

**37.08**  
31/07/2018  
VC148

## ACTIVITY CENTRE ZONE

Shown on the planning scheme map as **ACZ** with a number.

### Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To encourage a mixture of uses and the intensive development of the activity centre:

- As a focus for business, shopping, working, housing, leisure, transport and community facilities.
- To support sustainable urban outcomes that maximise the use of infrastructure and public transport.

To deliver a diversity of housing at higher densities to make optimum use of the facilities and services.

To create through good urban design an attractive, pleasant, walkable, safe and stimulating environment.

To facilitate use and development of land in accordance with the Development Framework for the activity centre.

**37.08-1**  
17/09/2009  
VC59

### Operation

A schedule to this zone comprises the Development Framework for the activity centre.

A schedule to this zone must contain:

- A framework plan for the activity centre.
- A statement of the activity centre land use and development objectives to be achieved.

A schedule to this zone may contain:

- Centre-wide provisions.
- Precinct provisions.

**37.08-2**  
17/09/2009  
VC59

### Table of uses

#### Section 1 - Permit not required

Use	Condition
Any use in Section 1 of the schedule to this zone	Must comply with any condition in Section 1 of the schedule to this zone.

#### Section 2 - Permit required

Use	Condition
Any use in Section 2 of the schedule to this zone	Must comply with any condition in Section 2 of the schedule to this zone.

#### Section 3 - Prohibited

Use
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**Section 3 - Prohibited**

**Use**

**Any use in Section 3 of the schedule to this zone**

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**37.08-3**  
17/09/2009  
VC59

**Use of land**

Any requirement in the schedule to this zone must be met.

**37.08-4**  
31/07/2018  
VC148

**Subdivision**

A permit is required to subdivide land.

Any requirement in the schedule to this zone must be met.

**VicSmart applications**

Subject to Clause 71.06, an application under this clause for a development specified in Column 1 is a class of VicSmart application and must be assessed against the provision specified in Column 2.

**Class of application**

**Information requirements and decision guidelines**

Subdivide land to realign the common boundary between 2 lots where: Clause 59.01

- The area of either lot is reduced by less than 15 percent.
- The general direction of the common boundary does not change.

Subdivide land into lots each containing an existing building or car parking space where: Clause 59.02

- The buildings or car parking spaces have been constructed in accordance with the provisions of this scheme or a permit issued under this scheme.
- An occupancy permit or a certificate of final inspection has been issued under the Building Regulations in relation to the buildings within 5 years prior to the application for a permit for subdivision.

Subdivide land into 2 lots if: Clause 59.02

- The construction of a building or the construction or carrying out of works on the land:
  - Has been approved under this scheme or by a permit issued under this scheme and the permit has not expired.
  - Has started lawfully.
- The subdivision does not create a vacant lot.

**37.08-5**  
31/07/2018  
VC148

### **Buildings and works**

A permit is required to construct a building or construct or carry out works unless the schedule to this zone specifies otherwise.

An apartment development must meet the requirements of Clause 58.

### **VicSmart applications**

Subject to Clause 71.06, an application under this clause for a development specified in Column 1 is a class of VicSmart application and must be assessed against the provision specified in Column 2.

<b>Class of application</b>	<b>Information requirements and decision guidelines</b>
Construct a building or construct or carry out works with an estimated cost of up to \$500,000 and the land is not: <ul style="list-style-type: none"> <li>▪ Within 30 metres of land (not a road) which is in a residential zone.</li> <li>▪ Used for a purpose listed in the table to Clause 53.10.</li> </ul>	Clause 59.04

### **Transitional provisions**

Clause 58 does not apply to:

- An application for a planning permit lodged before the approval date of Amendment VC136.
- An application for an amendment of a permit under section 72 of the Act, if the original permit application was lodged before the approval date of Amendment VC136.

**37.08-6**  
17/09/2009  
VC59

### **Design and development**

A schedule to this zone may include requirements relating to:

- Building setbacks.
- Building height.
- Building materials.
- Access.
- Landscaping.
- Public realm.
- Any other requirements or guidelines relating to the design or built form of new development.

A permit may be granted to construct a building or construct or carry out works which is not in accordance with any design and development requirement in the schedule to this zone unless the schedule to this zone specifies otherwise.

**37.08-7**  
01/07/2021  
VC203

### **Application requirements**

#### **Use**

An application to use land must be accompanied by the following information, as appropriate:

- A description of the proposed use and the types of activities which will be carried out and any proposed staging of use and activities on the land.
- Plans drawn to scale and dimensioned which show:
  - The siting and use of buildings.
  - Areas not required for immediate use.
  - Adjacent buildings and uses.
- The likely effects, if any, on adjoining land, including noise levels, traffic, the hours of delivery and despatch of goods and materials, hours of operation and light spill, solar access, glare, air-borne emissions and emissions to land and water.
- If an industry or warehouse:
  - The type and quantity of goods to be stored, processed or produced.
  - Whether a Development Licence, Operating Licence, Permit or Registration is required from the Environment Protection Authority.
  - Whether a notification under the Occupational Health and Safety Regulations 2017 is required, a licence under the *Dangerous Goods Act 1995* is required, or a fire protection quantity under the Dangerous Goods (Storage and Handling) Regulations 2012 is exceeded.
- Any other information specified in the schedule to this zone.

### **Subdivision**

An application to subdivide land must be accompanied by the following information, as appropriate:

- Plans drawn to scale and dimensioned which show:
  - Site shape, size, dimensions and orientation.
  - The pattern of subdivision of the surrounding area.
  - Easements.
  - Location of drainage and other utilities.
  - Street frontage features such as poles, street trees and kerb crossovers.
  - Access points.
  - Any natural features.
- Any other information specified in the schedule to this zone.

### **Buildings and works**

An application to construct a building or construct or carry out works must be accompanied by the following information, as appropriate:

- Plans drawn to scale and dimensioned which show:
  - The boundaries and dimensions of the site.
  - Adjoining roads.
  - The location, height and use of buildings and works on adjoining land.
  - Levels of the site and the difference in levels between the site and surrounding properties to a defined point at the site boundaries or to Australian Height Datum (AHD).
  - Any contaminated soils and filled areas, where known.

- The layout of existing and proposed buildings and works.
- The internal layout and use of the proposed development.
- All access and pedestrian areas.
- All driveway, car parking and loading areas.
- Existing vegetation and proposed landscape areas.
- All external storage and waste treatment areas.
- The location of easements and services.
- Elevation plans drawn to scale and dimensioned which show:
  - The building form and scale.
  - Setbacks to property boundaries.
  - Finished floor levels and building heights to a defined point at the site boundaries or to Australian Height Datum (AHD).
- Shadow diagrams based on the equinox shown for existing conditions and the proposed development.
- A schedule of finishes for the proposed development detailing materials and colours of external surfaces including walls, roofs and fences.
- A written statement providing an assessment of the proposal against the relevant sections of the Planning Policy Framework, Activity Centre Zone and any relevant overlays.
- An assessment of the characteristics of the area including:
  - Any environmental features such as vegetation, topography and significant views.
  - Street design and landscape.
  - The pattern of development.
  - Building form, scale and rhythm.
  - Architectural style, building details and materials.
  - Connection to the public realm.
  - Any significant noise, odour, fume and vibration sources to and/or from the development.
- A landscape plan which includes the description of vegetation to be planted, the surfaces to be constructed, site works specification and method of preparing, draining, watering and maintaining the landscape area.
- Construction details of all drainage works, driveways, vehicle parking and loading areas.
- An urban context report and design response as required in Clause 58.01 for an application to construct or extend an apartment development, or to construct or extend a dwelling in or forming part of an apartment development.
- Any other information specified in the schedule to this zone.

**37.08-8**  
31/07/2018  
VC148

**Exemption from notice and review**

An application under Clauses 37.08-2, 37.08-4, 37.08-5 or 37.08-6 is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act unless the schedule to this zone specifies otherwise.

A schedule to this zone may specify an application in respect of land in an Activity Centre Zone under any other specified provision of this scheme is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act.

**37.08-9**  
20/12/2021  
VC174

## **Decision guidelines**

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

### **General**

- The Municipal Planning Strategy and the Planning Policy Framework.
- The development framework plan set out in the schedule to this zone.
- The land use and development objectives set out in the schedule to this zone.
- The extent that the layout and design of the new use or development minimises the potential for off-site impacts, including from noise, fumes, odour or vibrations, ensuring that:
  - existing uses are not compromised by a new development, or
  - a new development is designed to address amenity impacts from existing uses.
- Any requirements set out in the schedule to this zone.
- Any other decision guidelines specified in the schedule to this zone.

### **Access**

- Movements systems through and around the site including the movement of pedestrians and cyclists, and vehicles providing for supplies, waste removal, emergency services and public transport.
- The provision of car parking, loading of vehicles and access to parking spaces and loading bays.

### **Use**

- The interim use of those parts of the land not required for the proposed use.
- Whether the use is compatible with adjoining and nearby land uses.

### **Subdivision**

- The pattern of subdivision and its effect on the spacing of buildings.
- For subdivision of land for residential development, the objectives and standards of Clause 56.

### **Design and built form**

- The design, scale, height, setback, appearance and material of the proposed buildings and works.
- The provision for solar access to the building and on the public realm.
- The design of the public realm.
- The relationship between the proposed building and the public realm.
- The streetscape, including the conservation of buildings, the design of verandas, access from the street front, provision of active frontages to pedestrian areas, the treatment of the fronts and backs of buildings and their appurtenances, illumination of buildings or their immediate spaces and the landscaping of land adjoining a road.
- The interface with adjoining zones, especially the relationship with residential zones.
- The objectives, standards and decision guidelines of Clause 54 and Clause 55. This does not apply to an apartment development.
- For an apartment development, the objectives, standards and decision guidelines of Clause 58.

- The storage of rubbish and materials for recycling.

### **Transitional provisions**

The objectives, standards and decision guidelines of Clause 55 of this scheme, as in force immediately before the approval date of Amendment VC136, continues to apply to:

- An application for a planning permit lodged before that date.
- An application for an amendment of a permit under section 72 of the Act, if the original permit application was lodged before that date.

Clauses 55 and 58 of this scheme, as in force immediately before the approval date of Amendment VC174, continue to apply to:

- An application for a planning permit lodged before that date.
- An application for an amendment of a permit under section 72 of the Act, if the original permit application was lodged before that date.

### **37.08-10 Signs**

31/07/2018  
VC148

Sign requirements are at Clause 52.05. This zone is in Category 1 unless a schedule to this zone specifies a different category.

### **37.08-11 Other provisions of the scheme**

17/09/2009  
VC59

The schedule to this zone may specify that other provisions of the scheme do not apply.

16/07/2020  
C416ggee

**SCHEDULE 1 TO CLAUSE 37.08 ACTIVITY CENTRE ZONE**

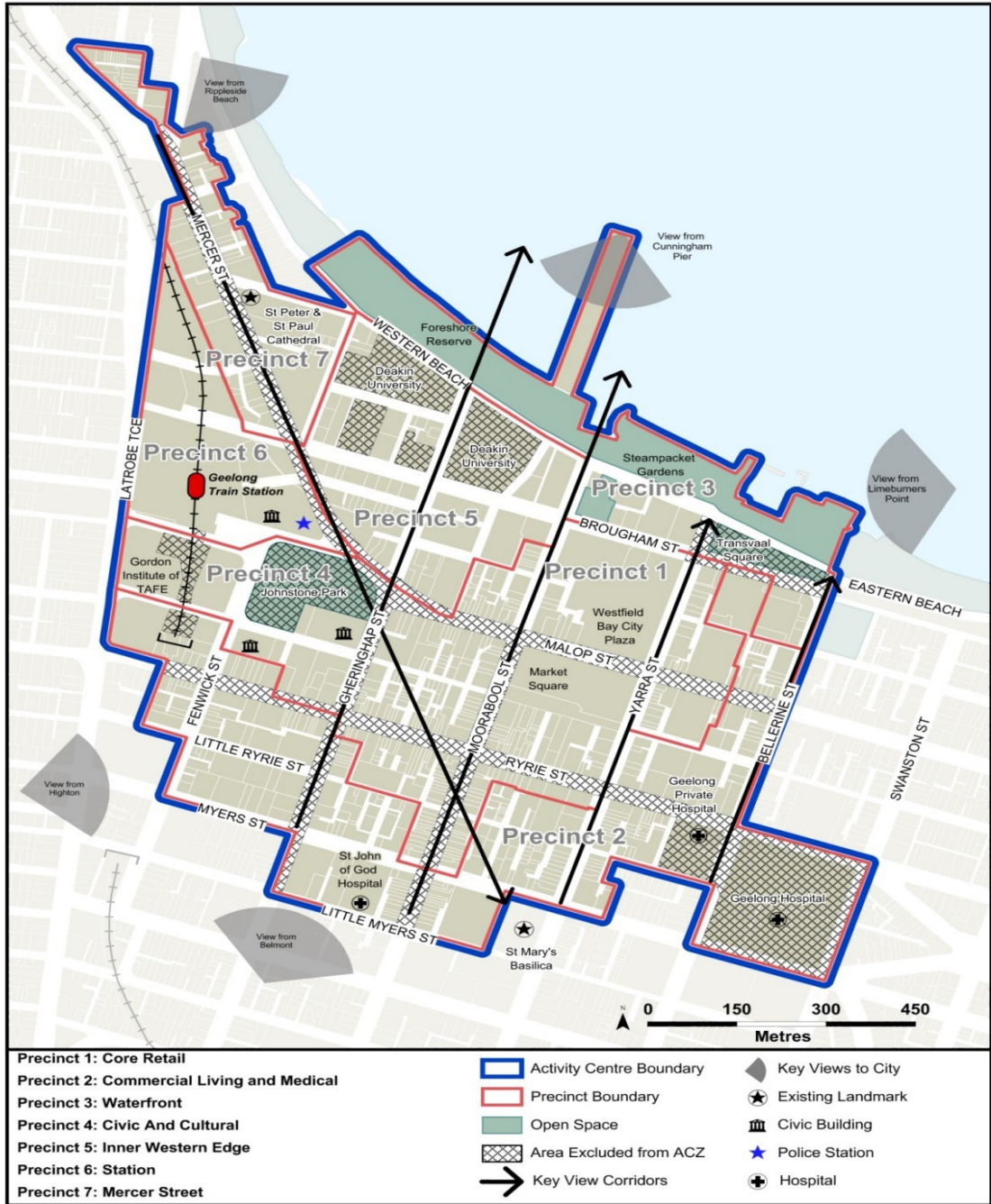
Shown on the planning scheme map as ACZ1 .

**CENTRAL GEELONG ACTIVITY CENTRE**

1.0  
07/12/2020  
C396ggee

**Central Geelong framework plan**

Central Geelong framework plan



4609-15

2.0  
07/01/2021  
C424ggee

**Land use and development objectives to be achieved**



- To ensure Geelong remains an international waterfront city, with world-class facilities, that is a highly desirable place to be.
- To strengthen and revitalise Central Geelong as the region's primary location for retail, professional and business services, residential, employment, tourism, cultural, entertainment, education and medical activities.

### **Land use**

- To maximise the overall intensity of development, especially centred on the Geelong Railway Station.
- To encourage complementary and compatible mixed uses to co-locate within the centre.
- To allow a balance of retail uses across the Activity Centre Zone whilst maintaining the continued function of Precinct 1 as the core retail precinct.
- To provide a range of land uses.

### **Built form**

- To create interest and active frontages at street level.
- To encourage the development of contemporary and innovative built form and urban design that complements the heritage and waterfront character of the centre.
- To encourage substantial change and redevelopment within the Geelong Western Wedge (Precincts 4-7), while sharing key views, respecting heritage areas and protecting the amenity of public spaces.
- To minimise the shadow impacts of building height and bulk on key pedestrian routes, parks and other public spaces.
- To promote a strong sense of place by encouraging development that builds on the history and culture of the city, and public art that reinforces Geelong's indigenous and cultural heritage.
- To encourage best practice environmentally sustainable design in relation to building energy management, water sensitive urban design, construction materials, indoor environment quality, and waste management.
- To respect the existing waterfront character and avoid dominating the waterfront through excessive bulk and unarticulated built form.
- To promote a more human scale at street level and increase activity within the centre, with active street frontages that are attractive, comfortable, safe and add visual interest and vitality.
- To ensure wind impacts from the built form, design and layout of development are acceptable on the site and surrounding land.

### **Views**

- To ensure that views are shared from public spaces and along key view corridors.
- To ensure the reasonable sharing of views to Corio Bay.
- To maintain the visual dominance of prominent landmarks including St Mary's Basilica spire and retain views to significant structures or features.

### **Public realm**

- To establish strong gateway treatments at key arrival points to Central Geelong through innovative and iconic urban design and landscape treatments.
- To create public places that are adaptable for a diverse range of public events and activities.
- To protect and enhance areas of public open space including the Geelong waterfront as Geelong's primary open space area.

## Accessibility and Movement

- To develop a movement network that is efficient, legible, convenient, connects key destinations and precincts, and prioritises walkability, cycling and public transport use.
- To encourage greater use of sustainable transport through the clustering of uses relating to transport services around the Geelong Railway Station and maximising the intensity of activities in areas accessible to the station.
- To create new pedestrian routes within the activity centre through improved linkage opportunities.

## Land configuration and ownership

- To encourage the reconfiguration and consolidation of land where necessary to create viable development sites.
- To avoid the fragmentation of land through subdivision.

**3.0**  
07/12/2020  
C396ggee

## Table of uses Section 1 - Permit not required

Use	Condition
<b>Accommodation (other than Camping and caravan park and Corrective institution)</b>	Any frontage at ground floor level must not exceed 2 metres, unless the floor space adjoining the frontage is a common area accessible to the public.
<b>Bus terminal</b>	Must be in Precinct 6.
<b>Child care centre</b>	Any frontage at ground floor level must not exceed 2 metres and access must not be shared with a dwelling (other than a caretaker's house).
<b>Cinema Cinema based entertainment facility</b>	Must be in Precinct 1
<b>Convenience Shop</b>	
<b>Education centre</b>	Any frontage at ground floor level must not exceed 10 metres.
<b>Food and drink premises (other than Hotel and Bar) Home based business Informal outdoor recreation Minor utility installation</b>	

<b>Use</b>	<b>Condition</b>
<b>Office</b>	In all precincts other than Precinct 2 any frontage at ground floor level must not exceed 2 metres and access must not be shared with a dwelling (other than a caretaker's house) unless the office is a bank, real estate agency, travel agency, or any other office where the floor space adjoining the frontage is a customer service area accessible to the public.
<b>Postal agency</b>	
<b>Railway</b>	
<b>Railway station</b>	Must be in Precinct 6.
<b>Restricted retail premises</b>	Must be in Precinct 1.
<b>Shop (other than Adult sex product shop and Convenience shop)</b>	Must be in Precinct 1.
<b>Bar</b>	Must be in Precinct 5, 6 or 7.
<b>Trade supplies (other than Timber production)</b>	Must be in Precinct 1.
<b>Tramway</b>	
<b>Any use listed in Clause 62.01</b>	Must meet requirements of Clause 62.01.

## Section 2 - Permit required

<b>Use</b>	<b>Condition</b>
<b>Adult sex product shop</b>	Must be in Precinct 1. Must be at least 200 metres (measured by the shortest route reasonably accessible on foot) from a residential zone, land used for a hospital, primary school or secondary school or land in a Public Acquisition Overlay to be acquired for a hospital, primary school or secondary school.
<b>Amusement Parlour</b>	Must not be in Sub-precinct 2F or 3C.

Use	Condition
<b>Animal keeping</b>	
<b>Brothel</b>	<p>Must be in Precinct 1, 2 or 4.</p> <p>Must be at least 200 metres (measured by the shortest route reasonably accessible on foot) from a residential zone, land used for a hospital, primary school or secondary school or land in a Public Acquisition Overlay to be acquired for a hospital, primary school or secondary school.</p>
<b>Hotel</b>	
<b>Industry</b>	<p>Must not be a purpose listed in the table to Clause 53.10.</p>
<p><b>Leisure and recreation (other than Informal outdoor recreation, Major sports and recreation facility, and Motor racing track)</b></p> <p><b>Place of assembly (other than Cinema)</b></p> <p><b>Retail premises (other than Adult sex product shop, Food and drink premises, Postal agency, Shop)</b></p> <p><b>Service station</b></p>	
<b>Transport terminal (other than Bus terminal and Road freight terminal)</b>	
<b>Warehouse (other than Mail centre)</b>	<p>Must not be a purpose listed in the table to Clause 53.10.</p>
<b>Any other use not in Section 1 or 3</b>	
<b>Section 3 – Prohibited</b>	
Use	
<p><b>Agriculture (other than Animal keeping or Apiculture)</b></p> <p><b>Airport</b></p>	
<b>Camping and caravan Park</b>	

Use	
	<b>Cemetery</b>
	<b>Corrective institution</b>
	<b>Crematorium</b>
	<b>Drive-in-theatre</b>
	<b>Freeway service centre</b>
	<b>Host Farm</b>
	<b>Intensive animal husbandry</b>
	<b>Major sports and recreation facility</b>
	<b>Motor racing track</b>
	<b>Primary produce sales</b>
	<b>Road freight terminal</b>
	<b>Saleyard</b>
	<b>Timber Production</b>
	<b>Winery</b>

**4.0**  
07/12/2020  
C396ggee

**Centre-wide provisions**

**4.1**  
07/12/2020  
C396ggee

**Use of land**

A permit is not required to use for land for public purposes providing the use is carried out by, or on behalf of, the public land manager.

**4.2**  
07/01/2021  
C424ggee

**Subdivision**

None specified.

**4.3**  
07/01/2021  
C424ggee

**Buildings and works**

No permit is required to construct a building or construct or carry out works for the following:

- The installation of an automatic teller machine.
- An alteration to an existing building facade provided:
  - The alteration does not include the installation of an external roller shutter.
  - At least 75 percent of the building facade at ground floor level is maintained as an entry or window with clear glazing.
- An awning that projects over a road if it is authorised by the relevant public land manager.
- Plant rooms, services and equipment and solar collectors, provided these are not visible from any public street or public open space within 100 metres of the site.
- Railway, Railway Station and Bus Terminal.

#### **4.4**

07/01/2021  
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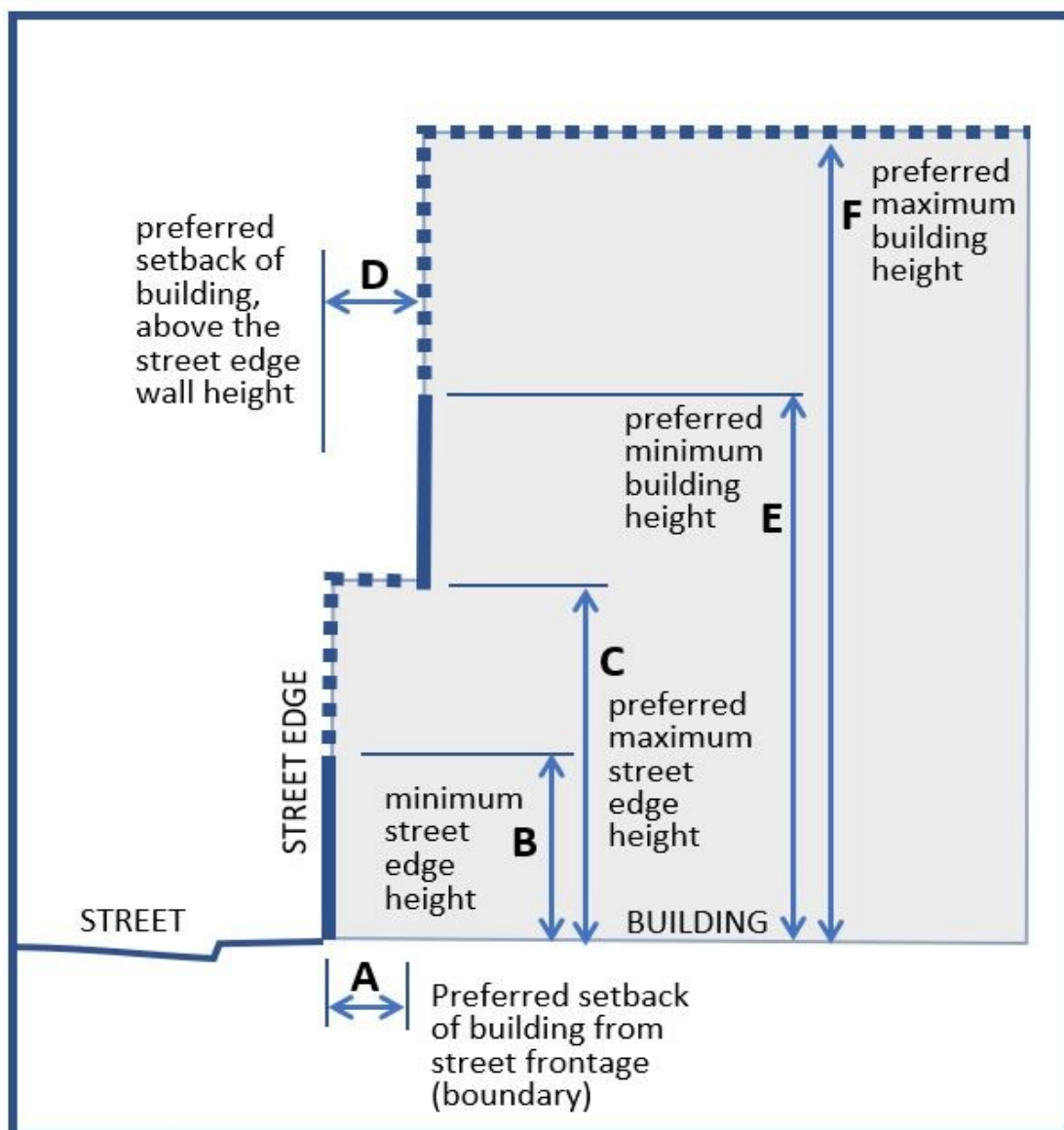
### **Design and development**

The following design and development requirements apply to an application to construct a building or construct or carry out works.

#### **Building heights and setbacks**

Development should meet any requirements specified at Clause 5 and as shown in Figures 1 - 4.

Figure 1



For the purposes of this schedule, the preferred maximum building height does not apply to non-occupiable architectural features or landmarks, architectural features (such as domes, towers, masts) and building services, (including enclosed stairwells) that do not exceed the preferred maximum height by more than 4 metres.

### Building separation, side and rear setbacks

Above 20 metres and below 45 metres, buildings (including towers and additions) should be setback a minimum of 5 metres from side and rear boundaries, or setback a minimum of 5 metres from the centre line of an adjoining laneway and be separated by a minimum of 10 metres from other buildings within the site.

At and above 45 metres, buildings (including towers and additions) should be setback a minimum of 10 metres from side and rear boundaries, or setback a minimum of 10 metres from the centre line of an adjoining laneway and be separated by a minimum of 20 metres from other buildings within the site.

Development that proposes a reduced side or rear setback or building separation above 20 metres must demonstrate that:

- Provision of reasonable sunlight, daylight, privacy and outlook from habitable rooms is achieved for

both existing and potential developments on adjoining or adjacent sites.

- Sun penetration and mitigation of wind impacts at street level is maintained.
- Buildings do not visually dominate heritage places, streetscapes or significant view lines.
- Floorplate layout or architectural treatment limits direct overlooking between existing and potential future habitable rooms.
- Buildings are designed to avoid blank, unarticulated walls.

**Wind effects**

Within a distance of half the greatest length of the building, or half the total height of the building measured outwards on the horizontal plane from the ground floor building façade, whichever is greater(as shown in Figure 2), the following requirements apply:

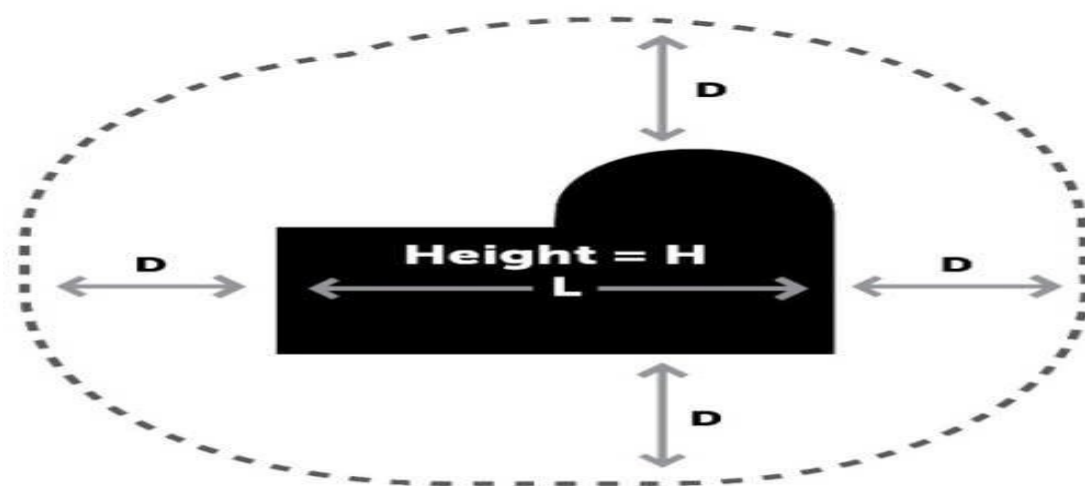
- In public land, publicly accessible areas on private land, private open space and communal open space, development in excess of 40 metres must not cause unsafe wind conditions specified in Table 1.
- In public land and publicly accessible areas on private land, development should achieve comfortable wind conditions specified in Table 1.

A permit cannot be granted for buildings and works with a total building height in excess of 40 metres that would cause unsafe wind conditions in publicly accessible areas within a distance equal to half the longest width of the building above 40 metres in height measured from all façades, or half the total height of the building, whichever is greater as shown in Figure 2.

Trees and landscaping should not be used to mitigate wind impacts. This does not apply to sitting areas, where trees and landscaping may be used to supplement fixed wind mitigation elements.

Wind mitigation elements, such as awnings and screens should be located within the site boundary, unless consistent with the existing urban context or preferred future development of the area.

**Figure 2**



Assessment distance  $D$  = greater of:  
 $L/2$  (Half longest width of building)  
 OR  
 $H/2$  (Half overall height of building)

**Table 1**



Unsafe	Comfortable
Annual maximum 3 second gust wind speed exceeding 20 metres per second with a probability of exceedance of 0.1% considering at least 16 wind direction	<p>Hourly mean wind speed or gust equivalent mean speed (3 second gust wind speed divided by 1.85), from all wind directions combined with probability of exceedance less than 20% of the time, equal to or less than:</p> <ul style="list-style-type: none"> <li>▪ 3 metres per second for sitting,</li> <li>▪ 4 metres per second for standing areas,</li> <li>▪ 5 metres per second for walking areas.</li> </ul>

### Overshadowing

A permit cannot be granted for buildings and works which would cast any additional shadow across a space listed within Table 2 to this schedule and shown in Figure 3 of this schedule during the hours and dates specified as follows:

**Table 2**

Space	Hours between	Date(s)
Johnstone Park	10.00am and 3.00pm	22 June
Future Geelong Station Forecourt		
Austin Park		
Customs Park		
Eastern Beach		
Transvaal Square		
Future open spaces		

A permit cannot be granted for buildings and works that would cast any additional shadow across a space listed within Table 3 to this schedule and shown in Figure 4 of this schedule during the hours and dates specified, unless the overshadowing will not unreasonably prejudice the amenity of the space, to the satisfaction of the responsible authority.

**Table 3**

Space	Hours between	Date(s)
East and west footpaths on the primary North – South streets.	11.00am and 2.00pm	22 April and 22 September
South footpath on the primary East – West streets and Mercer Street		

Space	Hours between	Date(s)
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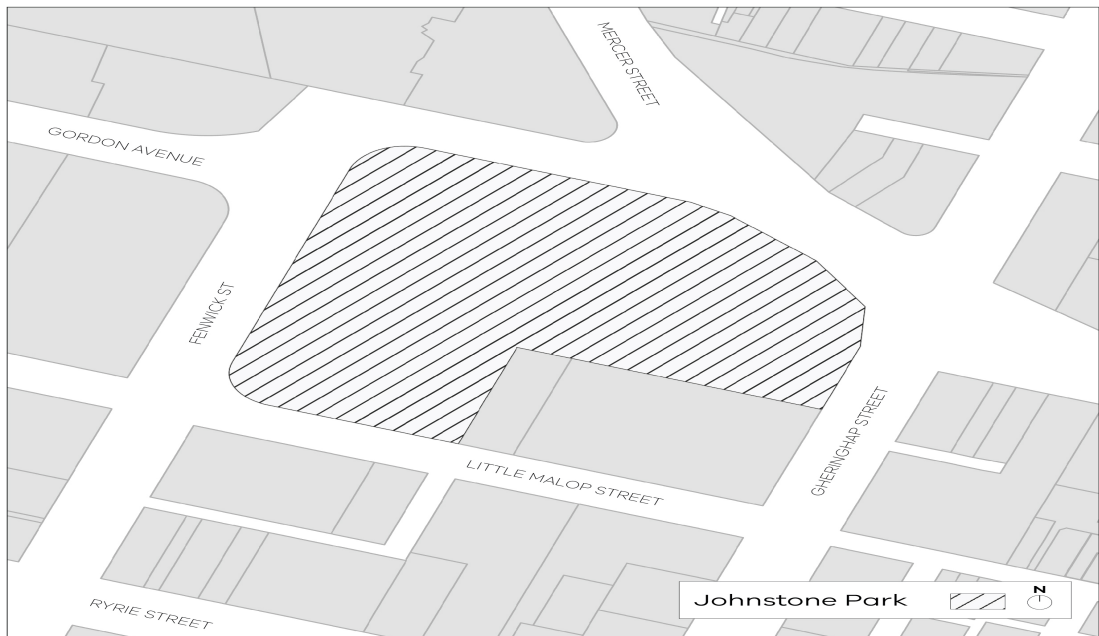
Laneway A

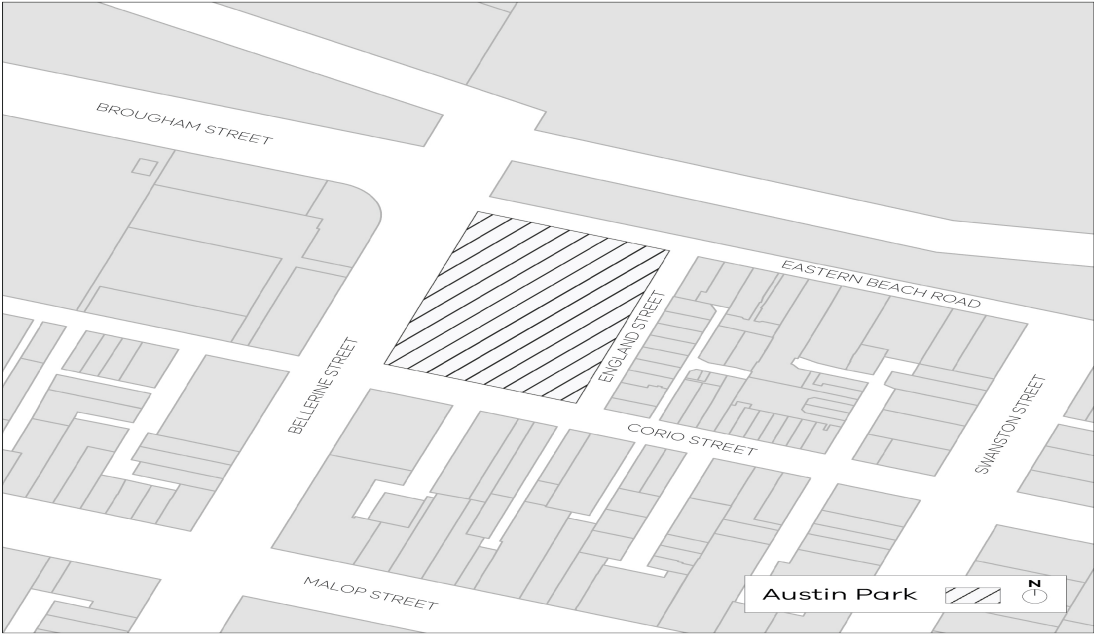
Laneway B

Notes: \*additional shadow means any shadow cast outside any existing shadow from buildings or works, but not a shadow cast by incidental elements such as canopies, kiosks, artworks, screens or trees.

\*\*shadow requirements for primary north-south streets apply to the footpath on the opposite side of the street to the building.

Figure 3



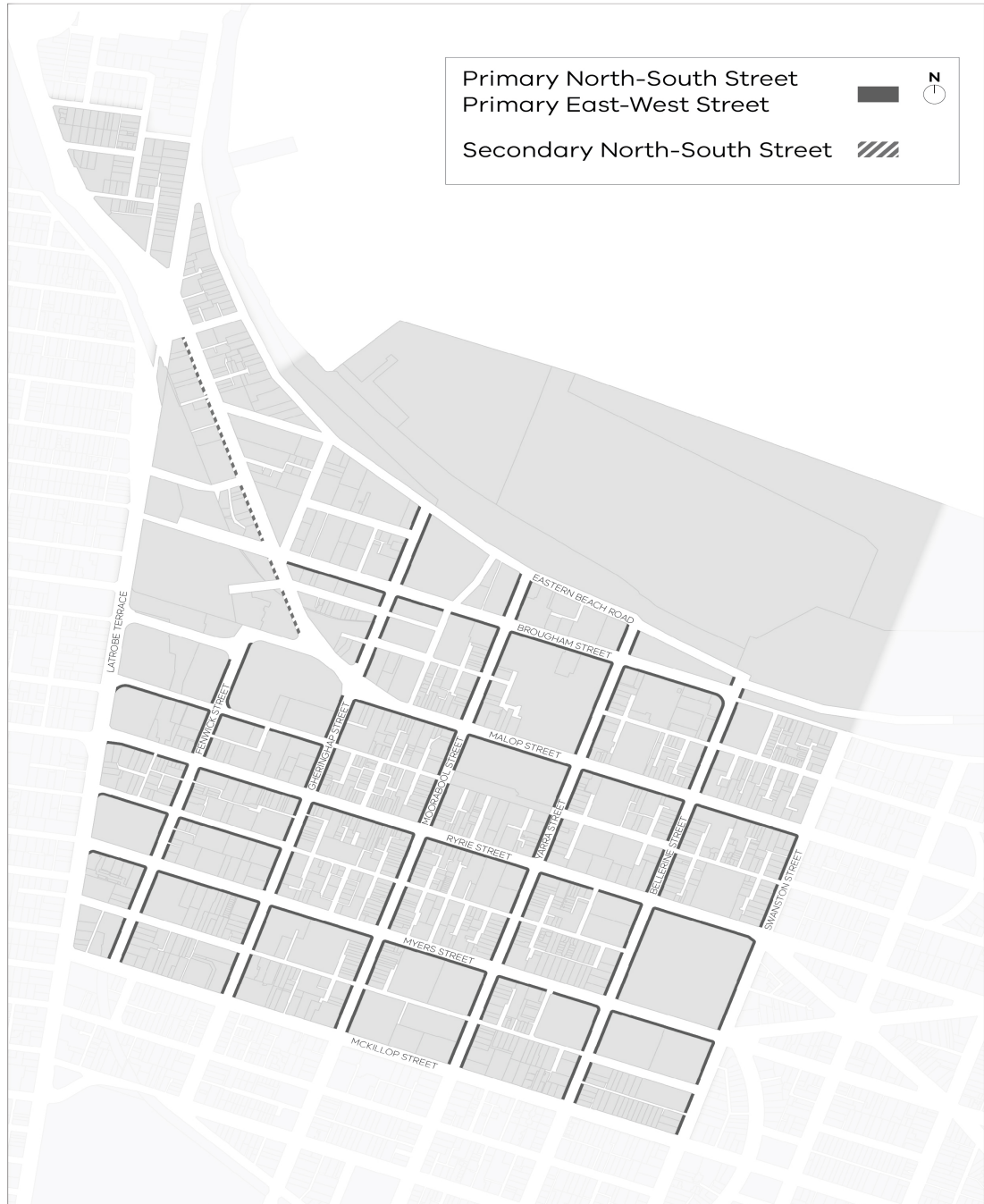








**Figure 4**







## Building design

Buildings should maintain a human scale and protect the street environs by:

- Locating taller buildings in the centre of sites, setback from lower building elements on street edges.
- Ensuring building features and upper storey balconies do not protrude outside the title boundary, including over public areas, excluding ground floor verandahs and sun/overlooking protection devices.
- The ground floor level of buildings should provide active frontages and be articulated using fenestration, including recessed windows with reveals; and architraves, cornices, pilasters and their contemporary equivalents.
- The articulation of facades above the ground floor should create interesting and attractive streetscapes and reduce the apparent bulk of tall buildings by using recesses, recessed balconies, setbacks and expressed roof forms.

Development should avoid blank walls when readily viewed from the public realm, particularly from Western Beach Road, Eastern Beach Road, Mercer Street, Latrobe Terrace (Princes Hwy), Gheringhap Street, Moorabool Street, Yarra Street, Bellerine Street, Brougham Street, Malop Street, Ryrie Street and Myers Street.

Protection should be provided for pedestrians with continuous and generous verandahs and canopies over footpaths along identified key pedestrian routes, unless they would result in conflict with significant heritage places or the overshadowing requirement.

Plant, equipment, rubbish and storage areas should be screened from the public domain and existing and potential adjacent developments.

Adequate daylight should be provided to adjacent buildings, particularly to windows of habitable rooms and balconies of adjacent dwellings.

Taller buildings and works should not dominate the streetscape.

Built form should retain and share views from within Central Geelong and from the identified key view corridors to the city and maintain the general stepping down of built form to Corio Bay.

Development which exceeds the preferred maximum building heights specified at Clause 5 should be of slender design, demonstrate design excellence, provide increased pedestrian permeability and spaces, retain generous visual permeability between taller buildings and retain key view corridors.

Development over water should maintain and enhance public access.

Excluding verandah and awning signs, signs should be contained within the site, and integrated into the design of the building façade, preferably within the first 9 metres, without projecting over footpaths.

The design of buildings and works should seek to minimise the impact of traffic, parking, odour, light spill, signage and noise on the amenity of surrounding neighbourhood.

All new accommodation uses should provide appropriate acoustic attenuation measures.

Non-occupiable architectural features or landmarks, architectural features (such as domes, towers, masts) and building services, (including enclosed stairwells) should not exceed 10 percent of the gross floor area of the top of the building level.

New development should:

- Provide appropriate lighting to evenly illuminate footpaths, particularly under verandahs and undercroft areas, recesses, building entrances and parking areas.

Car parking design should:

- Ensure that the location and design of car parks, loading bays, services areas, car access points and garages to the street should not dominate the public domain and should support safe use and access.

- Avoid car parking spaces, structures and accessways from dominating street frontages by placing car parking underground or in discreetly located multi deck structures so that parked vehicles are not visible from the street.
- Ensure car parks, including multi-level parking structures, are designed for future potential adaptation, and achieve a safe and ‘open’ feel with good sight-lines, way-finding and adequate lighting throughout.
- Conceal parking structures behind or within other buildings and uses.
- Not be located at street level adjacent to identified key pedestrian routes.

### **Views and landmarks**

Development should consider its impact on identified key views to the city shown on the Central Geelong Framework Plan being:

- The Central Geelong Activity Centre as viewed from Rippleside Beach.
- The Central Geelong Activity Centre as viewed from the Limeburner’s Point.
- The Central Geelong Activity Centre as viewed from the corner of High Street and Mt. Pleasant Road, Belmont.
- The Central Geelong Activity Centre as viewed from the Montpellier Park, Highton.
- The Central Geelong Activity Centre as viewed from the north end of Cunningham Pier.

Development which obscures or eliminates the identified key view corridors of Corio Bay and the You Yangs when viewed from Gheringhap Street, Moorabool Street, Yarra Street, Bellerine Street, and Swanston Street should be avoided.

Views of St Mary’s Basilica Spire when viewed from the northern end of Mercer Street should not be obscured or encroached.

### **Strategic sites**

Central Geelong contains a number of significant strategic sites that have a high level of development opportunity as shown on the precinct plans. Larger scale development, consistent with the Precinct provisions at Clause 5, should be encouraged in these locations, particularly those close to the Waterfront and in Precincts 4, 5 or 6.

### **Access and mobility**

Development should allow for the provision of safe and publicly accessible pedestrian routes, linkages and spaces in accordance with the Precinct maps.

Adequate light should be provided to public places and to key pedestrian routes.

### **Environmentally Sustainable Development**

Development should seek to deliver environmentally sustainable outcomes by:

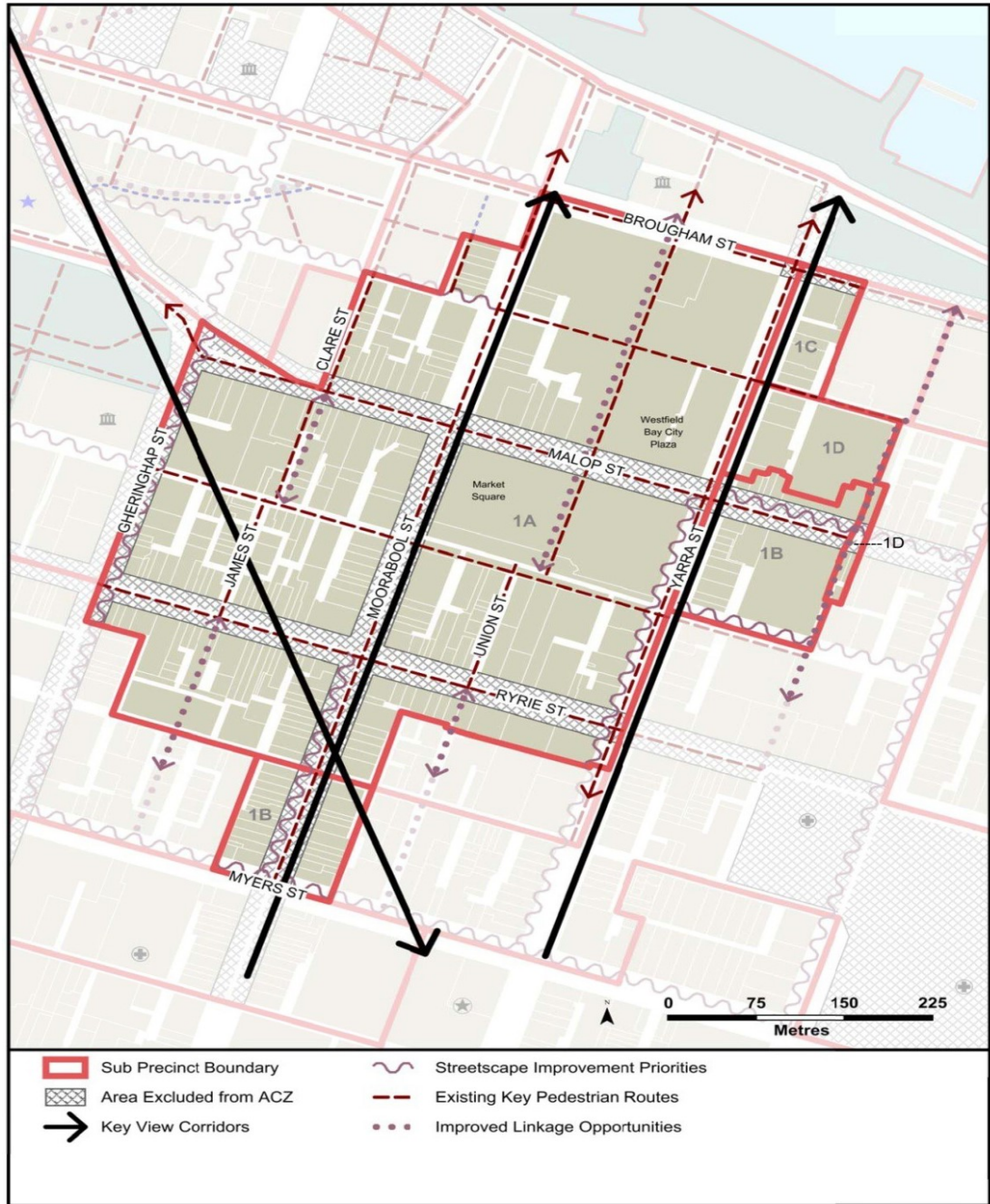
- Encouraging the storage and reuse of storm water and recycling of grey water where possible.
- Encouraging maximum building adaptability through the use of flexible floor plates and building frontages to the street and a minimum floor to ceiling height of 4 metres for ground floor levels.
- Developing buildings that are easily convertible to dwellings with the required amenity and facilities in the future.
- Encourage new buildings and significant renovations to provide sustainable solutions through materials, design, orientation, landscaping, energy use and water use.

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**Precinct provisions**

**5.1 Precinct 1 – Core retail**

**5.1-1 Precinct map**



sd565-3-16

**5.1-2 Precinct objectives**

- To strengthen the precinct as the region’s primary location of retail, business and entertainment facilities.
- To support the following land uses and developments within the precinct:
  - Retail development serving the local community and the wider region, including supermarkets, department stores and specialty retail shopping.

- Entertainment facilities including entertainment based retail, cinemas, nightclubs, bars and the provision of food and drink premises including restaurants.
- Office and other employment uses that complement surrounding retail land uses.
- To improve linkages from Precinct 1 to other features, destinations and precincts around Central Geelong including the waterfront and the Western Wedge.

### 5.1-3 Precinct requirements

Sub-Precinct	A Preferred setback of building from street frontage (boundary)	B Minimum street edge wall height +*	C Preferred maximum street edge wall height +*	D Preferred setback of building above street edge wall height +*	E Preferred minimum building height*	F Preferred maximum building height*
1A	0 Metres ^	10 metres	20 metres	5 metres	None specified	32 metres
1B	0 Metres ^	10 metres	20 metres	5 metres	None specified	40 metres
1C	0 Metres ^	None specified	20 metres	None specified	None specified	24 metres
1D	0 Metres ^	10 metres	20 metres	5 metres	None specified	40 metres

\* As measured from natural ground level.

^ Setbacks at ground level along the frontage may need to be provided for outdoor seating or the display of goods where not suitable for the adjacent footpath.

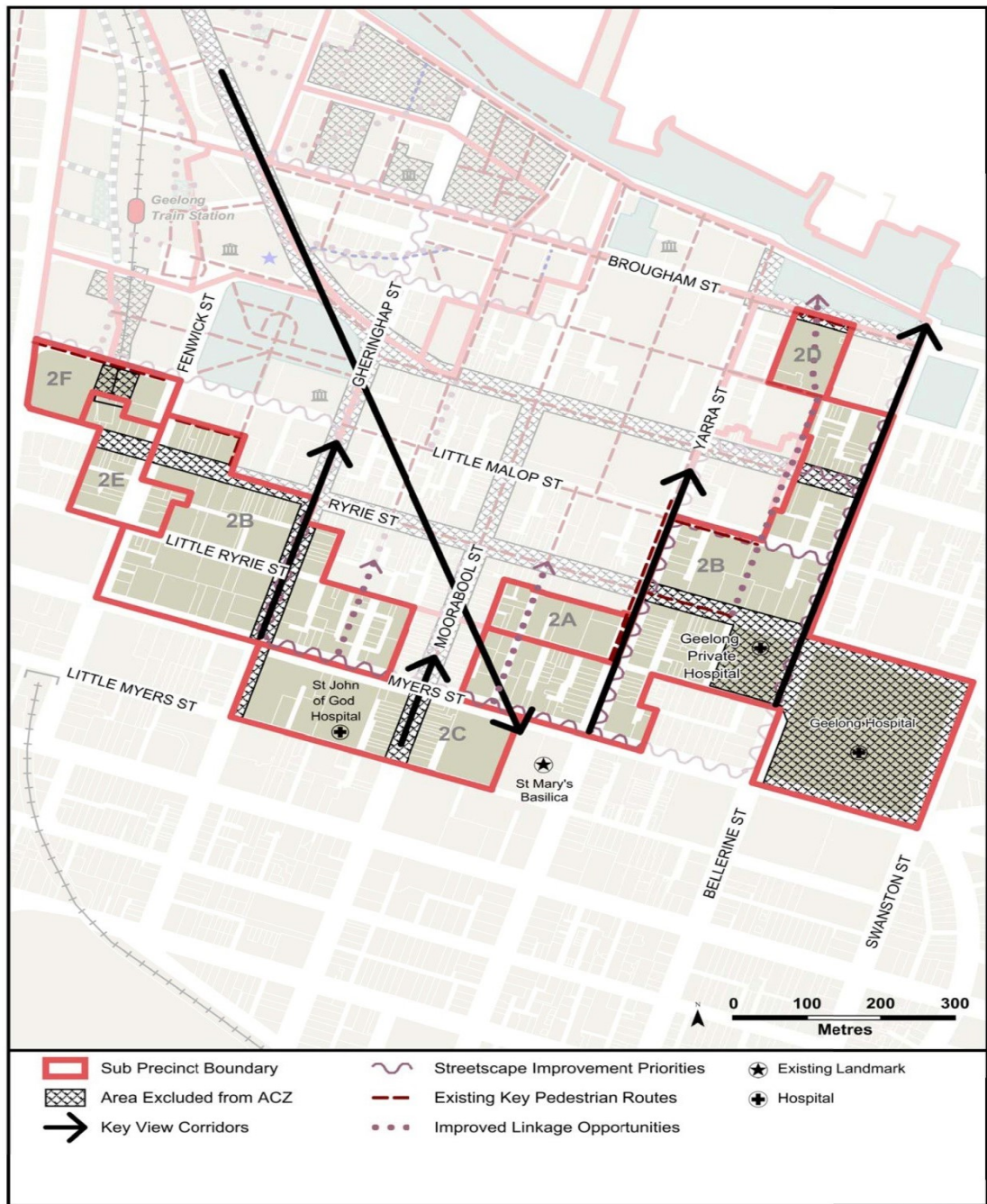
+ Street edge wall height (using the mid point where building is on sloping land) is the height of the wall on the front title boundary where there is no front setback.

### 5.1-4 Precinct guidelines

- Large building setbacks, landscaping and car parking in front setback areas should be avoided.
- Private balconies should be designed to minimise overlooking from adjacent streets, windows and balconies from the same or adjacent buildings. This may include opaque balustrades and side screening.
- The location and design of private balconies and windows should contribute to the activation of street frontages and the surveillance of the street whilst minimising the overlooking of neighbouring private open spaces.
- Buildings at ground level along key pedestrian routes should ensure a minimum of 75 percent of the street frontage is a non-vehicular entry or display window.

## 5.2 Precinct 2 – Commercial living and medical

### 5.2-1 Precinct map



sd565-4-15

### 5.2-2 Precinct objectives

- To strengthen the precinct as the primary area of health services, office and employment activity with complementary accommodation and secondary retail uses.
- To support the following land uses and developments within the precinct:
  - Office and business activity including professional and business services and other employment uses.
  - Medical/health uses in the clusters around the three major hospitals, including patient treatment, medical based retail and research facilities associated with the hospital facilities.
  - Accommodation uses, including student accommodation, above ground floor in new and

refurbished buildings.

- Retail uses where it does not undermine the core retail function of Precinct 1, including local convenience uses, restricted retail premises and trade supplies uses.

### 5.2-3 Precinct requirements

Sub-Precinct	A	B	C	D	E	F
	Preferred setback of building from street frontage (boundary)	Minimum street edge wall height +*	Preferred maximum street edge wall height +*	Preferred setback of building above street edge wall height +*	Preferred minimum building height*	Preferred maximum building height*
2A	0 Metres ^	10 metres	20 metres	5 metres	None specified	32 metres
2B	0 Metres ^	10 metres	20 metres	5 metres	None specified	40 metres
2C	0 Metres ^	10 metres	20 metres	5 metres	None specified	24 metres
2D	0 Metres ^	None specified	20 metres	None specified	None specified	24 metres
2E	None specified ^	None specified	None specified	None specified	None specified	28 metres
2F	None specified ^	None specified	None specified	None specified	None specified	28 metres

\* As measured from natural ground level.

^ Setbacks at ground level along the frontage may need to be provided for outdoor seating or the display of goods where not suitable for the adjacent footpath.

+ Street edge wall height (using the mid point where building is on sloping land) is the height of the wall on the front title boundary where there is no front setback.

### 5.2-4 Precinct guidelines

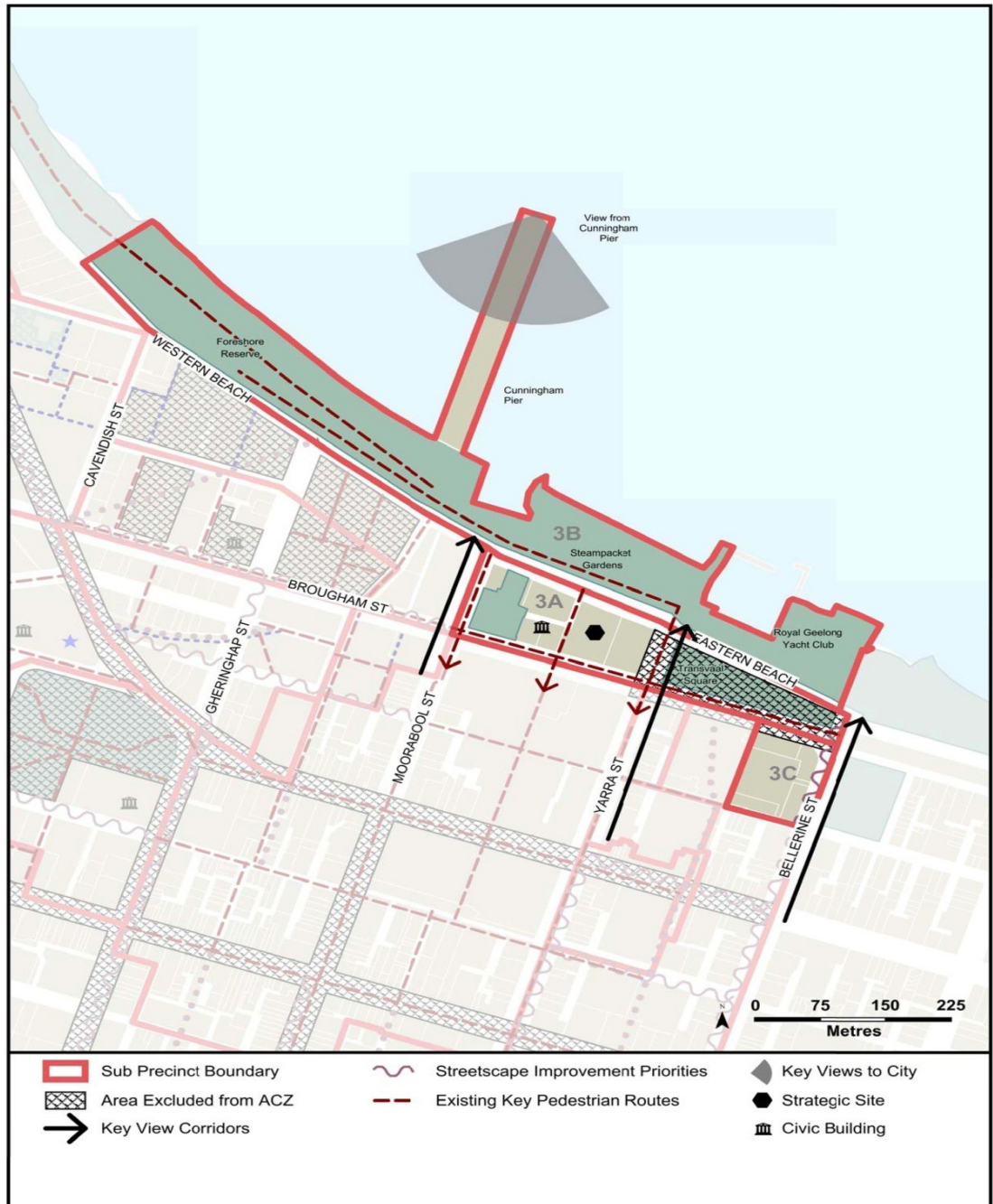
- Large building setbacks, landscaping and car parking in front setback areas should be avoided in sub-precincts 2A-2D.
- Private balconies should be designed to minimise overlooking from adjacent streets, windows and balconies from the same or adjacent buildings. This may include opaque balustrades and side screening.
- Buildings along the edge of the Activity Centre boundary that adjoin a residential zone or heritage

place should provide:

- a transition by requiring new buildings to be no more than 1 storey higher than development on the adjoining residential zone or heritage place.
- For additional storeys, a setback of 2 metres for every 1 metre in additional height.
- Buildings at ground level along key pedestrian routes should ensure a minimum of 75 percent of the street frontage is a non-vehicular entry or display window.

### 5.3 Precinct 3 – Waterfront

#### 5.3-1 Precinct map



sd565-5-15

#### 5.3-2 Precinct objectives

- To strengthen the precinct as a tourist and leisure destination.
- To protect the existing amenity along the waterfront foreshore.
- To increase the range of living, working and visiting activities on the waterfront, and enhance its visual appearance as Central Geelong’s most iconic feature.
- To support the following land uses and developments within the precinct:
  - Tourist, lifestyle and entertainment activities.
  - Accommodation uses on upper floors.
  - Speciality retail uses that complement tourist activities.
  - Café and restaurant uses.

### 5.3-3 Precinct requirements

Sub-Precinct	A	B	C	D	E	F
	Preferred setback of building from street frontage (boundary)	Minimum street edge wall height +*	Preferred maximum street edge wall height +*	Preferred setback of building above street edge wall height +*	Preferred minimum building height*	Preferred maximum building height*
3A	0 Metres ^	None specified	20 metres	None specified	None specified	24 metres
3B	None specified ^	None specified	None specified	None specified	None specified	16 metres
3C	0 Metres ^	None specified	20 metres	None specified	None specified	24 metres

\* As measured from natural ground level.

^ Setbacks at ground level along the frontage may need to be provided for outdoor seating or the display of goods where not suitable for the adjacent footpath.

+ Street edge wall height (using the mid point where building is on sloping land) is the height of the wall on the front title boundary where there is no front setback.

### 5.3-4 Precinct guidelines

- Large building setbacks, landscaping and car parking in the front setback area should be avoided in Sub-precinct 3A.
- Redevelopment of sites where a pedestrian or vehicular linkage opportunity is identified should make provision for the linkage within the design of new development.
- Accommodation should only be provided in upper levels of development to maintain ground level areas for more active uses.
- Private balconies should be designed to minimise overlooking from adjacent streets, windows and balconies from the same or adjacent buildings. This may include opaque balustrades and side

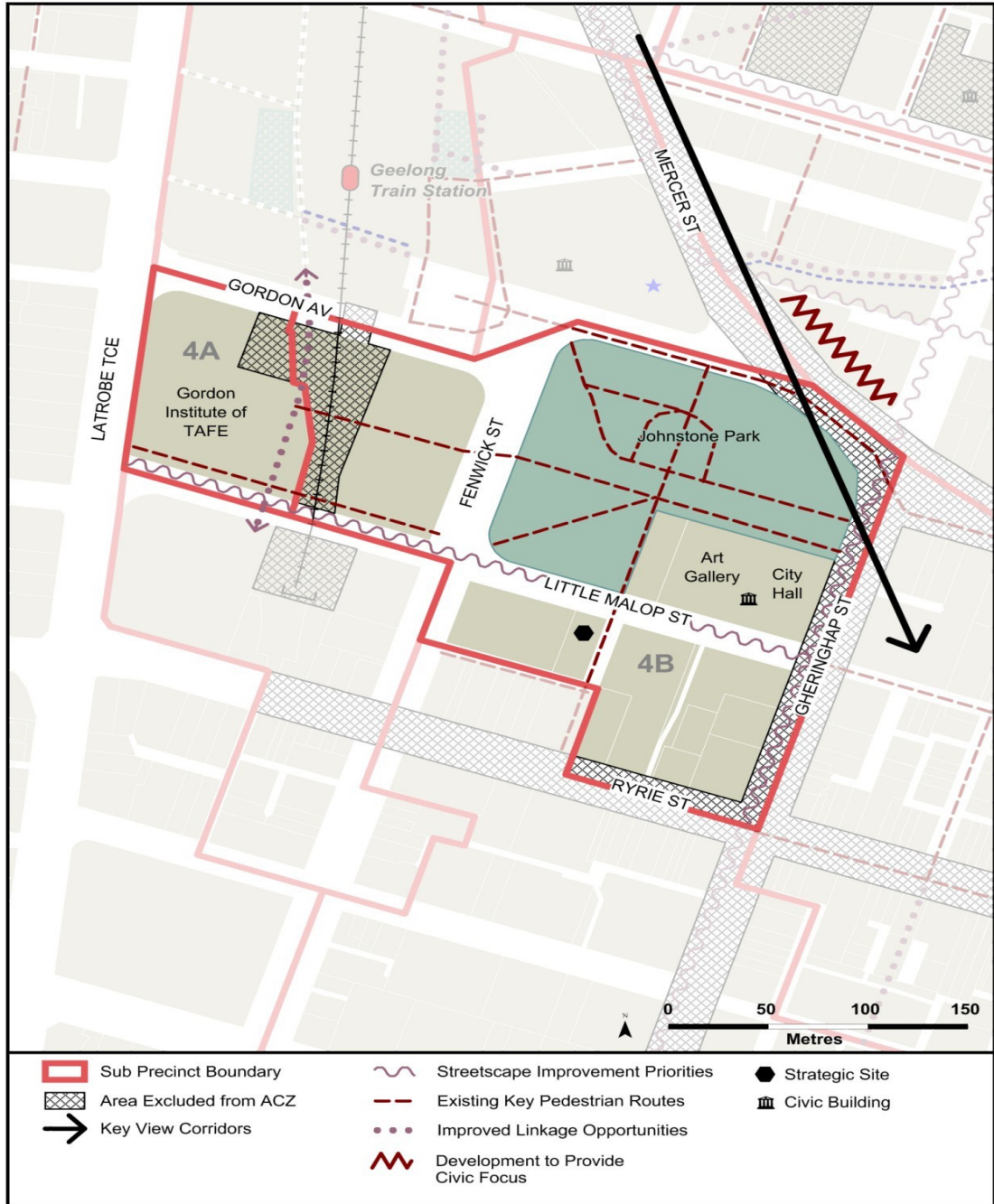


screening.

- The location and design of private balconies and windows should contribute to the activation of street frontages and the surveillance of the street whilst minimising the overlooking of neighbouring private open spaces.
- Buildings at ground level along key pedestrian routes precinct should ensure a minimum of 75 percent of the street frontage is a non-vehicular entry or display window.

## 5.4 Precinct 4 – Civic and cultural

### 5.4-1 Precinct map



4614-12

### 5.4-2 Precinct objectives

- To maintain, strengthen and expand the precinct as the principal area for arts, culture, learning and civic activities.
- To support the following land uses and developments within the precinct:
  - Culture based activities, including the development and exhibition of art.
  - Consolidated civic functions that serve the local and regional community.
  - Education, training and learning uses.
  - Retail and office uses that are ancillary to arts and education facilities.
  - Auditorium facilities for public gatherings, including a convention centre.
- To ensure that new development along the Mercer Street frontage has a civic focus which complements the existing civic buildings surrounding Johnstone Park.
- To respect the character of Johnstone Park.
- To create attractive frontages onto streets approaching the railway underpass.

### 5.4-3 Precinct requirements

Sub-Precinct	A	B	C	D	E	F
	Preferred setback of building from street frontage (boundary)	Minimum street edge wall height +*	Preferred maximum street edge wall height +*	Preferred setback of building above street edge wall height +*	Preferred minimum building height*	Preferred maximum building height*
4A	Must be a minimum of 6 metres and a maximum of 10 metres	None specified	None specified	None specified	12 metres	28 metres
4B	0 metres ^	None specified	None specified	None specified	12 metres	28 metres

\* As measured from natural ground level.

^ Setbacks at ground level along the frontage may need to be provided for outdoor seating or the display of goods where not suitable for the adjacent footpath.

+ Street edge wall height (using the mid point where building is on sloping land) is the height of the wall on the front title boundary where there is no front setback.

### 5.4-4 Precinct guidelines

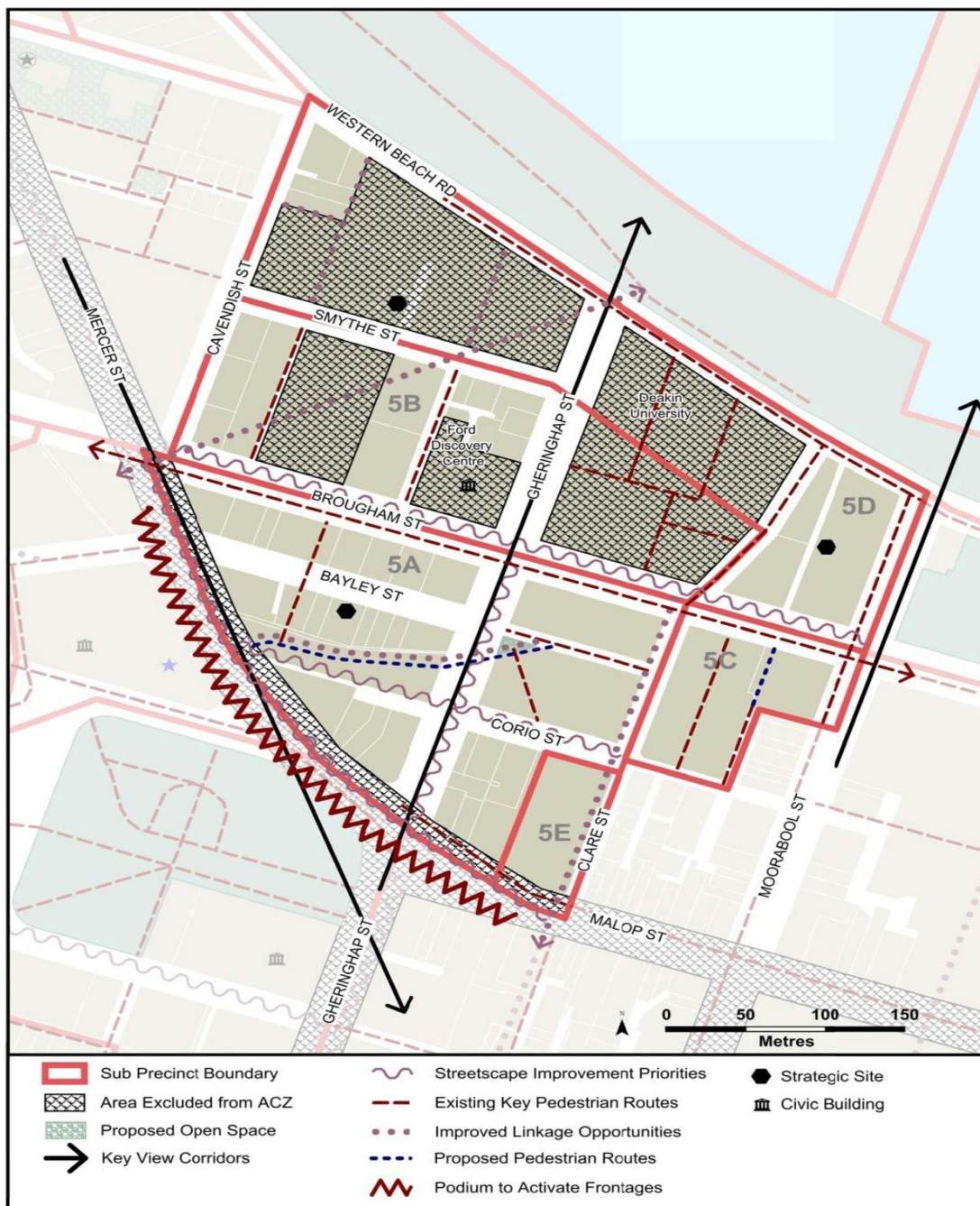
- Development adjacent or opposite to Johnstone Park should:
  - Have consistent building heights around the perimeter of Johnstone Park, respecting heritage buildings including City Hall, Art Gallery and Gordon Institute. Any increased building heights should be significantly setback from the frontages facing Johnstone Park, so as to appear to be

separate buildings when viewed from across the park.

- Avoid overshadowing of Johnstone Park.
- Have a setback consistent with surrounding buildings.
- Provide landscape setbacks from the Gordon Avenue frontages to the rail underpasses.
- Side setbacks between buildings or building groups should be provided to allow buildings to appear as free standing.
- New buildings fronting Latrobe Terrace should continue the punctuated sequence of large free standing buildings in landscape settings.
- New buildings in frontages opposite Johnstone Park should maintain consistency in scale with City Hall, the Art Gallery and Gordon Institute.

## **5.5 Precinct 5 – Inner western wedge**

### **5.5-1 Precinct map**



sd565-8-16

### 5.5-2 Precinct objectives

- To support development of the precinct with a mixture of uses with a design and technology focus integrating university activities into the city fabric.
- To ensure a mix of accommodation, business and office, education, food and drink premises and other complementary uses, including retail use where it supports a local convenience function and does not compete with the core retail function of Precinct 1.
- To encourage education, office and residential uses to locate above uses with active street frontages.
- To create a precinct of more intensive development permeated by a network of pedestrian routes, squares and courtyards that characterise a mix of street level activities.
- To create public spaces, plazas and pedestrian routes that link to Western Beach Road. To provide views of Corio Bay that enable shared views of the waterfront from the upper floors of new and

existing development.

- To encourage building scales that are sensitive to the foreshore and environs.

### 5.5-3 Precinct requirements

Sub-Precinct	A	B	C	D	E	F
	Preferred setback of building from street frontage (boundary)	Minimum street edge wall height +*	Preferred maximum street edge wall height +*	Preferred setback of building above street edge wall height +*	Preferred minimum building height*	Preferred maximum building height*
5A	0 Metres ^	None specified	15 metres along Mercer and Malop Streets	4 metres along Mercer and Malop Streets	12 metres	28 metres
5B	0 Metres ^	None specified	None specified	None specified	12 metres	28 metres
5C	0 Metres ^	None specified	None specified	None specified	12 metres	28 metres
5D	0 Metres ^	None specified	None specified	None specified	12 metres	20 metres
5E	0 Metres ^	None specified	15 metres along Malop Street	4 metres along Malop Street	12 metres	28 metres

\* As measured from natural ground level.

^ Setbacks at ground level along the frontage may need to be provided for outdoor seating or the display of goods where not suitable for the adjacent footpath.

+ Street edge wall height (using the mid point where building is on sloping land) is the height of the wall on the front title boundary where there is no front setback.

### 5.5-4 Precinct guidelines

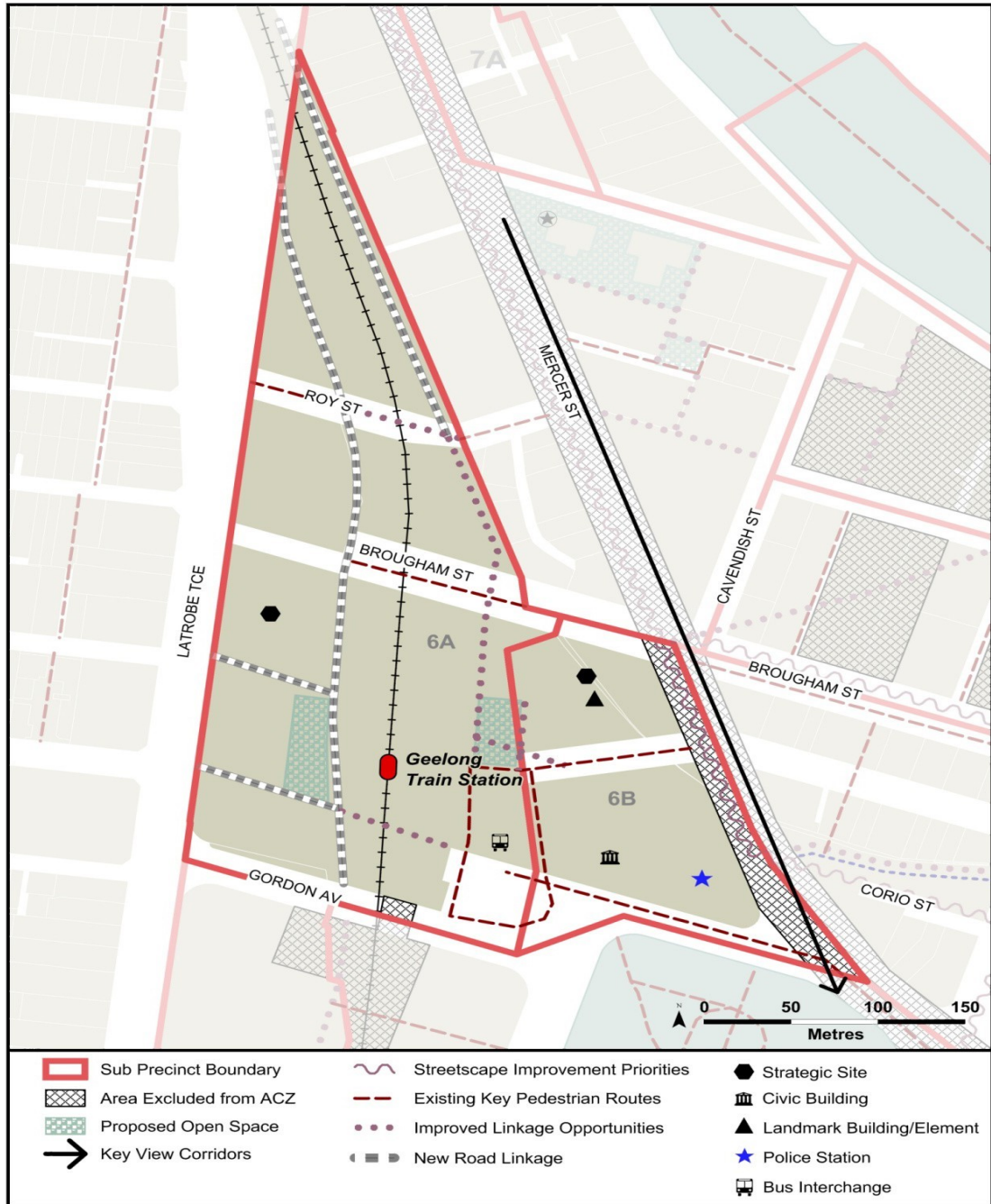
- New buildings opposite and adjacent to Johnstone Park should have a setback consistent with surrounding buildings.
- The use and development of land on the east side of Mercer Street should provide an appropriate interface to protect the amenity of properties adjoining Western Beach Road.
- Any new buildings on frontages opposite Johnstone Park should maintain consistency in scale with

the City Hall, the Art Gallery, and Gordon Institute.

- A podium to Mercer Street should be created to facilitate active frontages.

## 5.6 Precinct 6 – Station

### 5.6-1 Precinct map



4616-14

### 5.6-2 Precinct objectives

- To support Geelong Railway Station as the region’s primary railway station, travel interchange and a sustainable multi-modal transport hub and encourage uses that have synergies with the station and contribute to an intensively used precinct at all times.
- To support development of the precinct for a mixture of uses including residential, food and drink

premises and complementary retail with a design and technology focus.

- To create attractive frontages onto streets approaching the railway underpasses.
- To ensure new buildings along the east side of Latrobe Terrace retain the existing character of large free standing buildings in landscape settings.
- To enhance the visibility of Geelong Railway Station as a focal point of the Precincts 4, 5, 6 and 7.

### 5.6-3 Precinct requirements

Sub-Precinct	A	B	C	D	E	F
	Preferred setback of building from street frontage (boundary)	Minimum street edge wall height +*	Preferred maximum street edge wall height +*	Preferred setback of building above street edge wall height +*	Preferred minimum building height*	Preferred maximum building height*
6A	Should be between 6-10 metres fronting Latrobe Terrace, 0 metres elsewhere	None specified	None specified	None specified	12 metres	60 metres
6B	0 metre front and side setback to Mercer Street.	None specified	15 metres	4 metres	12 metres	60 metres

\* As measured from natural ground level.

^ Setbacks at ground level along the frontage may need to be provided for outdoor seating or the display of goods where not suitable for the adjacent footpath.

+ Street edge wall height (using the mid point where building is on sloping land) is the height of the wall on the front title boundary where there is no front setback.

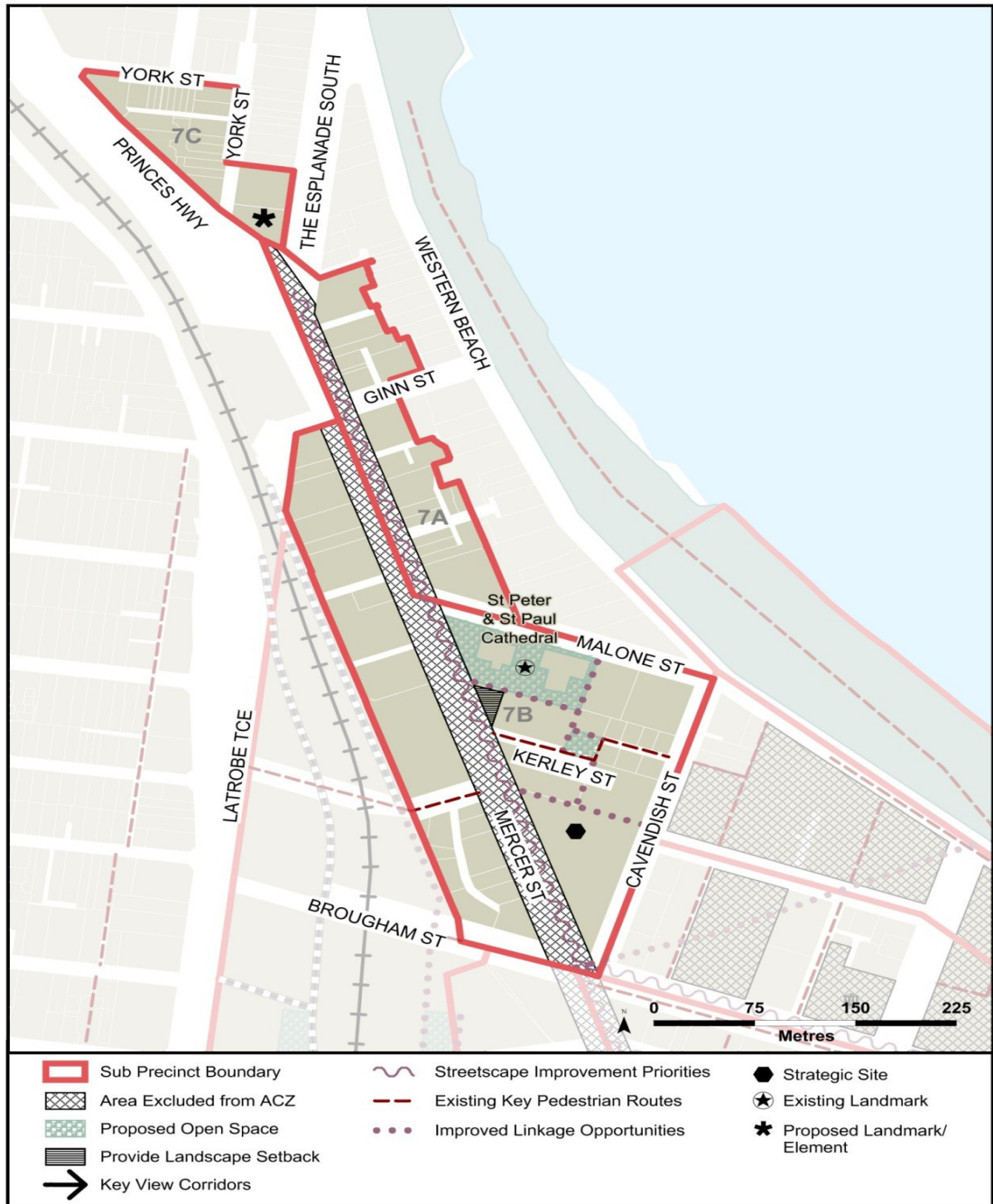
### 5.6-4 Precinct guidelines

- Developments adjacent and opposite to Johnstone Park should:
  - Have consistent building heights around the perimeter of Johnstone Park, respecting heritage buildings including City Hall, Art Gallery and Gordon Institute. Any increased building heights should be significantly setback from the frontages facing Johnstone Park, so as to appear to be separate buildings when viewed from across the park.
  - Avoid overshadowing of Johnstone Park.
  - Have a setback consistent with surrounding buildings.
- Side setbacks should be provided between buildings or building groups.

- Landscape setbacks should be provided to Gordon Avenue, Brougham and Roy Streets.
- Railway land should be intensively redeveloped to take advantage of its highly accessible location.
- Development should provide strong architectural enclosure and definition of plazas east and west of the station and improve the visibility of the station as a focal point of the Geelong Western Wedge.

## 5.7 Precinct 7 – Mercer Street

### 5.7-1 Precinct map



4617-13

### 5.7-2 Precinct objectives

- To support development of the precinct to create a lively boulevard with active frontages providing a mixture of uses with residential accommodation at upper levels and to the rear.



- To ensure a mix of accommodation, business and offices, education and other complementary uses, including retail use where it supports a local convenience function and does not compete with the core retail function of Precinct 1.
- To encourage food, drink and entertainment uses to promote evening time activities and to take advantage of the close proximity of Geelong Railway Station, education institutions and the foreshore.
- To maximise the potential intensity of development adjacent to the railway where potential impacts on other uses will be minimal.
- To ensure that development abutting existing residential properties adjoining Western Beach Road does not unreasonably affect their amenity.
- To maintain and enhance the views of the St Peter and St Paul Cathedral from Mercer Street and enhance the surrounding open space.
- To encourage buildings on the west side of Mercer Street to increase in height from Ginn Street to Brougham Street.

### 5.7-3 Precinct requirements

Sub-Precinct	A Preferred setback of building from street frontage (boundary)	B Minimum street edge wall height +*	C Preferred maximum street edge wall height +*	D Preferred setback of building above street edge wall height +*	E Preferred minimum building height*	F Preferred maximum building height*
7A	0 metres ^	None specified	15 metres	4 metres	12 metres	15 metres
7B	0 metres ^	None specified	15 metres	4 metres	12 metres	60 metres
7C	0 metres ^	None specified	15 metres	None specified	12 metres	15 metres

\* As measured from natural ground level.

^ Setbacks at ground level along the frontage may need to be provided for outdoor seating or the display of goods where not suitable for the adjacent footpath.

+ Street edge wall height (using the mid point where building is on sloping land) is the height of the wall on the front title boundary where there is no front setback.

### 5.7-4 Precinct guidelines

- Setbacks consistent with the existing buildings setbacks should be provided for new development in Malone Street.
- A landscaped angled setback from Mercer St between Kerley Street and Malone Street should be provided to improve northerly views to St. Peter and St. Paul Cathedral along Mercer Street.

- Where building sites directly adjoin houses with side setbacks, and are not separated from them by a street or laneway, a landscaped buffer of 2 metres should be provided to protect residential amenity.
- Heights of buildings in sub precinct 7C should reduce from 15 metres to the east and the north to respond to adjoining low level residential development.
- Use and development of land on the east side of Mercer Street should provide an appropriate interface to protect the amenity of residentially zoned properties adjoining Western Beach.

## 6.0

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### Application requirements

The following application requirements apply to an application for a permit under Clause 37.08, in addition to those specified in Clause 37.08 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

#### Use of land

An application to use land must be accompanied by the following information:

- The likely economic impact on Precinct 1 of any proposed retail use/development of over 2,000 square metres of leasable floor area outside of Precinct 1.
- For applications for sensitive uses (residential, child care centre, pre-school or primary school uses) proximate to the Geelong Railway Station, an assessment prepared by an acoustic engineer, of the likely effects of railway noise and vibration on the proposed development and the amenity of its occupants and measures to attenuate any adverse effects.

#### Buildings and works

An application to construct a building or construct or carry out works must be accompanied by the following information:

- For any building or other structure with a height over 15 metres above natural ground level:
  - Diagrams which show:
    - Street views from eye-level within the context of the surrounding development showing the proposed building in 3 dimensional forms within the context of the surrounding development, with particular reference to demonstrating how the proposal complies with the objectives of this schedule.
    - Views from identified key views, including assessment of any impact on the view corridors to St.Mary's Basilica Spire.
    - An assessment of view sharing.
    - Details of roof forms and any tower elements/landmark features.
    - Sunlight, daylight and shadow analysis of the proposed development.
  - Wind analysis prepared by a suitably qualified person that:
    - Explains the effect of the proposed development on the wind conditions in publicly accessible areas within a distance equal to half the longest width of the building, measured from all façades, or half the total height of the building, whichever is greater.
    - For developments above 40 metres, at a minimum, model the wind effects of the proposed development and its surrounding buildings (existing and proposed) using wind tunnel testing.
    - Identifies the principal role of each portion of the publicly accessible areas for sitting, standing or walking purposes.
    - Does not rely on street trees or any other elements such as screens within public areas for wind mitigation

- A report outlining the environmentally sustainable design elements of the proposal in relation to building energy management, water sensitive urban design, construction materials, indoor environment quality, waste management and transport.
- For developments adjacent to public streets or public pedestrian paths:
  - Details of the proposed interface treatment to the public domain, including façade treatment, entrances, advertising and any proposed streetscape improvements.
  - For an application that creates new pedestrian connections, a written statement showing how the proposal meets Crime Prevention through Environmental Design (CPTED) principles.
- For developments adjacent to heritage places within a Heritage Overlay, a written statement showing how the proposal respects and maintains views to the heritage place (consistent with the description in the Heritage Overlay).
- For any buildings and works associated with new accommodation or adjacent to existing accommodation where there is an interface between sensitive uses and noise generating uses, an acoustic assessment prepared by a qualified acoustic consultant . The assessment must document the acoustic mitigation measures and include:
  - The internal and external noise levels and the method of calculation used.
  - Details of the sound insulating materials and design of walls, roof, windows, door, external glazing and the air- conditioning or ventilation system.
- A 3D digital model of the proposed buildings and works in a format to the satisfaction of the responsible authority. The model may be used for assessing overshadowing and visual impacts caused by the proposal and for general archive, research and public information purposes.

## 7.0

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### Notice and review

An application in respect of land in the Activity Centre Zone Schedule 1 under Clause 43.01, Clause 52.05, Clause 52.06, Clause 52.07 and/or Clause 52.27 is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act.

## 8.0

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### Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.08, in addition to those specified in Clause 37.08 and elsewhere in the scheme:

#### Use of land

- Whether the proposed retail use and the existing overall retail floor area within the zone competes with the main retail area or replicates uses in the Core Retail Precinct 1.
- Whether the retail and food and drink component of a proposed Cinema based entertainment facility could reasonably be located at the ground floor with the cinema component located above.
- For applications in Precinct 6, the comments of the Director of Public Transport, any Minister or public land manager having responsibility for the care or management of the land or adjacent land, the municipal Council (where not the responsible authority).

#### Buildings and works

Before deciding on an application, in addition to the decision guidelines at Clause 65 and Clause 37.08-9 the responsible authority must consider, as appropriate:

- Whether the location, scale, siting, roof form, bulk and appearance of any proposed buildings and works will:
  - Strengthen the City's unique urban identity.

- Promote sustainable growth.
- Improve the public environment.
- Whether new buildings within and fronting Johnstone Park are of exceptionally high architectural quality.
- Whether the proposal would unreasonably overshadow the public or private realms.
- Whether the proposal achieves appropriate view-sharing to the identified key views, vistas and landmarks.
- Whether the proposal incorporates features of environmentally sustainable design.
- Whether the impacts of the proposed development on the micro climate are reasonable, particularly with regard to any wind tunnelling effect.
- Whether the proposed design of car parking and access arrangements is appropriate.
- Whether the proposal incorporates appropriate noise mitigation measures.
- For applications in Precinct 6, the comments of the Director of Public Transport, any Minister or public land manager having responsibility for the care or management of the land or adjacent land, and the municipal Council (where not the responsible authority).

## 9.0

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### Signs

Sign requirements are at Clause 52.05. All land located within Precinct 3 is in Category 3. All other land is in Category 1.

## 10.0

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### Other provisions of the scheme

None specified.

## 11.0

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### Reference documents

*Central Geelong: Looking Forward Structure Plan* , City of Greater Geelong (July 2007)

*Central Geelong Urban Design Guidelines* , City of Greater Geelong and Department of Planning and Community Development, Victorian State Government (October 2008)

*Geelong Western Wedge Framework* , Planisphere and Jones & Whitehead Pty Ltd (April 2005, updated September 2005)

*Central Geelong Action Plan* , Central Geelong Taskforce, December 2013

*Revitalising Central Geelong, Public Open Space Network Report 2018*

*Revitalising Central Geelong, Laneway Action Plan, August 2018*