 'Knauf Spangrid' ceiling tiles or similar approved.

Denotes flush plasterboard ceiling on metal batten ceiling joist system @ 450mm c/c's or similar approved. (2700mm high unless stated otherwise).

Aluminium composite clad fixed to structural steel framework. Colours as per approved materials schedule

2700 Finished ceiling height

NOTE:  
LIGHTING LAYOUT IS INDICATIVE ONLY,  
WITH FINAL DESIGN BY ELECTRICAL  
DESIGN AND CONSTRUCT CONSULTANT

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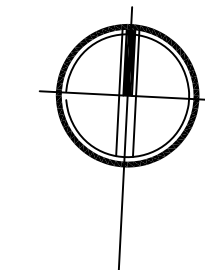
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**CARABOTT NOMINEES**

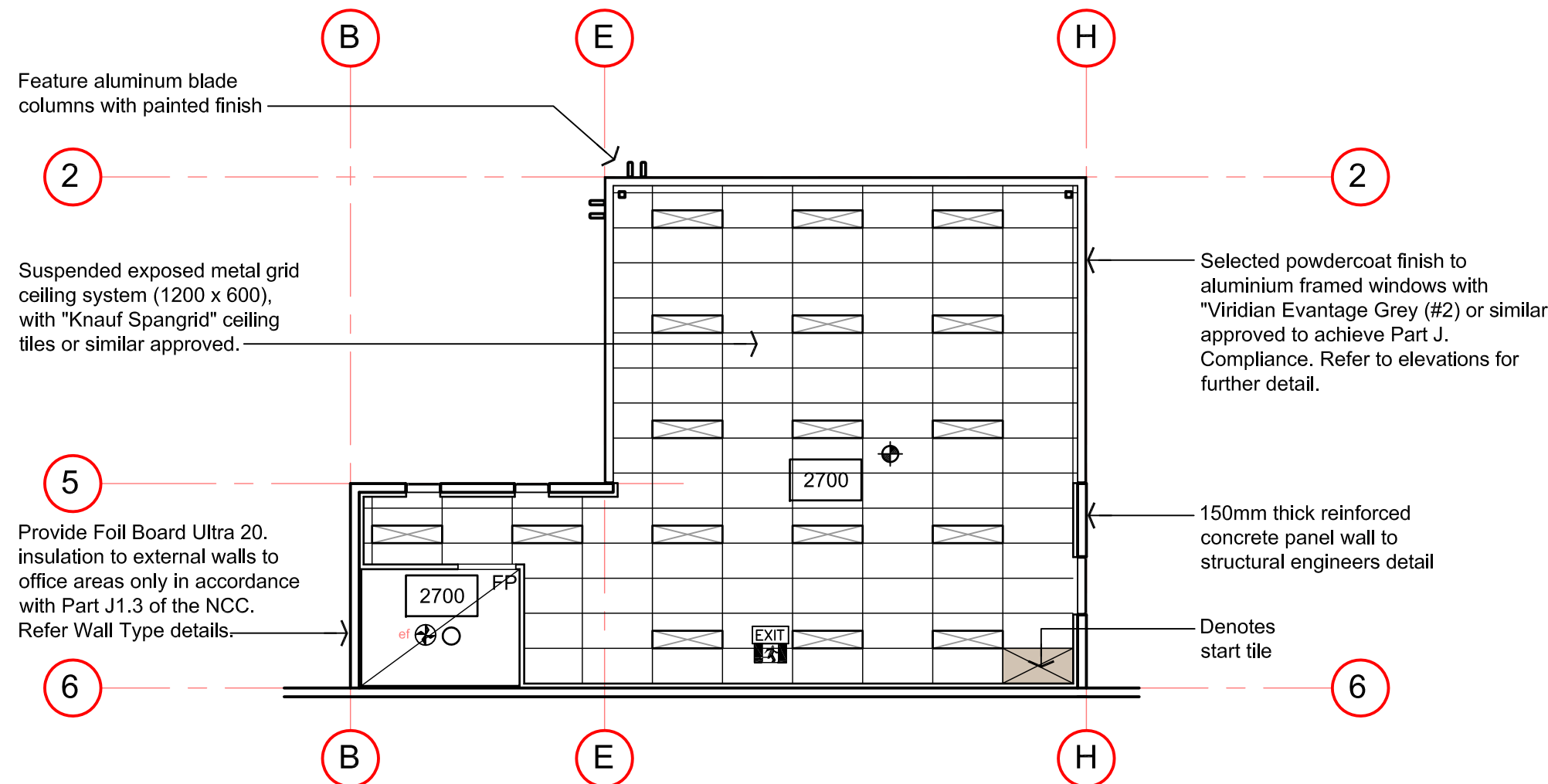
**DRAWING TITLE**

**GF REFLECTED  
CEILING PLAN**

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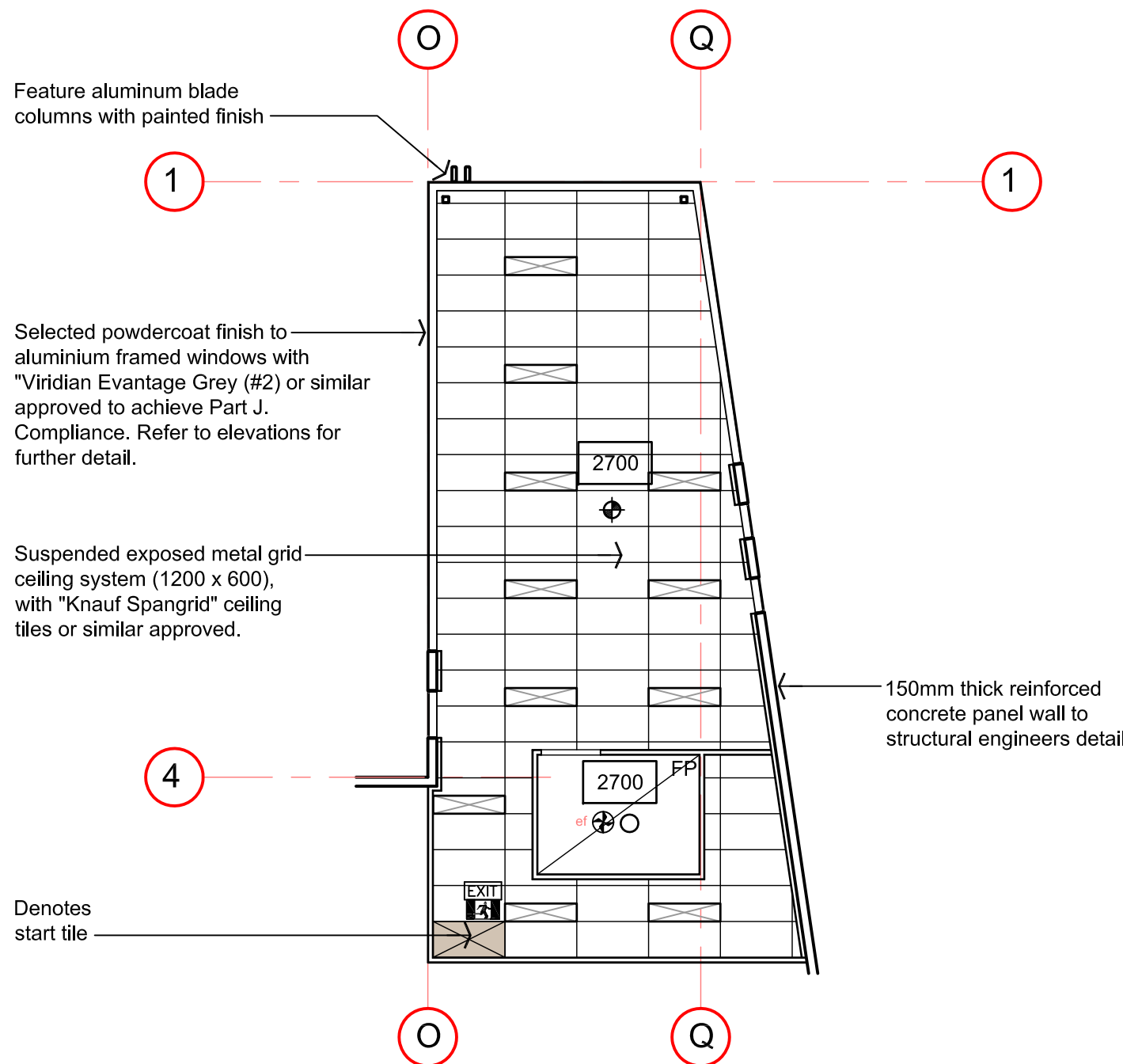






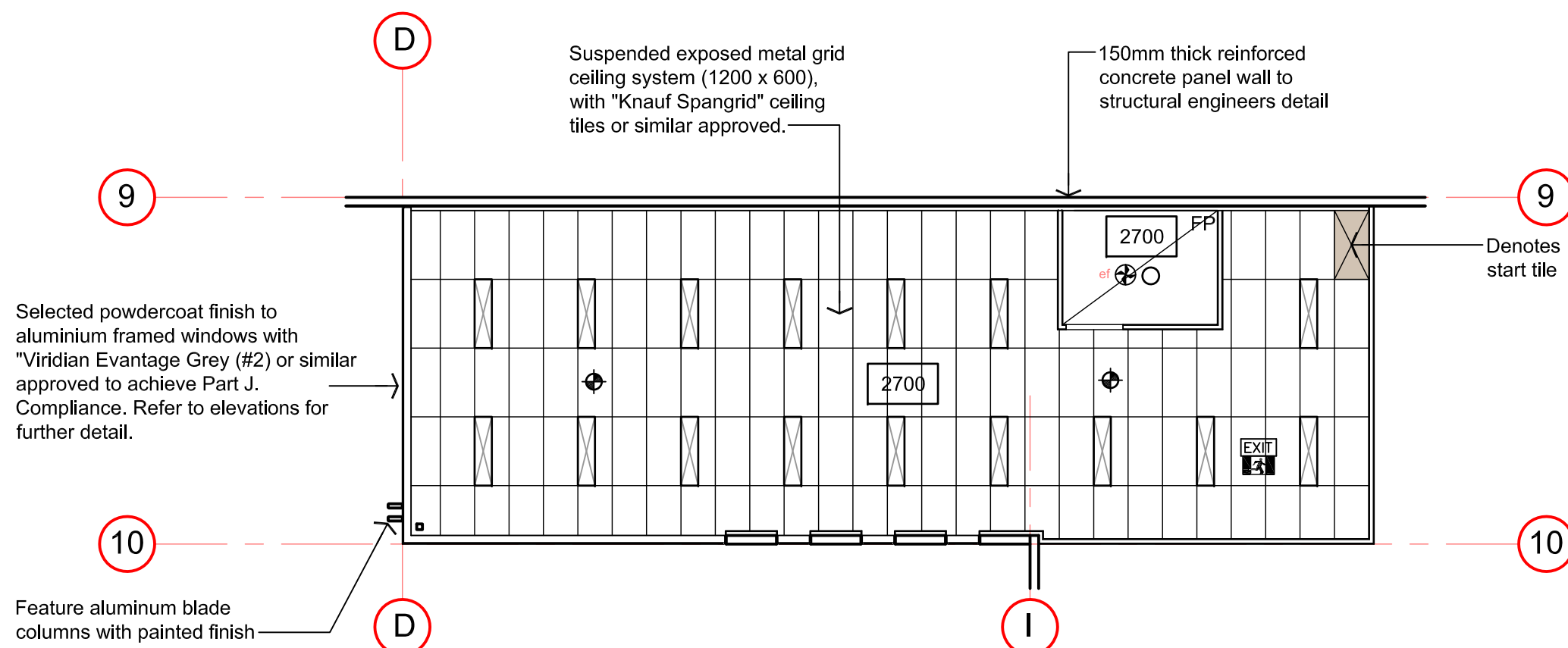
First Floor Reflected Ceiling Plan

Scale 1:100  
Office 2



First Floor Reflected Ceiling Plan

Scale 1:100  
Office 1



First Floor Reflected Ceiling Plan

Scale 1:100  
Office 3

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- DENOTES HIGH EFFICIENCY RECESSED FLUORESCENT LIGHT FITTING WITH PRISMATIC DIFFUSER.
- DENOTES 2 X 36w HIGH EFFICIENCY SURFACE MOUNTED LIGHT FITTING WITH DIFFUSER.
- OFFICE GROUND FLOOR  
DENOTES 'CLEVERTRONICS' 1 x 1.9 WATT LIFELIGHT LUMINAIRE NON MAINTAINED EMERGENCY LIGHT, RECESSED MOUNTED 2700mm ABOVE FLOOR LEVEL TO UNDERSIDE OF SUSPENDED CEILING  
CAT NO. ELIFE-X (Co-D40 18M, C90-D40 18M)
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DENOTES 'CLEVERTRONICS' 1 x 1.9 WATT LIFELIGHT LUMINAIRE NON MAINTAINED EMERGENCY LIGHT, RECESSED MOUNTED 2700mm ABOVE FLOOR LEVEL TO UNDERSIDE OF SUSPENDED CEILING  
CAT NO. ELIFE-X (Co-D40 18M, C90-D40 18M)
- EXIT  
DENOTES 'CLEVERTRONICS' 1 x 3.3w MAINTAINED EXIT EMERGENCY SIGN MOUNTED ABOVE ALL EXIT DOOR OPENINGS. CAT. No. CCFPRO (Co-D4; C90-E8)
- DENOTES HIGH EFFICIENCY LIGHT FITTING (OYSTER FITTING)
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- DENOTES LOCATION OF EXHAUST FANS, TO BE DUCTED TO EXTERNAL AIR, VIA PENETRATIONS ON ROOF, IN ACCORDANCE WITH BCA & CONTRACTORS DESIGN & DETAIL
- DENOTES START TILE, IN CEILING SETOUT
- RAH  
DENOTES OUTLINE OF ROOF ACCESS HATCH. EXACT LOCATION TO BE CONFIRMED ON SITE

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- Denotes flush plasterboard ceiling on metal batten ceiling joist system @ @ 450mm c/c's or similar approved. (2700mm high unless stated otherwise.
- Aluminium composite clad fixed to structural steel framework. Colours as per approved materials schedule
- 2700  
Finished ceiling height

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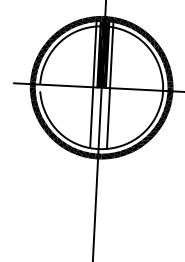
CLIENT

**CARABOTT NOMINEES**

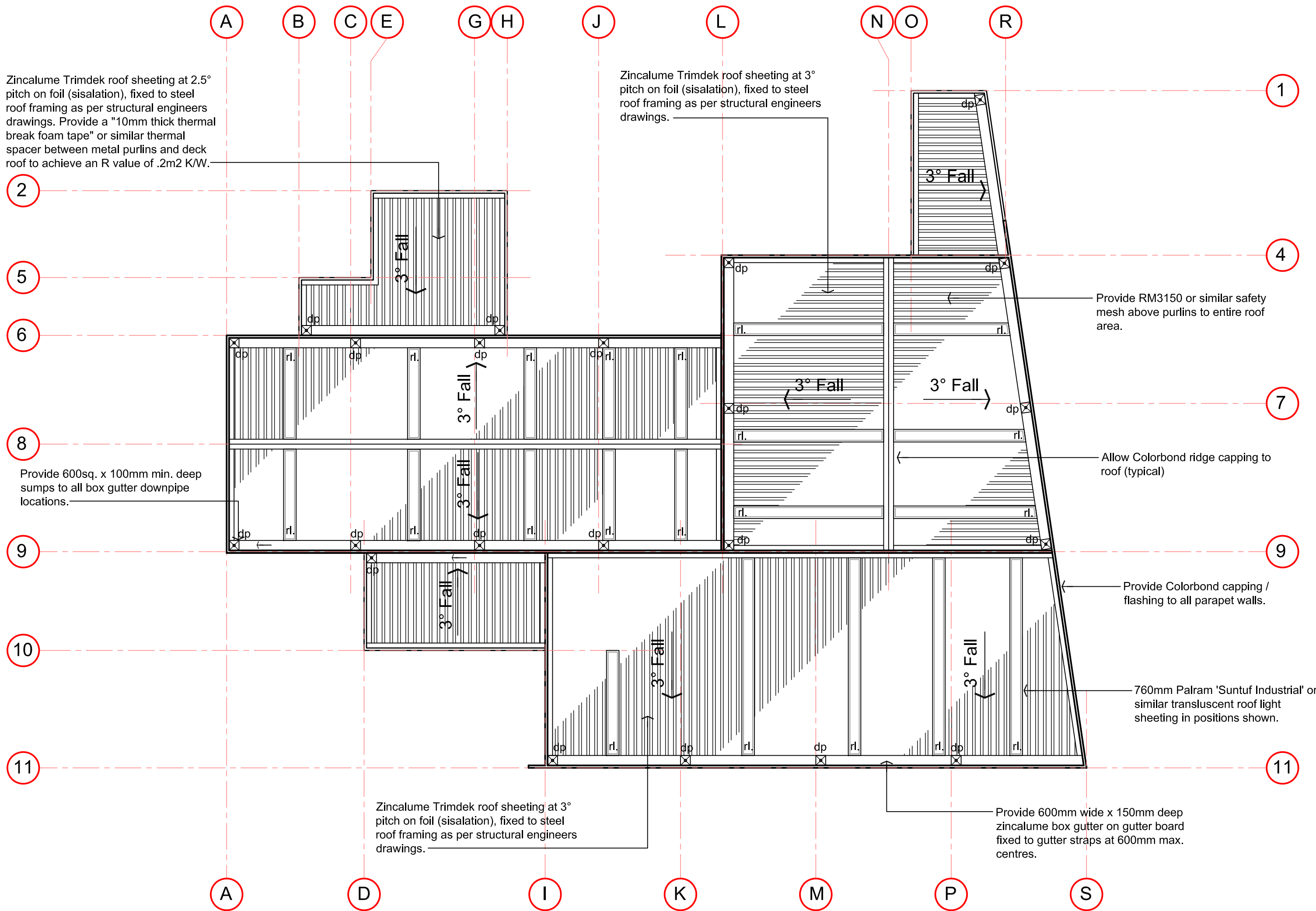
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Roof Plan Scale 1:200

### NATURAL LIGHT ANALYSIS

**WAREHOUSE 1 FLOOR AREA:** 348.88m<sup>2</sup>  
REQ'D 10% NATURAL LIGHTING: 34.88m<sup>2</sup>  
NATURAL LIGHT VIA CLEAR ROOF LIGHTS (85% TRANSPARENT OR SIMILAR.

0.76m W X 9.06m L =6.88m<sup>2</sup> X = 3 **20.65m<sup>2</sup>**  
0.76m W X 8.68m L =6.59m<sup>2</sup> X = 1 **6.59m<sup>2</sup>**  
0.76m W X 8.00m L =6.08m<sup>2</sup> X = 1 **6.08m<sup>2</sup>**  
0.76m W X 7.05m L =5.35m<sup>2</sup> X = 1 **5.35m<sup>2</sup>**  
TOTAL NATURAL LIGHTING **38.67m<sup>2</sup>**

**WAREHOUSE 2 FLOOR AREA:** 393.67m<sup>2</sup>  
REQ'D 10% NATURAL LIGHTING: 39.36m<sup>2</sup>  
NATURAL LIGHT VIA CLEAR ROOF LIGHTS (85% TRANSPARENT OR SIMILAR.

0.76m W X 5.52m L =4.19m<sup>2</sup> X = 10 **41.90m<sup>2</sup>**

**WAREHOUSE 3 FLOOR AREA:** 415.60m<sup>2</sup>  
REQ'D 10% NATURAL LIGHTING: 41.56m<sup>2</sup>  
NATURAL LIGHT VIA CLEAR ROOF LIGHTS (85% TRANSPARENT OR SIMILAR.

0.76m W X 11.95m L =9.08m<sup>2</sup> X = 4 **36.32m<sup>2</sup>**  
0.76m W X 6.90m L =5.24m<sup>2</sup> X = 1 **5.24m<sup>2</sup>**  
TOTAL NATURAL LIGHTING **41.56m<sup>2</sup>**

NOTE:  
PROVIDE WHIRLY BIRD ROOF VENTILATION TO WAREHOUSE TO PROVIDE 150L/SEC MIN

NOTE:  
ALL CEILING/ROOF INSULATION TO ACHIEVE A TOTAL MIN. R VALUE OF 3.2. (TO OFFICE AREA ONLY)

NOTE:  
DENOTES LOCATION OF ROOF ACCESS HATCH. BUILDER TO PROVIDE NECESSARY FLASHING TO ENSURE WATERTIGHT FINISH

NOTE:  
NATURAL VENTILATION VIA FRESH AIR FAN DUCTED DIRECTLY TO OUTSIDE AIR WITH WALL MOUNTED SWITCH 200 LITRES PER SECOND MINIMUM CAPACITY

NOTE:  
ALL AMENITY EXHAUST FANS, TO BE DUCTED TO EXTERNAL AIR, VIA PENETRATIONS ON ROOF, IN ACCORDANCE WITH BCA & CONTRACTORS DESIGN & DETAIL

NOTE:  
ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL & CIVIL DRAWINGS AS PREPARED BY MATRIX ENGINEERING GROUP

### ROOFING NOTES:

METAL ROOF SHEETING TO COMPLY WITH AS 1562.1

PROVIDE ZINCALUME TRIMDECK ROOF SHEETING AT 3.0° PITCH TO OFFICE/WAREHOUSE AS PER SPEC.

ROOF SHEETING TO BE FIXED AND INSTALLED AS PER MANUFACTURERS REQUIREMENTS.

PROVIDE 3mm ZINC COATED SAFETY MESH 150mm X 300mm (150 BEING THE SPACING OF LONGITUDINAL WIRES PARALLEL TO THE CORRIGATIONS) UNDER ALL ROOF SHEETING.

DO NOT USE ANY LEAD NAILS OR ANY LEAD A FLASHING, WASHERS, ETC.

USE RECOMMENDED SEALANTS BY ROOFING MANUFACTURER.

ALL DOWNPIPES TO BE 150mm Ø MINIMUM, UNLESS OTHERWISE NOTED. REFER TO CIVIL ENGINEERS DRAWINGS FOR DETAILS.

ALL PENETRATIONS IN ROOF SHEETING TO BE FLASHED WITH ZINCALUME FLASHING AS SUPPLIED BY ROOFING MANUFACTURER.

PROVIDE WIRE MESH TO TOP OF ALL SUMPS.

PROVIDE 300mm SOAKER GUTTERS AS REQUIRED TO ALL ROOF MOUNTED EQUIPMENT.

PROVIDE OFFICE/WAREHOUSE BOX GUTTERS WITH 600 X 600 X 150MM DEEP SUMPS. PROVIDE 600 X 100MM OVERFLOW IN SUMP LOCATED CENTRAL. 30MM ABOVE BASE OF BOX GUTTER.

ALL GUTTERS TO BE PROVIDED WITH A MINIMUM GRADE OF 1:200.

### INSULATION, SISALATION AND SAFETY MESH

SUPPLY AND INSTALL AS SPECIFIED INSULATION, SISALATION AND SAFETY MESH OVER MILD STEEL PURLINS PRIOR TO LAYING AND FIXING ROOF SHEETS.

SAFETY MESH TO BE FIXED TO RIDGE PURLIN AND PULLED TIGHT IN CONTINUOUS LENGTH FOR FULL SPAN OF ROOF. LAY SISALATION AND/OR INSULATION OVER SAFETY MESH IMMEDIATELY PRIOR TO LAYING ROOF SHEETS.

ENSURE SISALATION/INSULATION IS ADEQUATELY LAPPED WITH ADJACENT SHEETS TO PROVIDE A CONTINUOUS INSULATION BARRIER TO THE FULL EXTENT OF ROOF. ENSURE INSULATION IS CONTINUED UNDER BOX GUTTERS AND FIXED IN POSITION. CHECK ALL INTERNAL EXPOSED SURFACES OF INSULATION FOR CONTINUITY AND MAKE GOOD AS REQUIRED.

### PLANT PLATFORMS

CONTRACTOR IS TO PROVIDE GALVANISED MILD STEEL ROOF MOUNTED PLANT PLATFORMS TO ROOF MOUNTED UNITS. AS PER MANUFACTURES SPEC.

### ROOF PENETRATIONS

CUT ROOF PENETRATIONS & INSTALL UNDERFLASHINGS WHERE DIRECTED OR AS SHOWN ON ARCHITECTURAL & MECHANICAL DRAWINGS. ENSURE UNDERFLASHING HAS SUFFICIENT UPTURN TO ALLOW OVERFLASHINGS TO BE SECURELY FIXED IN FINAL POSITION.

USE A SUFFICIENCY OF SILICON SEALANT TO ENSURE UNDERFLASHING PROVIDES A WATERPROOF SEAL.

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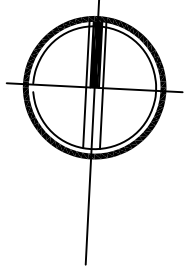
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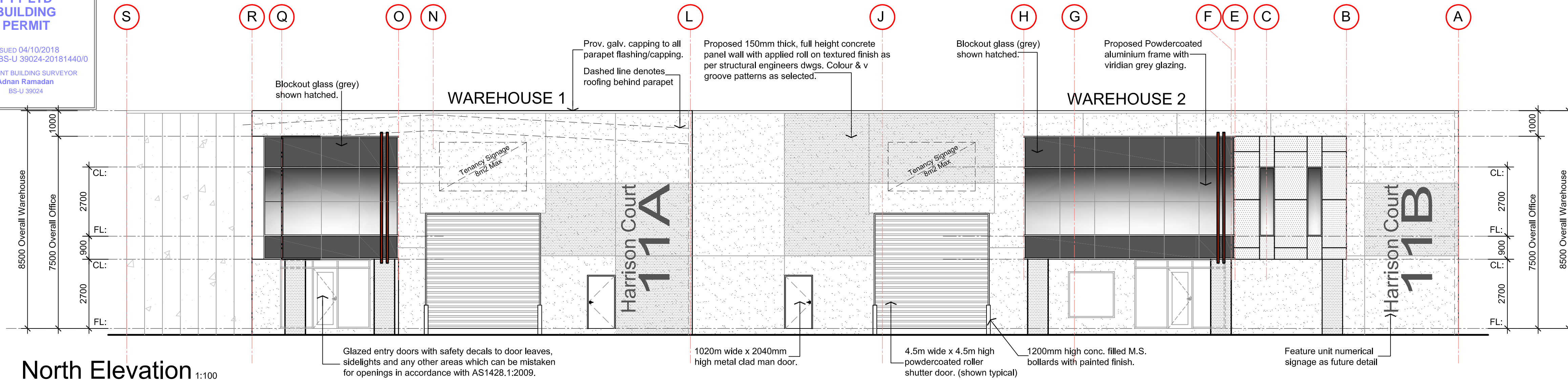
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**ROOF PLAN**

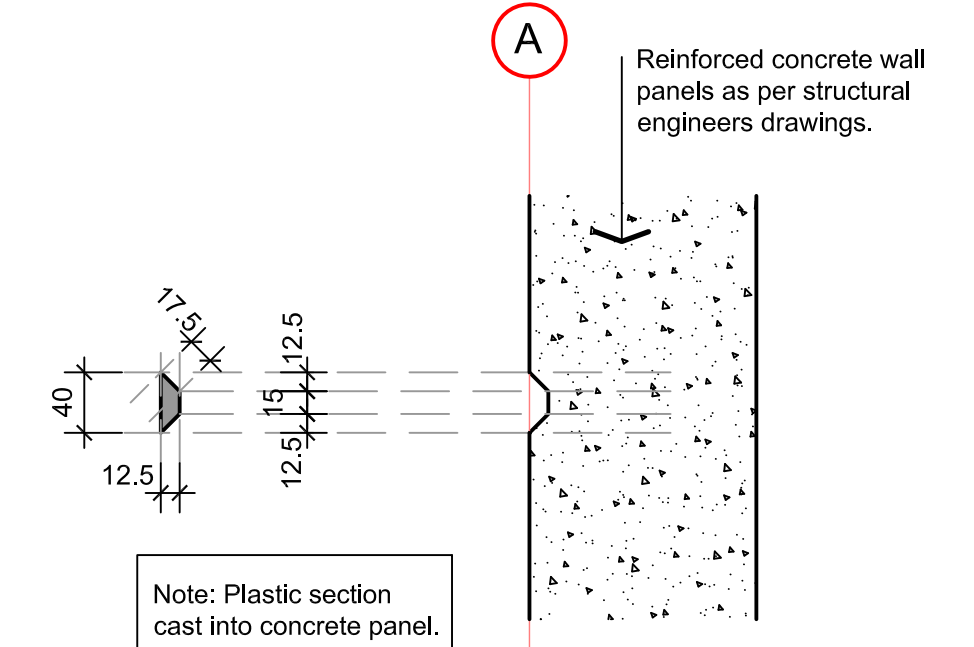
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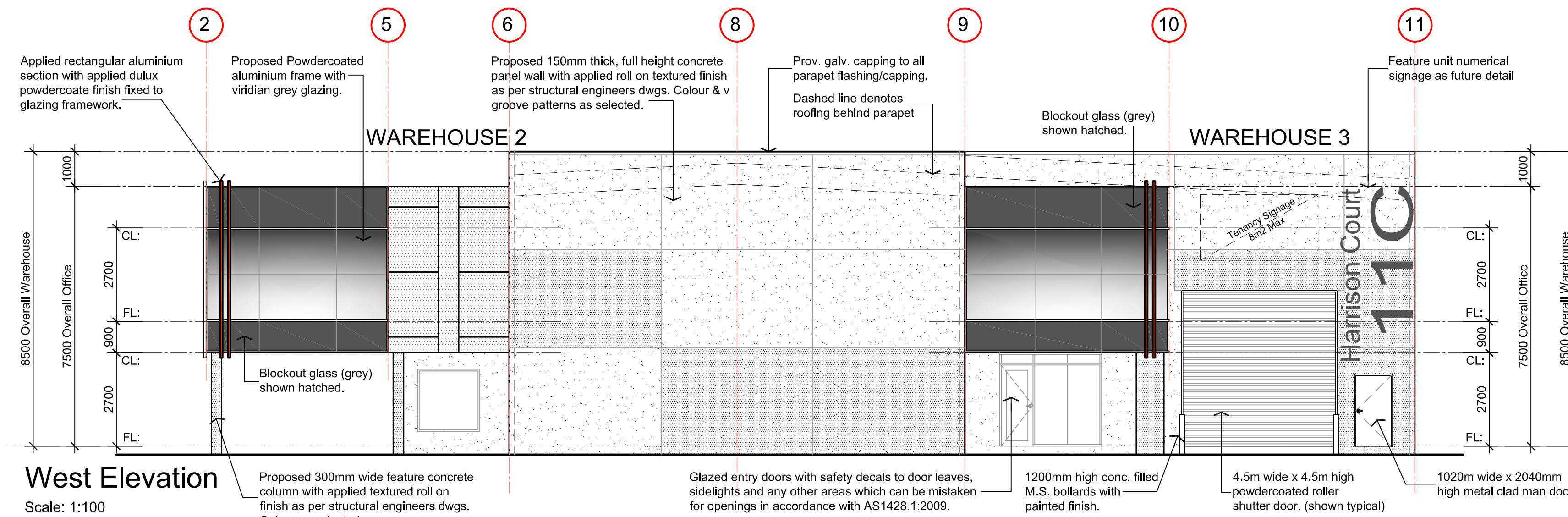




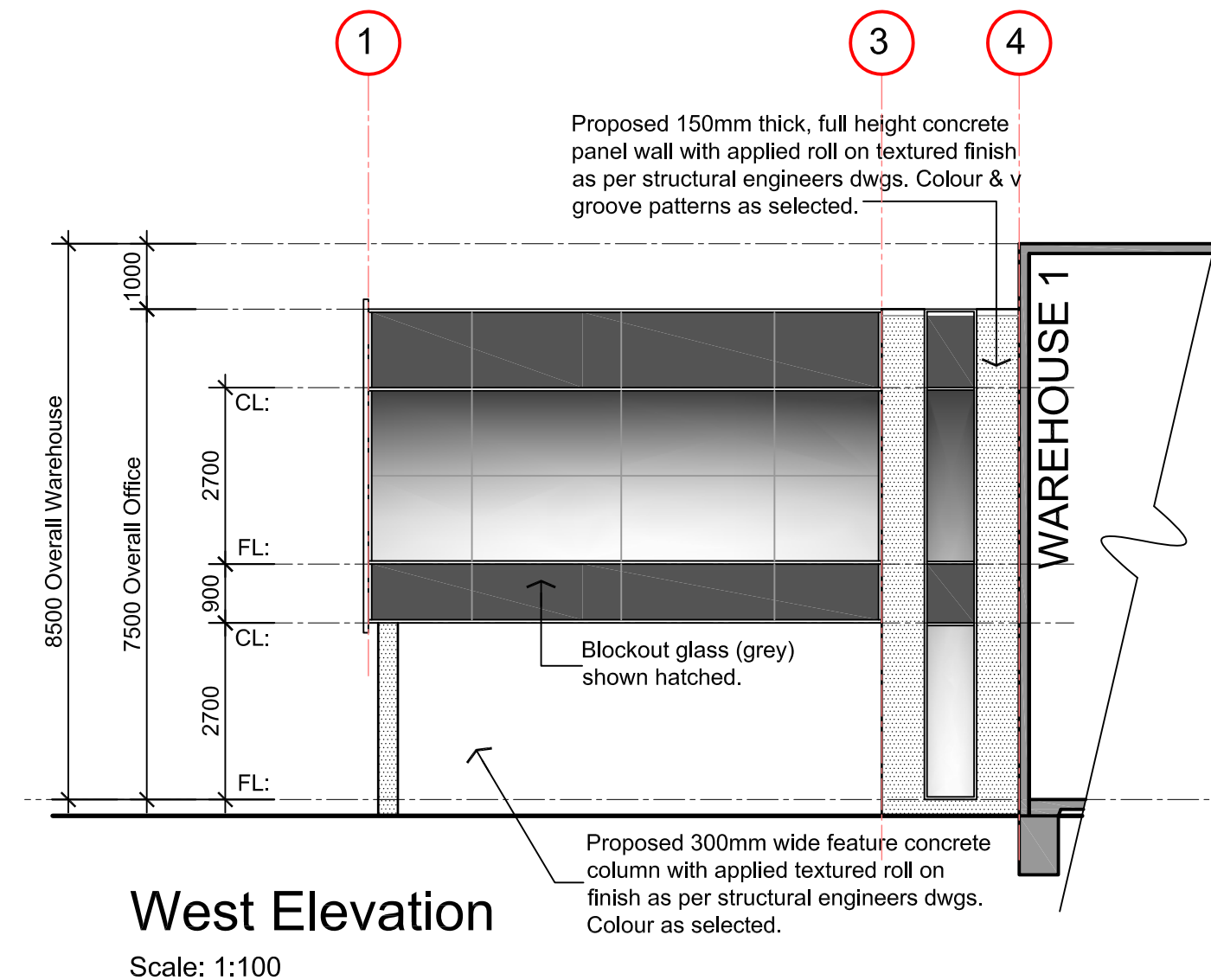
North Elevation 1:100



V-Groove Detail (Typ)  
SCALE 1:5



West Elevation  
Scale: 1:100

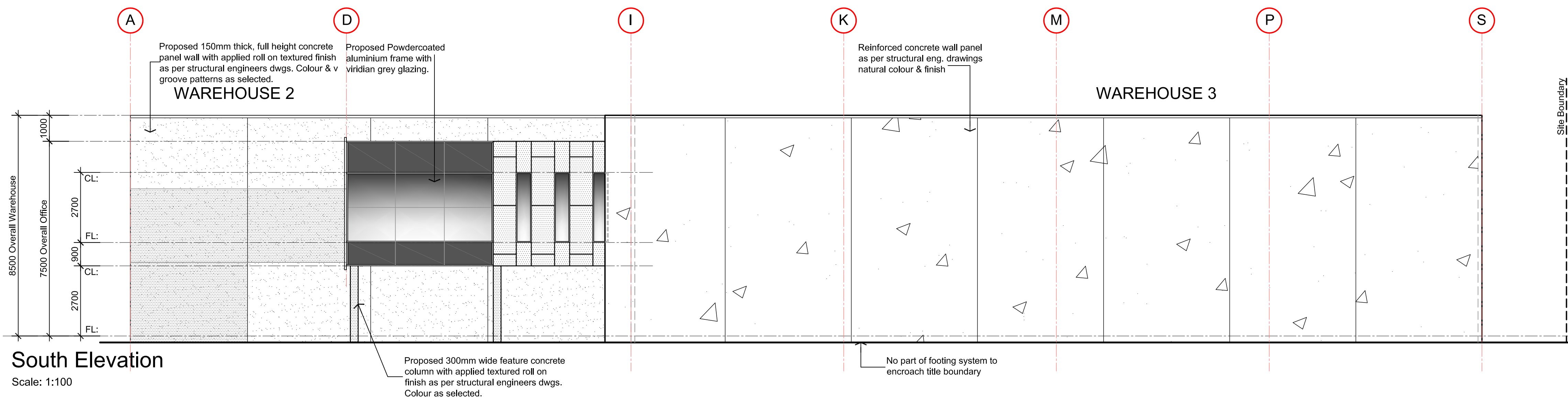


West Elevation  
Scale: 1:100

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South Elevation  
Scale: 1:100

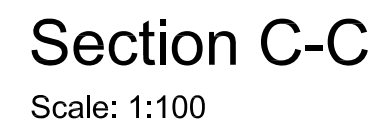
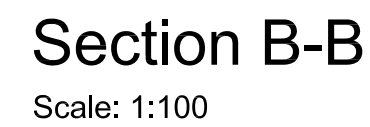
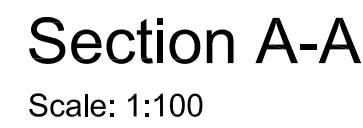
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PROJECT  
**PROPOSED WAREHOUSE & OFFICE DEVELOPMENT AT: LOT 11 HARRISON COURT, MELTON**  
CLIENT  
**CARABOTT NOMINEES**

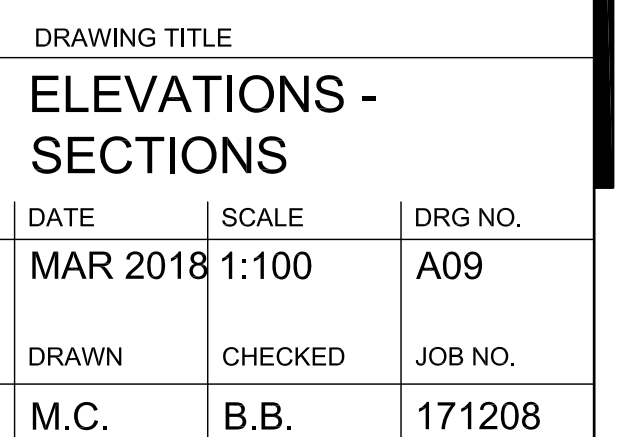
DRAWING TITLE  
**ELEVATIONS**

DATE	SCALE	DRG NO.
MAR 2018	1:100	A08
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	171208






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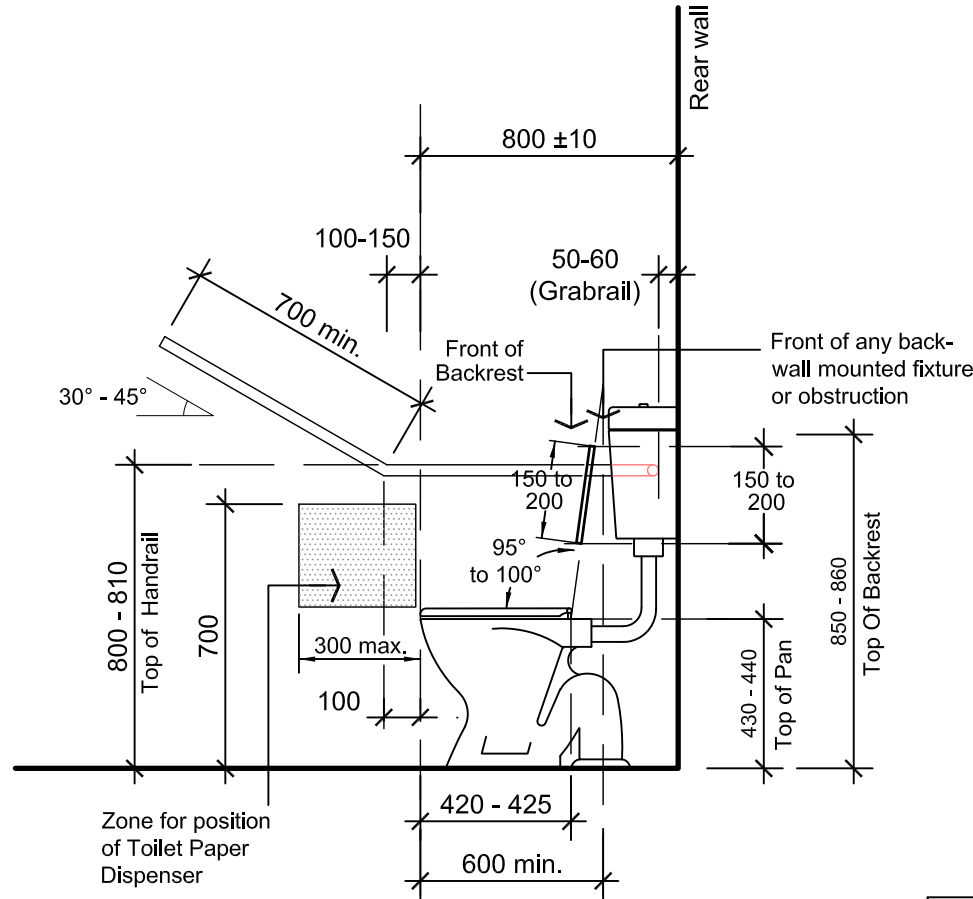
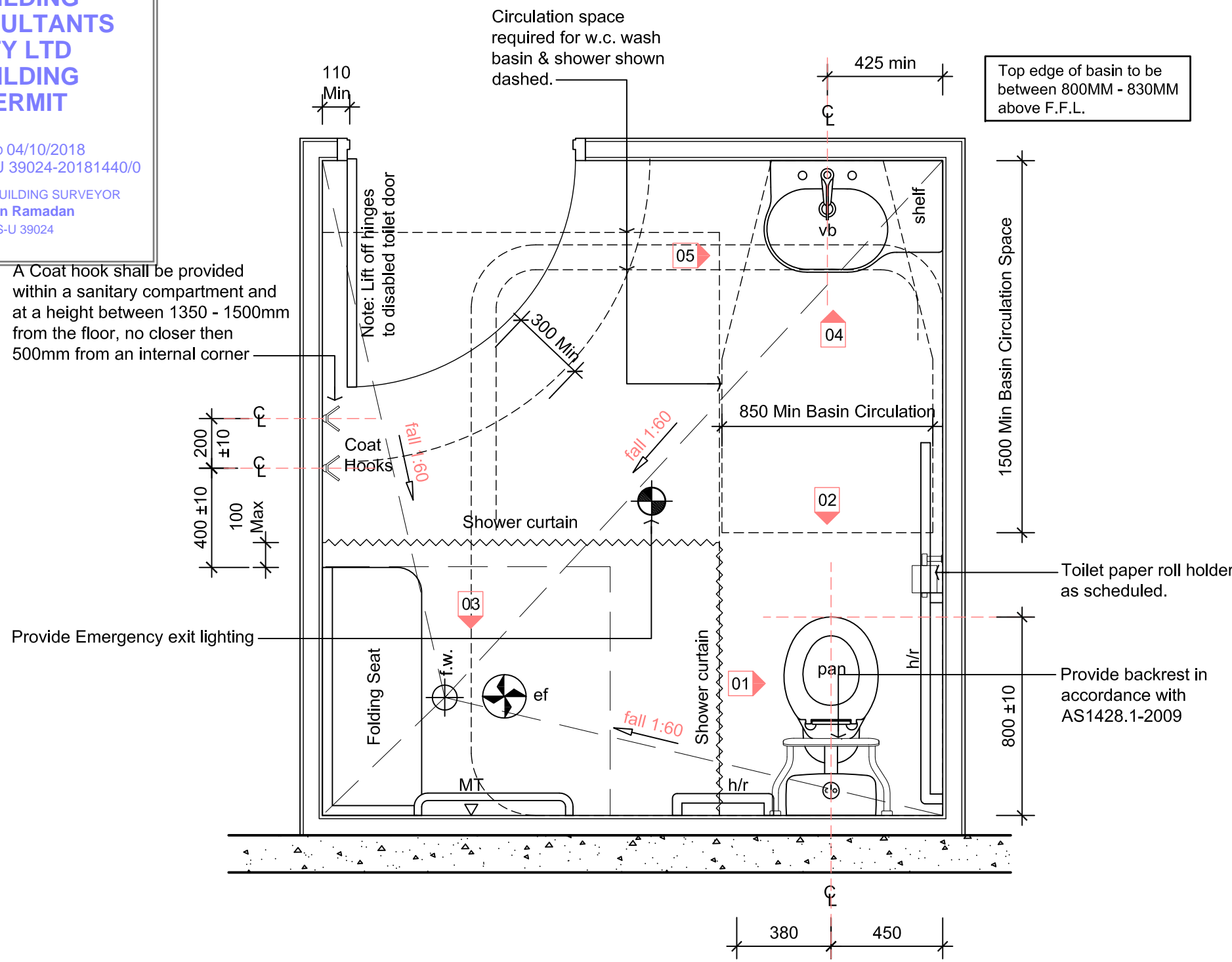


DATE	SCALE	DRG NO.
MAR 18 1968	1:20	A10
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	171208



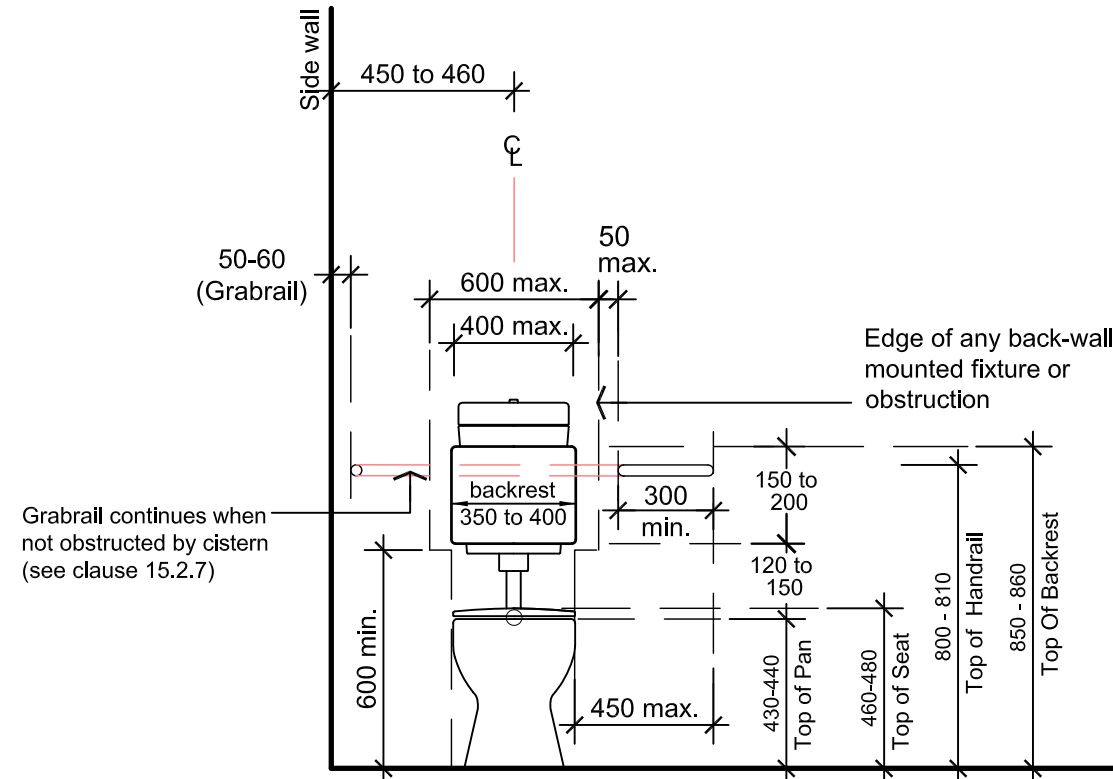
A Coat hook shall be provided within a sanitary compartment and at a height between 1350 - 1500mm from the floor, no closer than 500mm from an internal corner

Provide Emergency exit lighting

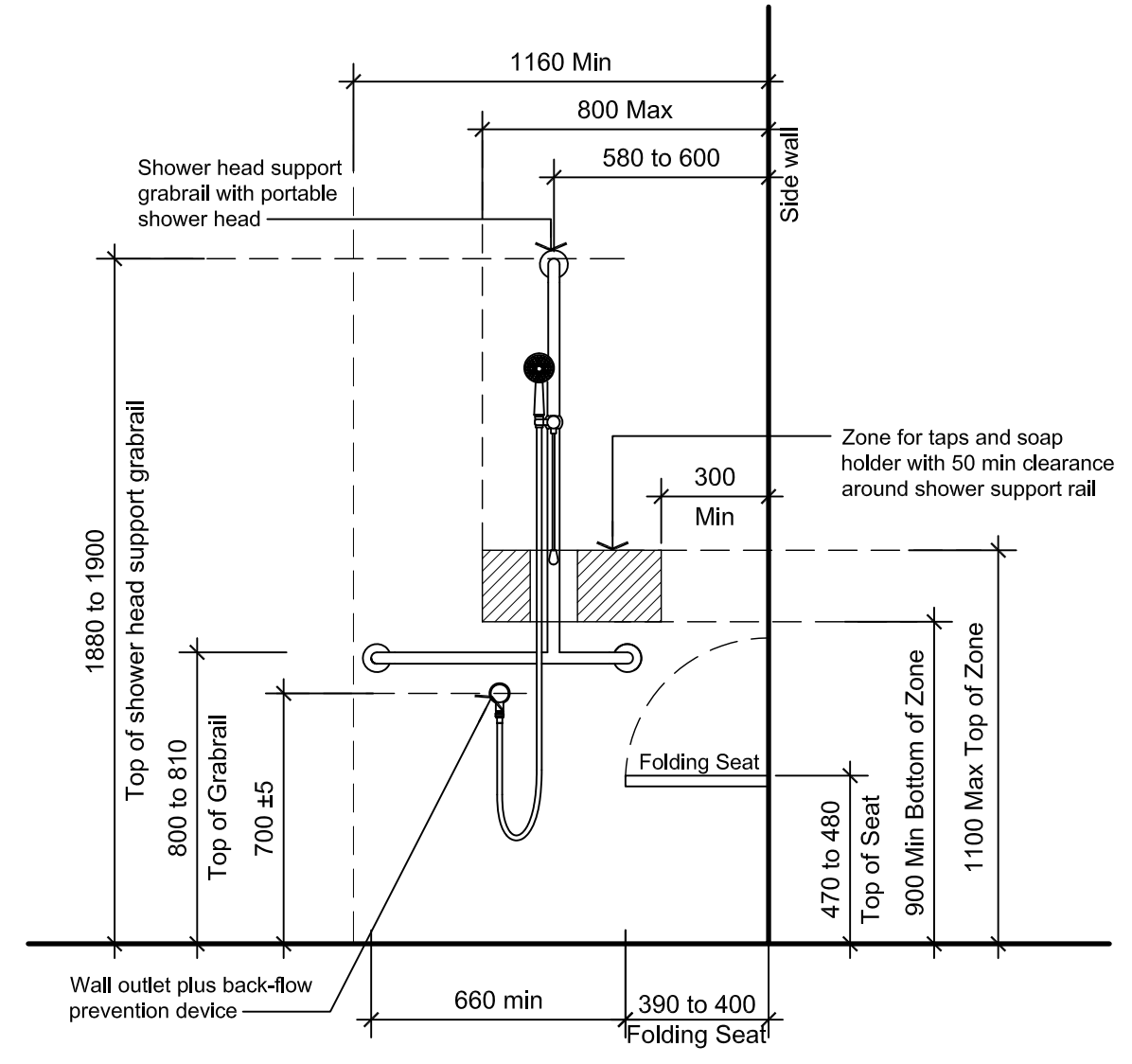


Elevation 01  
Disabled Toilet - Side  
SCALE 1:20

Note:  
Disabled persons amenities & circulation spaces must comply fully with AS 1428.1:2009.



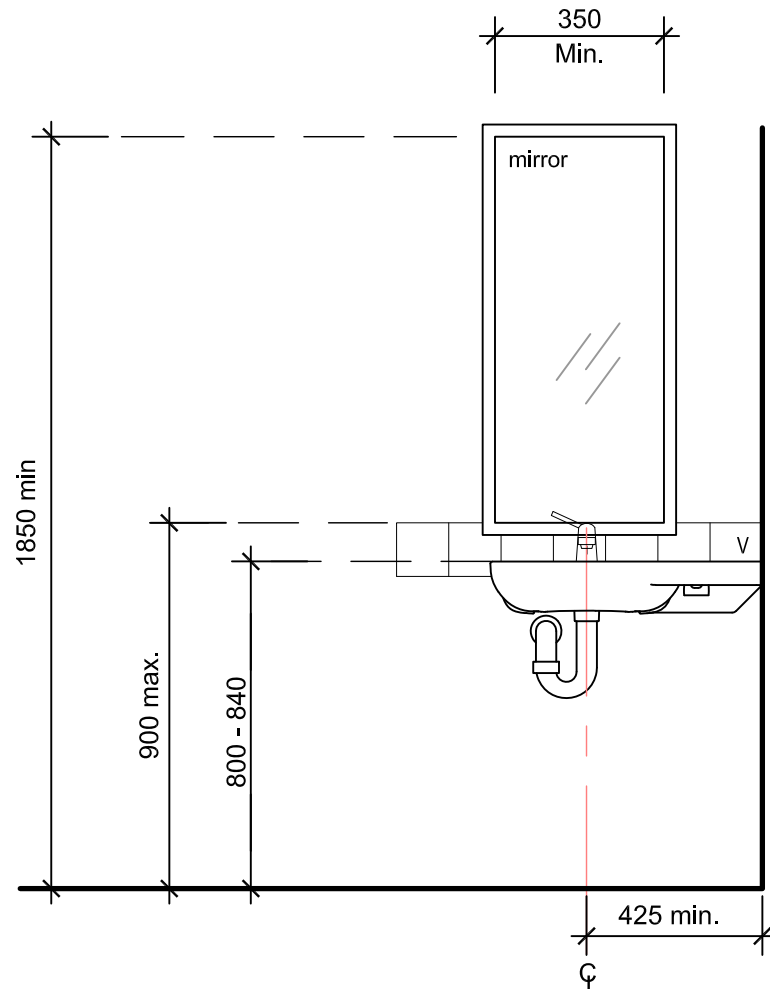
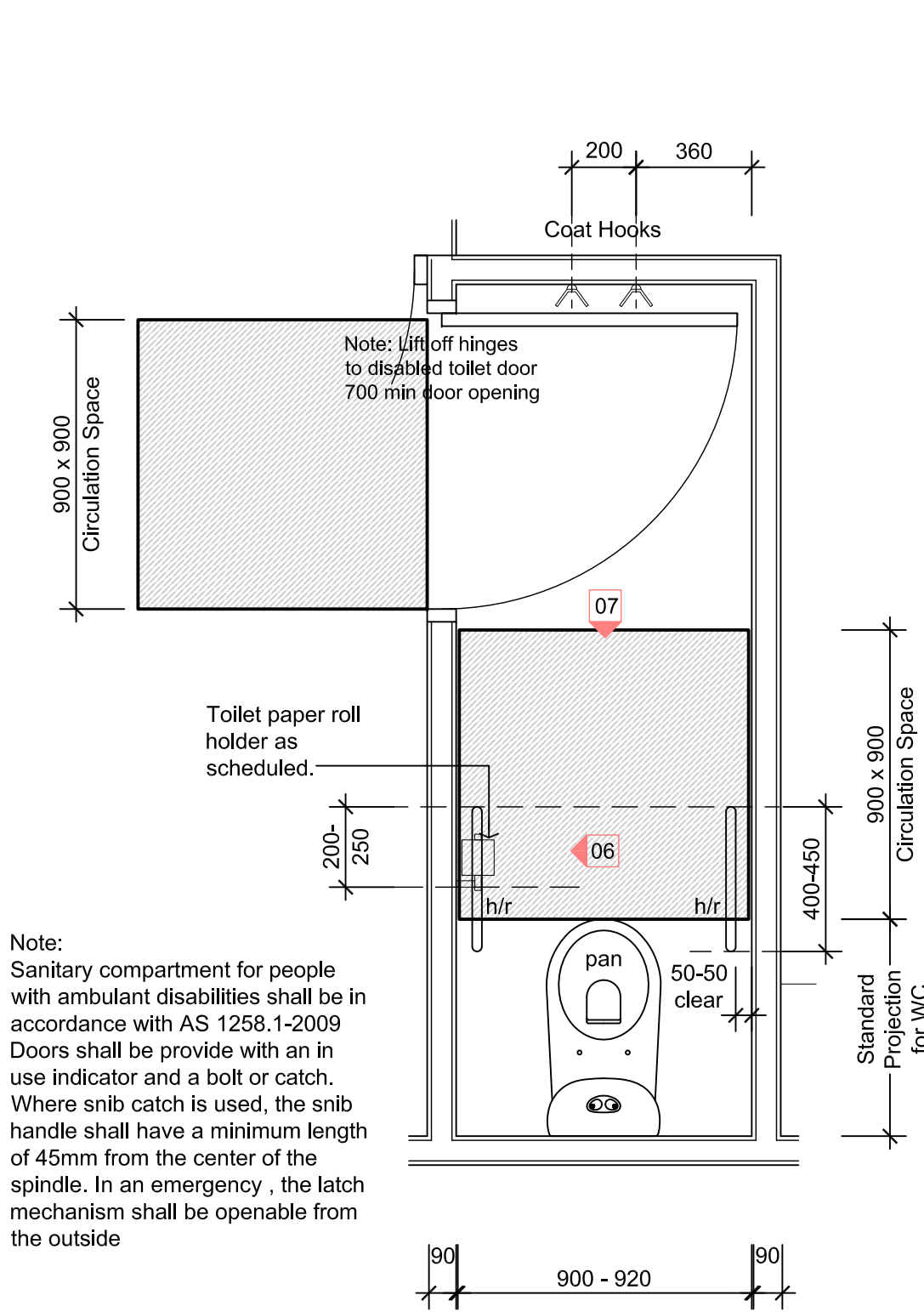
Elevation 02  
Disabled Toilet - Front  
SCALE 1:20



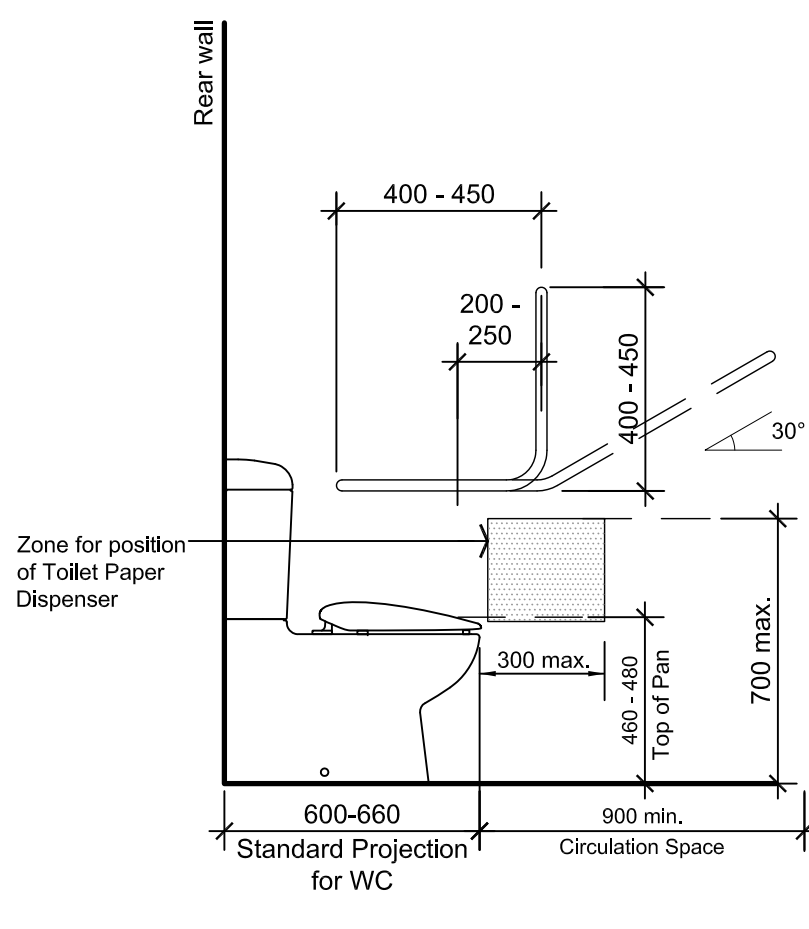
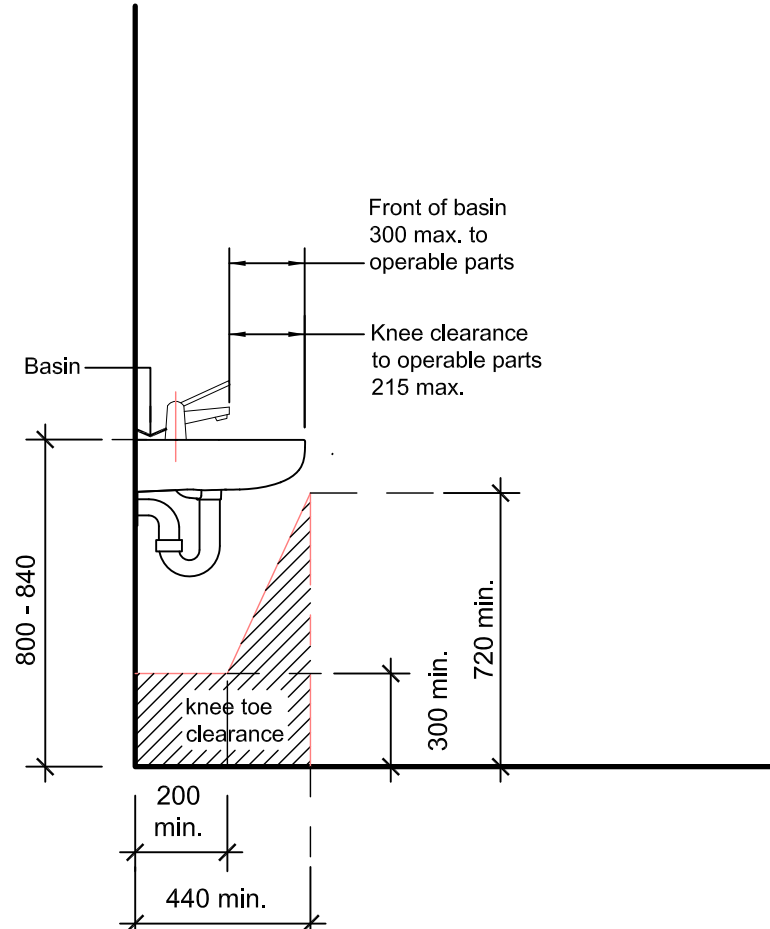
Elevation 03  
Shower - Front  
SCALE 1:20

Typical Disabled Toilet Detail  
SCALE 1:20

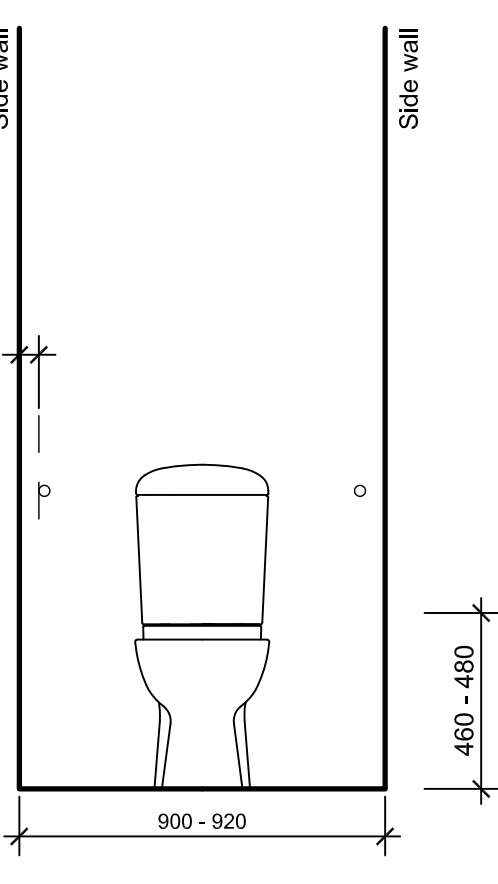
10



Elevation 04  
Wall Mounted Washbasin - Front  
SCALE 1:20



Elevation 06  
Ambulant Toilet - Side  
SCALE 1:20

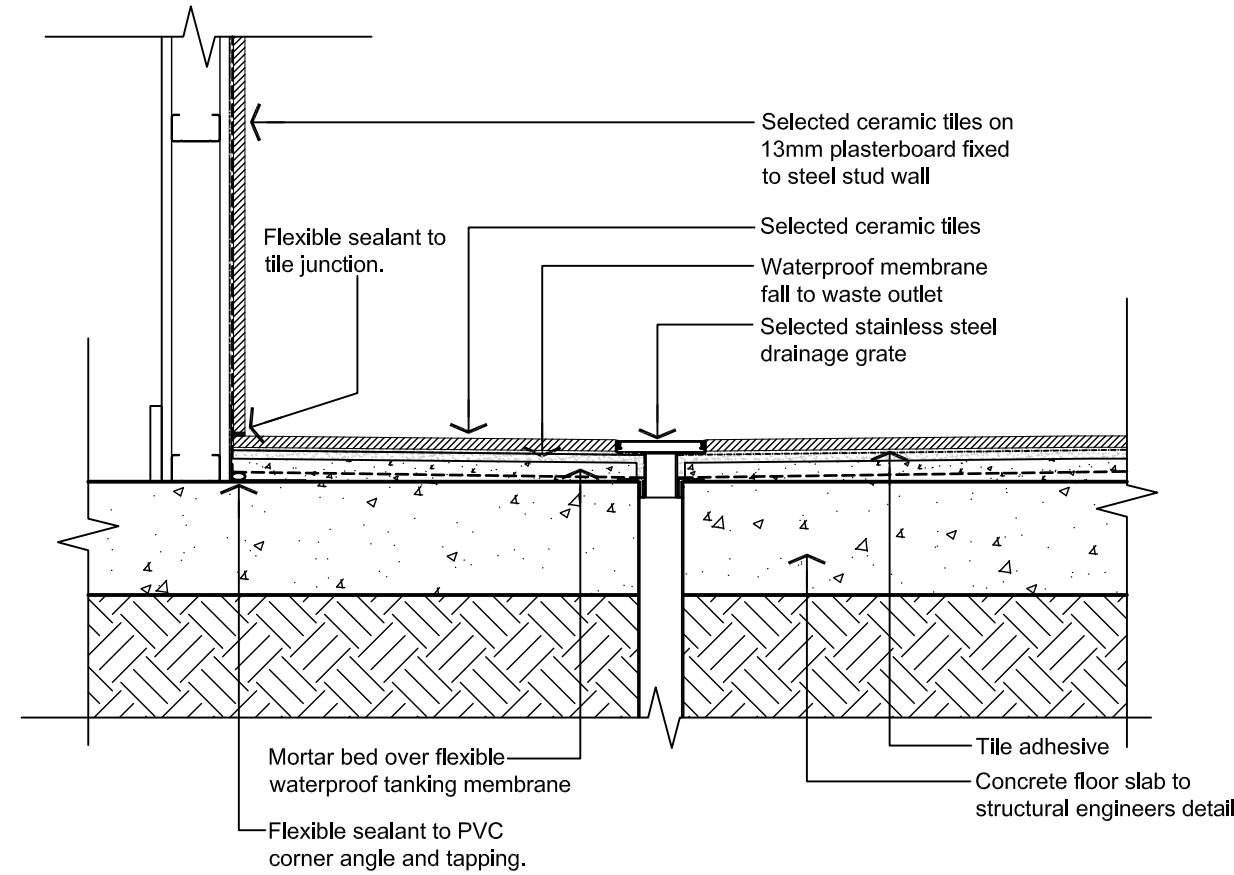


Elevation 07  
Ambulant Toilet - Front  
SCALE 1:20

Typical Ambulant Toilet Detail  
SCALE 1:20

11

NOTE:  
Shower areas must:  
- Have waterproof floors for the shower area, and  
- Have waterproof walls to a height the greater of  
- Not less than 150mm above the floor substrate or,  
- Not less than 25mm above the maximum retained water level and  
- Be water resistant walls in the shower area to not less than 1800mm above finished floor level of the shower, and  
- Be waterproof wall and wall/floor junctions within the shower area, and  
- Be waterproof any penetrations in the shower area.  
Walls adjoining sinks must;  
- Be water resistant to a height not less than 150mm above the sink for the extent of the sink  
Water closet areas must;  
- Have a water resistant floor, and  
- Have a waterproof wall/floor junctions



Typical Shower Waterproofing Detail  
SCALE 1:10

No.	DATE.	DESCRIPTION.	APPD.
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PROJECT

PROPOSED WAREHOUSE &  
OFFICE DEVELOPMENT  
AT: LOT 11 HARRISON COURT,  
MELTON

CLIENT

CARABOTT NOMINEES

DRAWING TITLE

ACCESSIBLE &  
AMBULANT WC DETAILS

DATE	SCALE	DRG NO.
MAR 2018	AS SHOWN	A11
DRAWN	CHECKED	JOB NO.
M.C.	B.B.	171208



GENERAL NOTES FOR  
BCA SECTION J COMPLIANCE:

**J1. BUILDING FABRIC.**  
ALL REQUIRED INSULATION TO COMPLY WITH AS4859.1 AND BE INSTALLED THAT:  
OVERLAPS ADJOINING INSULATION FORMS CONTINUOUS BARRIER WITH CEILING, WALLS, BULKHEADS FLOORS AND THE LIKE DOES NOT AFFECT THE SAFE EFFECTIVE OPERATION OF SERVICES OR FITTINGS.  
REFLECTIVE INSULATION MUST BE CLOSE FITTING AGAINST ANY PENETRATION, DOOR OR WINDOW AND ADEQUATELY SUPPORTED BY FRAMING MEMBERS. (REFER TO MANUFACTURES SPECIFICATION)  
INSTALLED WITH EACH ADJOINING SHEET OF ROLL MEMBRANE BEING OVERLAPPED NOT LESS THAN 50MM OR TAPED TOGETHER.  
BULK INSULATION IN ROOF SPACE MUST BE INSTALLED TO MAINTAIN ITS POSITION AND THICKNESS, OTHER THAN WHERE IT CROSSES BATTERNS, WATER PIPES, ELECTRICAL CABLEING OR THE LIKE.

ALL ROOF LIGHTS TO WAREHOUSE TO COMPLY WITH PART J1.4 AND PROVIDE A MINIMUM U-VALUE OF 1.3w/m2 AND SHGC OF .25 (REFER TO MANUFACTURES SPECIFICATION.)

ALL REQUIRED EXTERNAL WALLS TO BE FITTED WITH "RETROSHIELD" OR SIMILAR INSULATION TO ACHIEVE MIN R2.8 VALUE IN ACCORDANCE WITH PART J1.5 OF BCA. TO BE FITTED IN ACCORD. WITH MANUFACTURES SPECIFICATION.

**J2. EXTERNAL GLAZING.**  
PROVIDE SINGLE LEAF GLAZING- OR SIMILAR TO PROVIDE MIN. U VALUE AND MIN. SHGC VALUE. ALL EXTERNAL OFFICE GLAZING. AS PER THE LEGEND BELOW.

ALL GLAZING TO BE IN ACCORDANCE WITH AS1288-1999 AND AS2047.

**J3. BUILDING SEALING.**  
ALL WINDOWS TO COMPLY WITH AS 2047.

ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND ANY OPENINGS SUCH AS A WINDOW, DOOR OR THE LIKE SHALL BE ENCLOSED BY INTERNAL LINING SYSTEMS THAT ARE CLOSE FITTING AT CEILING, WALL AND FLOOR JUNCTIONS OR SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE IN ALL CONDITIONED SPACES.

SELF CLOSING DEVICE TO MAIN ENTRANCE DOORS IF MANUALLY OPERATED. PROVIDE RUBBER COMPRESSIBLE STRIP SEALS OR SIMILAR TO ENTIRE PERIMETER OF DOOR FRAMES EXCLUDING FIRE OR SMOKE DOORS.

ALL EXHAUST FANS SHALL BE FITTED WITH SELF CLOSING DAMPER OR SIMILAR APPROVED.

**J4. AIR MOVEMENT.**

NOT APPLICABLE

**J5. HVAC SYSTEMS.**

AIR CONDITIONING AND VENTILATION SYSTEMS TO COMPLY WITH PART J5 OF THE BCA 2014. MECHANICAL ENGINEER/CONTRACTOR TO PROVIDE BUILDING SURVEYOR WITH CERTIFICATE OF COMPLIANCE.

**J6. ARTIFICIAL LIGHTING AND POWER**

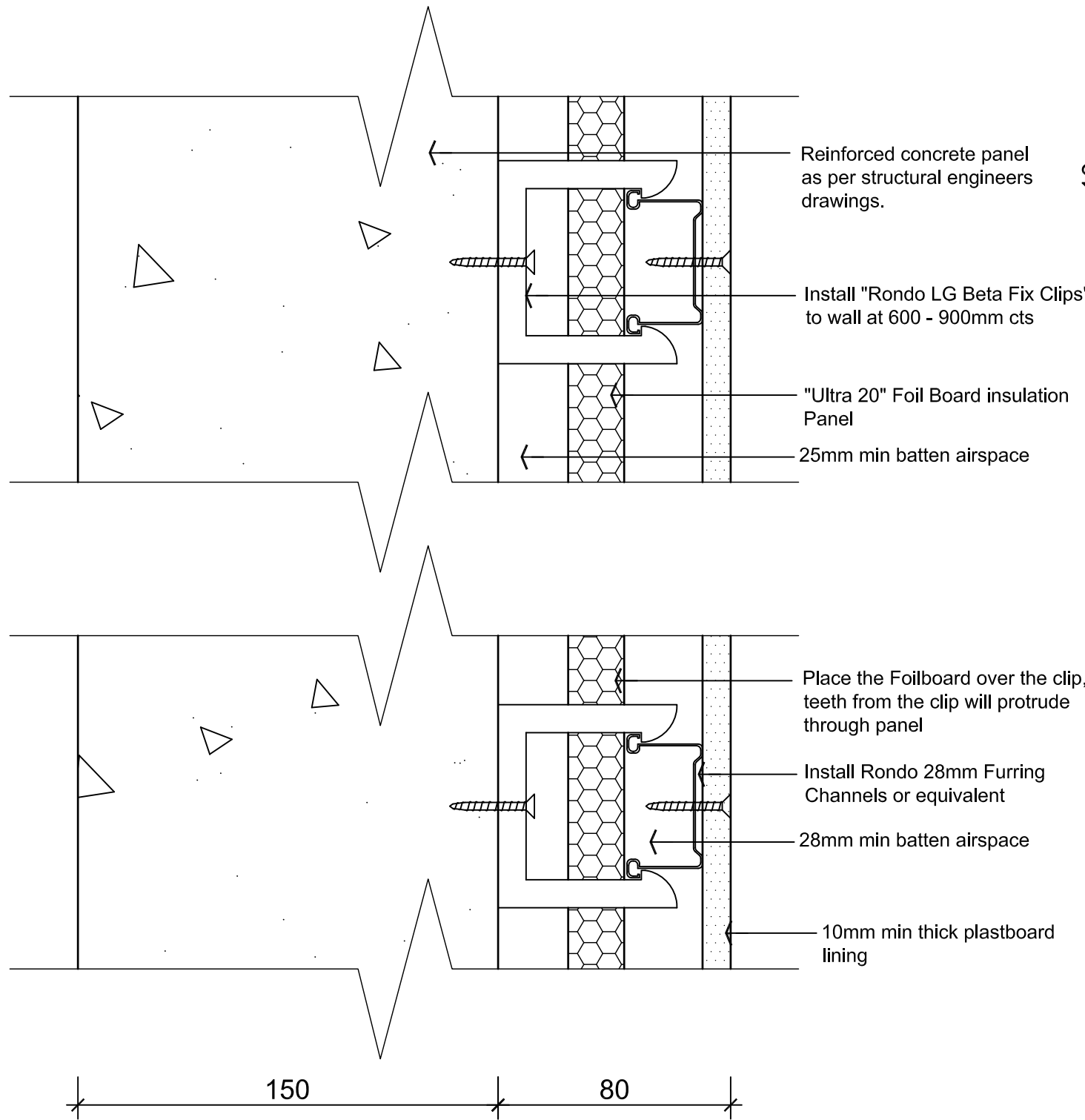
ARTIFICIAL LIGHTING AND POWER SYSTEMS TO COMPLY WITH PART J6 OF THE BCA 2014. ELECTRICAL ENGINEER/CONTRACTOR TO PROVIDE BUILDING SURVEYOR WITH CERTIFICATE OF COMPLIANCE.

NOTE: INSTALL ALL LIGHTING POWER CONTROL DEVICES INCLUDING TIMERS, TIME SWITCHES, MOTION DETECTORS AND DAYLIGHT CONTROL DEVICES IN ACCORDANCE WITH J6.1-6.6 AND SPECIFICATION J6 OF THE BCA.

ARTIFICIAL LIGHTING TO THE EXTERNAL PERIMETER OF THE BUILDING TO BE CONTROLLED BY DAYLIGHT SENSORS AND HAVE A MAX 40LUMENS/W.

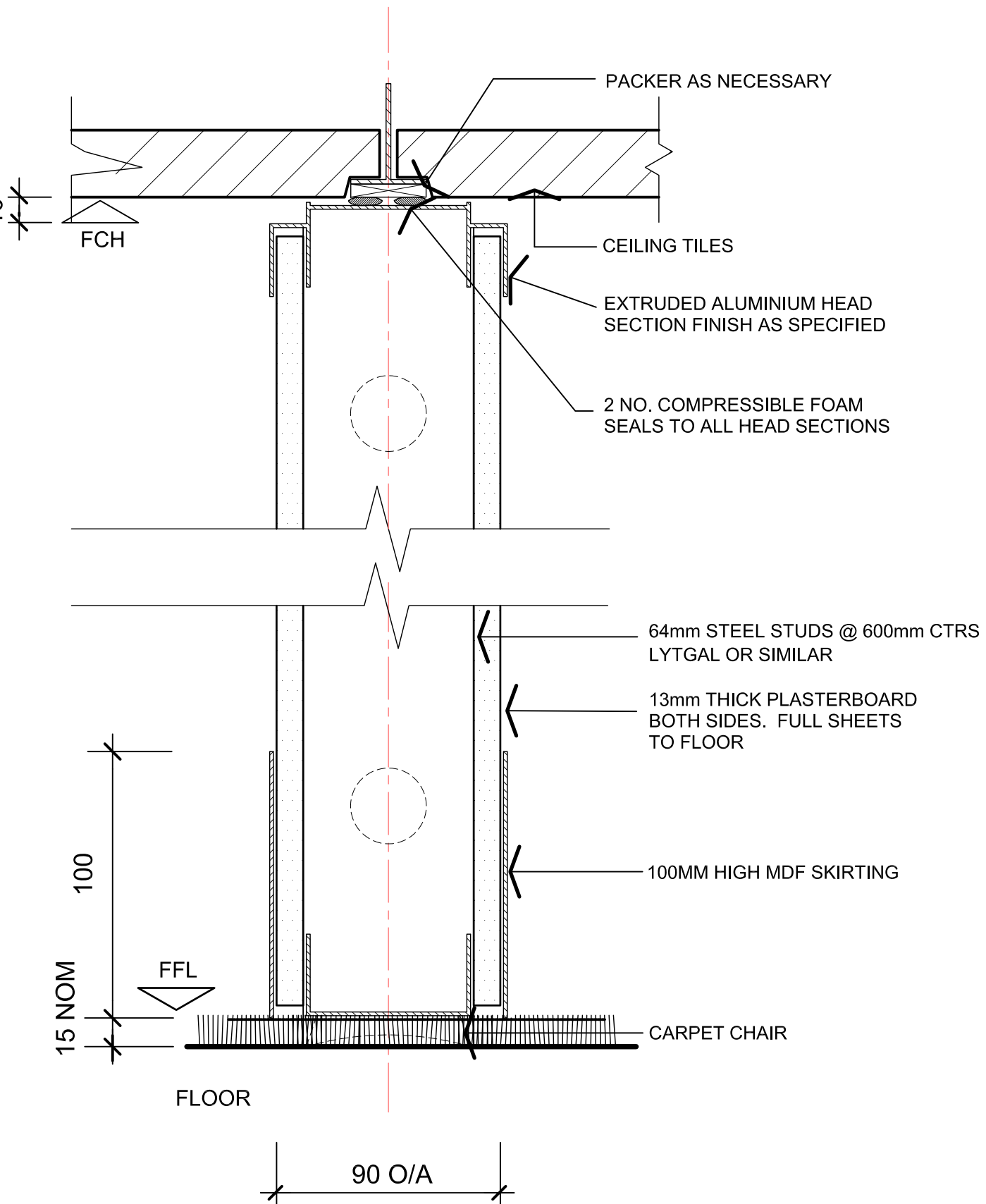
Wall Legend

- P1** 150mm Thick Concrete Panel Wall  
150mm Thick Concrete Panel Wall with "Foil Board Ultra 20-" insulation Panel or similar
- P2** 150mm Thick Concrete Panel Wall with "Foil Board Ultra 20-" insulation Panel or similar to all external walls only to achieve R2.8 min. Refer to detail for further information. (floor to ceiling)
- P3** Solid partition internal walls (metal stud & plasterboard) to 2700mm high (floor to ceiling)
- P4** Solid partition external walls (metal stud & plasterboard) full height with "Bulk Insulation" b/w studs or similar. Provide compressed sheet and alucobond cladding as noted on the elevations.
- G1** "6mm Viridian Everage Grey (#2) or similar approved in 150mm Capral 419 Flushline single glazed frames to provide min. U value 3.8 and min. SHGC value 0.41. to external office glazing where nominated on floor plans and elevations.



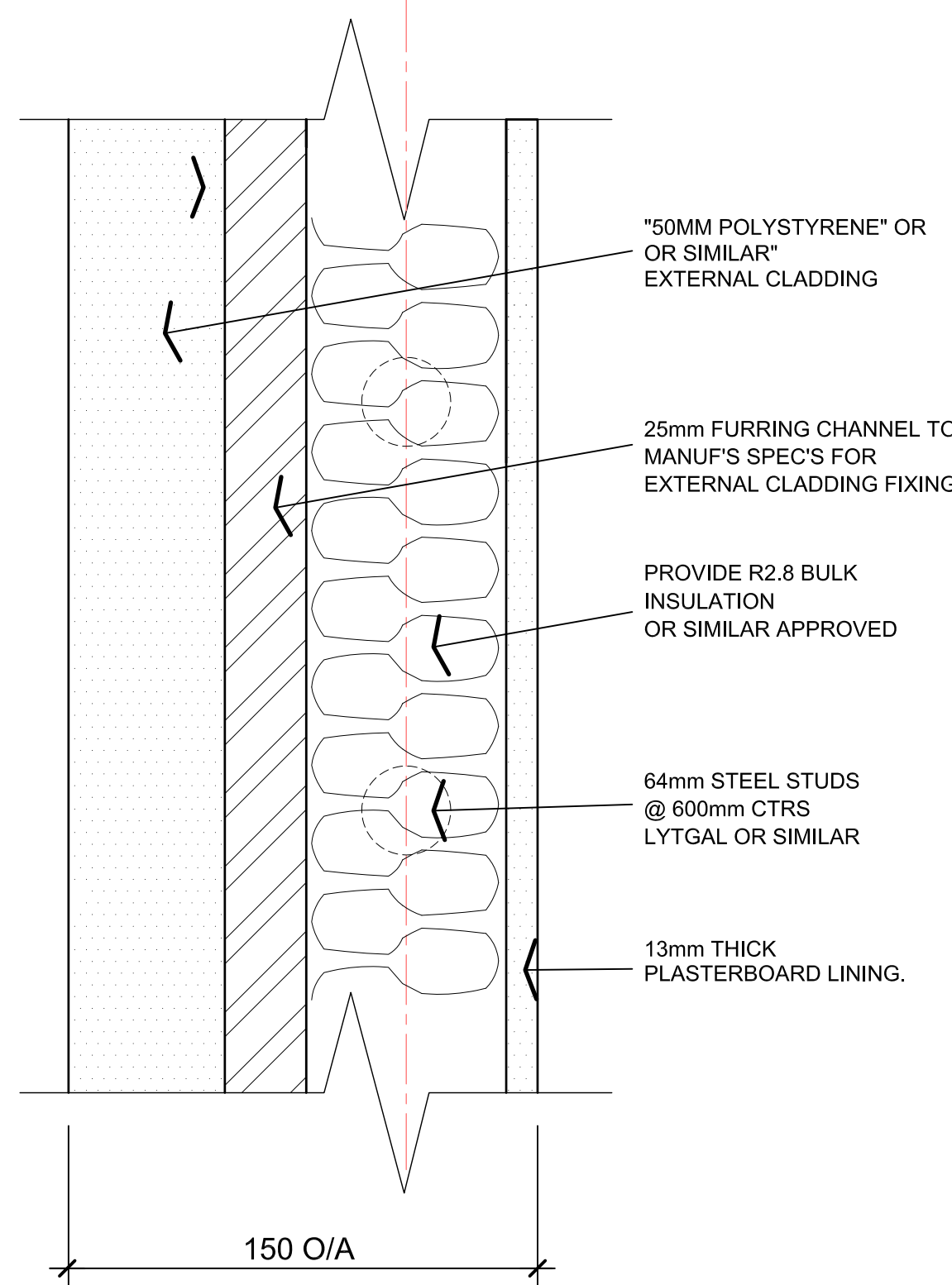
Section - Typ. External  
Wall Treatment "P2"

SCALE 1:2



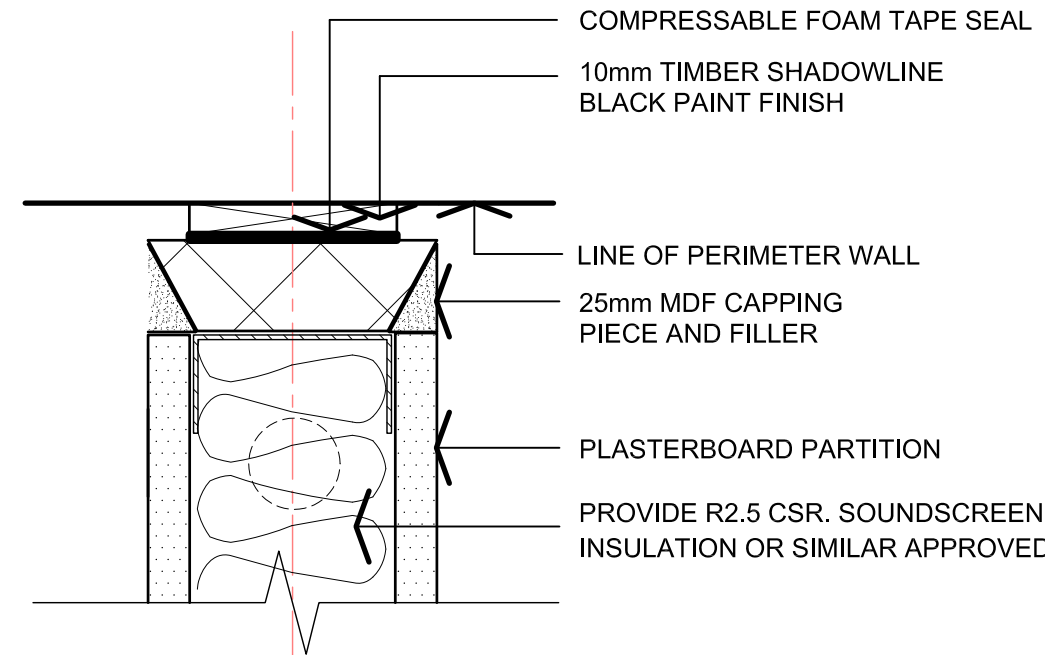
Section - Partition Type "P3"

SCALE 1:2



Section - Typ. External  
Wall Treatment "P4"

SCALE 1:2



Plan Detail -  
Perimeter  
Wall Junction

SCALE 1:2

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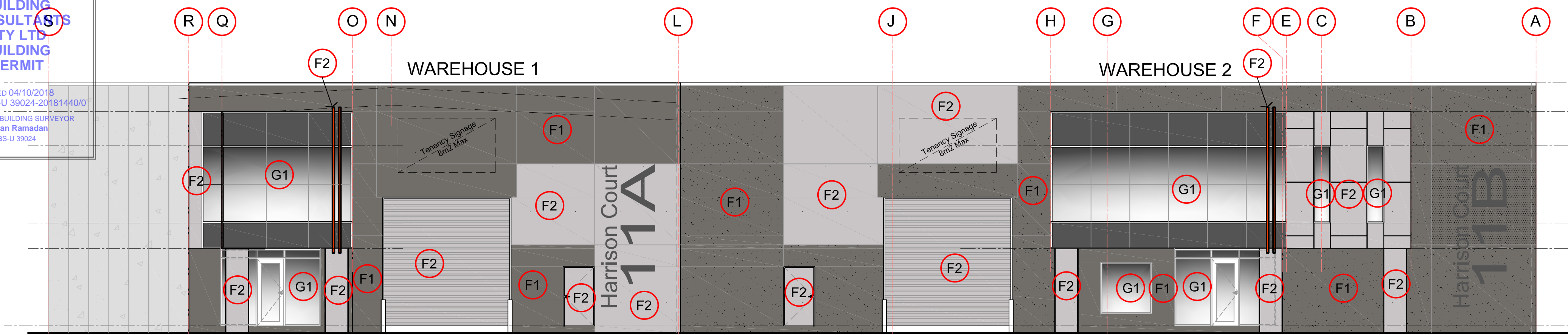
WALL TYPE & PART J  
COMPLIANCE NOTES

DATE	SCALE	DRG NO.
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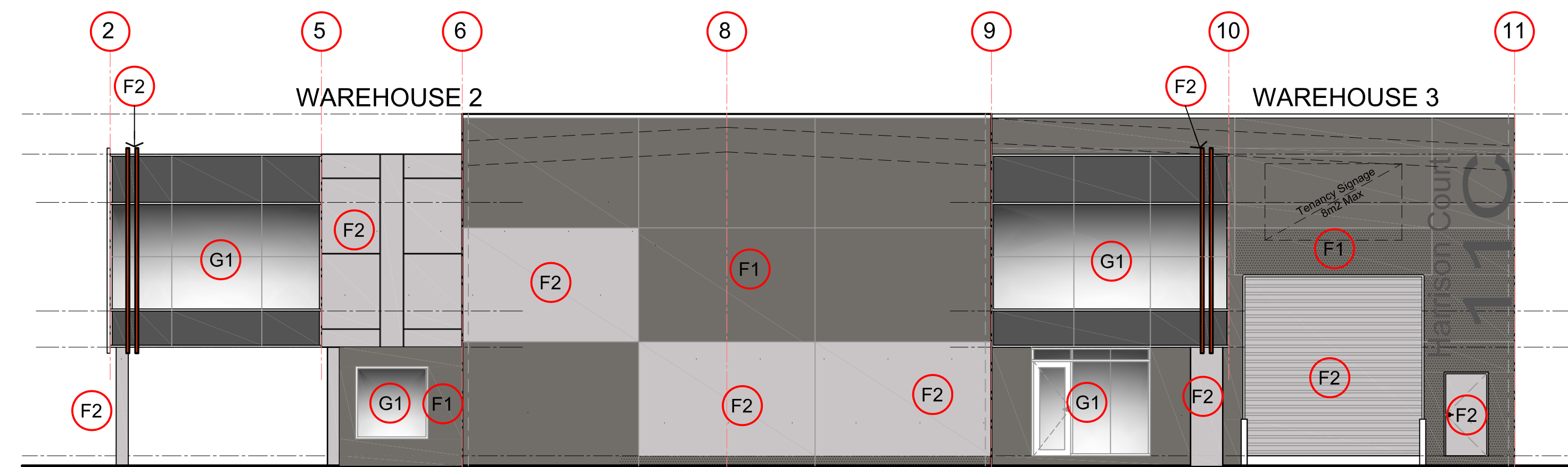
PERMIT POINT  
BUILDING  
CONSULTANTS  
PTY LTD  
BUILDING  
PERMIT

ISSUED 04/10/2018  
NUMBER BS-U 39024-20181440/0  
RELEVANT BUILDING SURVEYOR  
Adnan Ramadan  
BS-U 39024



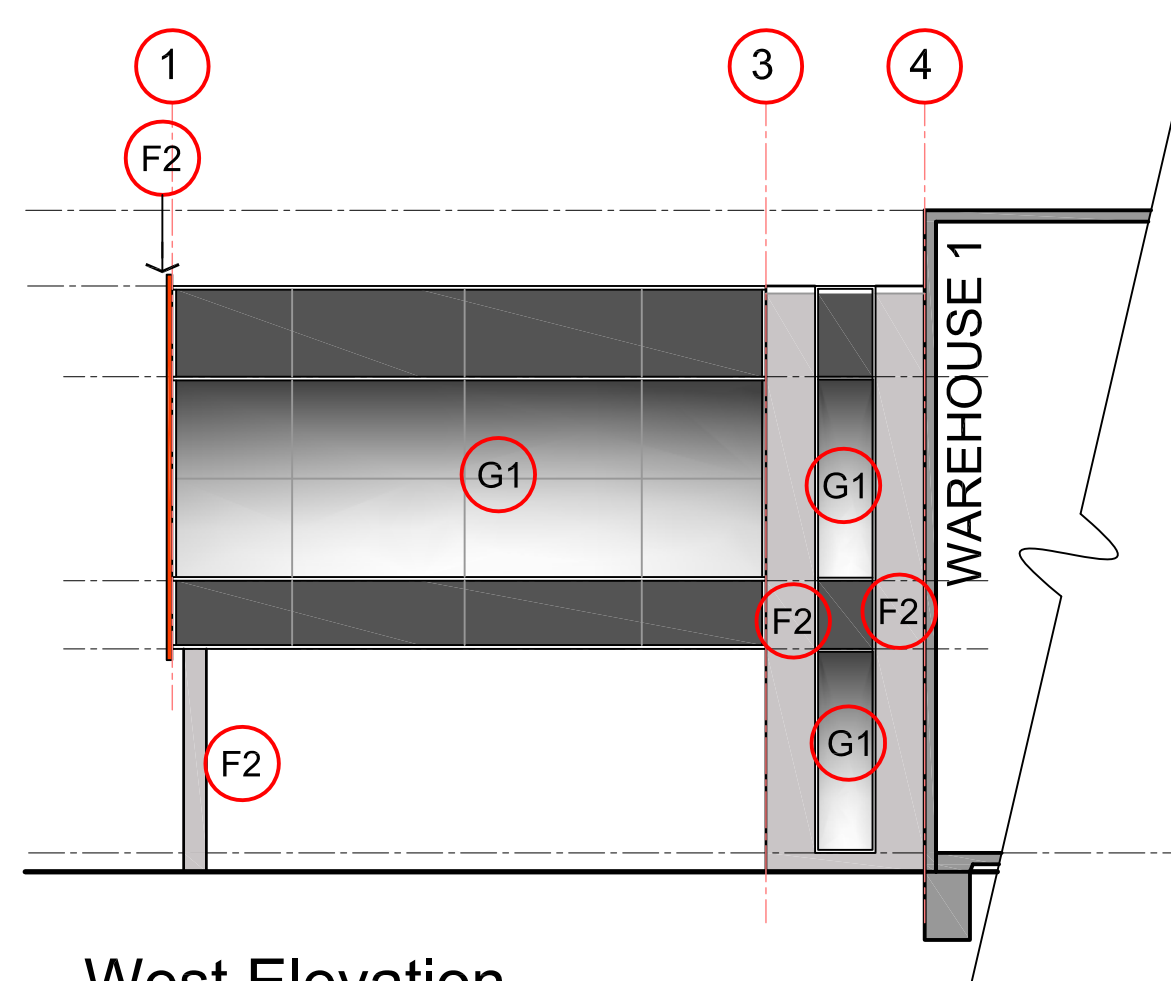
North Elevation

1:100



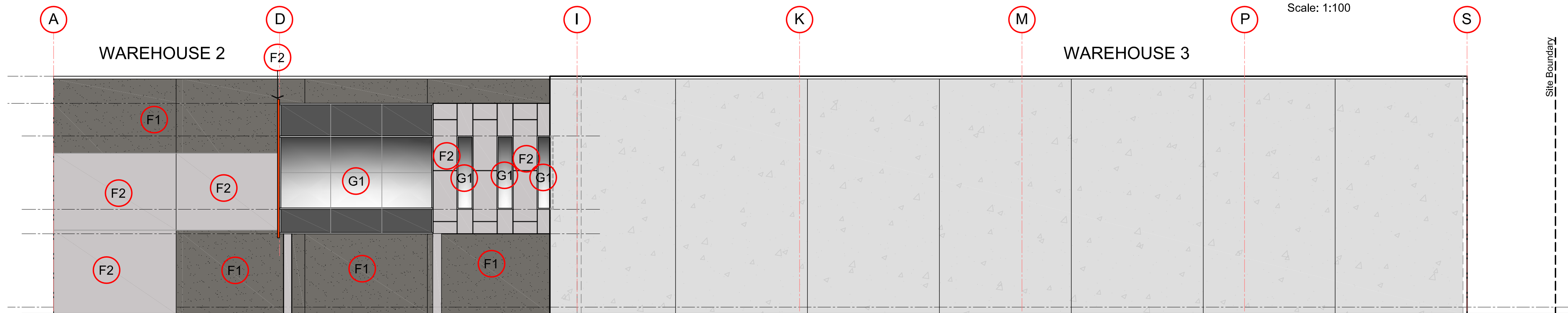
West Elevation

Scale: 1:100



West Elevation

Scale: 1:100



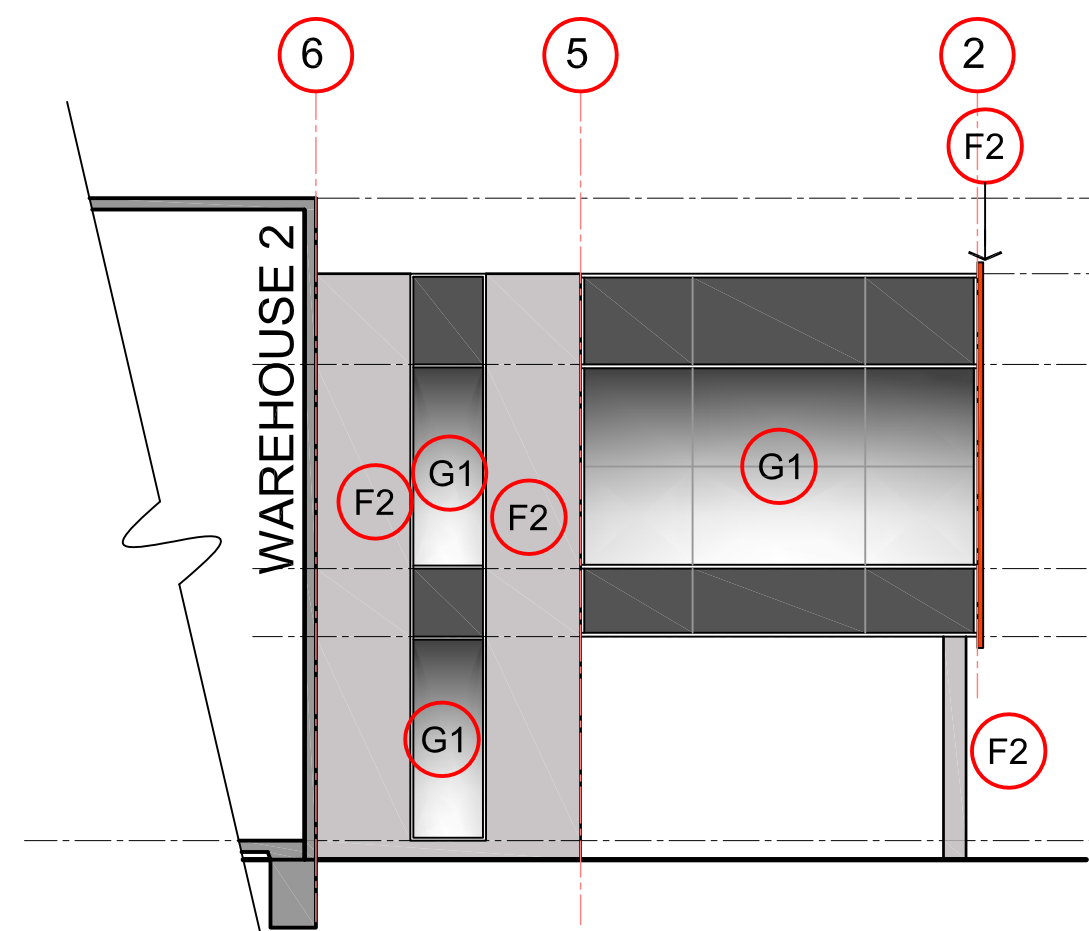
South Elevation

Scale: 1:100



East Elevation

Scale: 1:100



East Elevation

Scale: 1:100

FINISHES SCHEDULE	
F1	DULUX "HOMEBUSH" Warehouse Concrete Panel R.144 G.110 B.105
F2	DULUX "PARTITA" Warehouse Concrete Panel/Roller Doors R.201 G.197 B.198
F3	DULUX "FIERY GLOW" Aluminium Blade fins R.240 G.76 B.28
G1	VIRIDIAN EVANTAGE "GREY #2" Office Glazing

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