

General Notes for Commercial Works

Revised May 2019

GENERAL NOTES (NCC 2019, BCA Vol 2)

All materials and work practices shall comply with, but not limited to the Building Regulations 2019, the National Construction Code series 2019 Building Code of Australia Volume 2 and all relevant current Australian Standards (as amended) referred to therein.

Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2019 Building Code of Australia Volume 2.

All materials and construction practice shall meet the Performance Requirements of the Building Code of Australia. Where an alternative solution is proposed then prior to implementation or installation it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the Building Code of Australia.

Step sizes (other than for spiral stairs) to be:-
Risers (R) 190mm maximum and 115mm minimum
Going (G) 355mm maximum and 250mm minimum for Public stairways and 355mm maximum and 240mm minimum for Private stairways
2R + 1G = 700mm maximum and 550mm minimum
Constructed with a less than 125mm gap to open treads

All treads, landings and the like to have non slip finish or suitable non-skid strip near edge of nosing.

Provide balustrades where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Balustrades (other than tensioned wire balustrades) to be:-
1000mm minimum above finished surface level of balconies, landings or the like, and
1000mm minimum above finished surface level of stair nosing or ramp, and
Vertical with a less than 125mm gap between, and
Any horizontal element within the balustrade between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or reads.

Top of hand rails to be minimum 865mm vertically above stair nosing and floor surface of ramps.

Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around.

Waterproofing of wet areas to comply with BCA Part F1.7.

For buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of AS3700-2011 Masonry structures

All storm water to be taken to the legal point of discharge to the relevant authorities' approval.

These drawings shall be read in conjunction with all architectural specifications, relevant structural and all other consultants' drawings/details and specifications and with any other written instructions issued in the course of the contract.

All measurements and levels in millimeters U.N.O.

Figured dimensions take precedence over scaled dimensions.

The builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures and all essential services to be maintained during all works.

The builder and subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.

Installation of all services shall comply with the respective Supply Authority requirements.

The builder and subcontractor shall ensure that all storm water drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.

These plans have been prepared for the exclusive use by the client of *[insert Building Designer]* ('the Designer') for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.

The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. Any said variations must be accepted by all parties to

the agreement and where applicable the Relevant Building Surveyor prior to implementing the said variation.

Refer to Civil Engineers design and details for all storm water, car parking and driveway construction requirements.

Refer to fire services design for all hydrant, hose reels and extinguisher details.

Electrical switchboards located in the path of travel to exits to be enclosed in a metal or other non combustible cabinet with smoke proof doors. Significant switchboards shall be provided with a 5kg carbon dioxide extinguisher or another type of extinguisher with a minimum classification of 1A.E and fitted with a hose complete with extinguisher identification signage and shall be located between 2m and 20m from the significant switchboard.

Fire hazard properties of materials and assemblies to comply with BCA Specification C1.10.

Mechanical ventilation or air-conditioning of rooms to be provided with a system complying with AS1668.2 and AS/NZS 3666.1 as amended. Exhaust outlets to be located no closer than 6.0m to fresh air inlets.

Sediment pollution control:-
A site management plan is to be implemented during construction to control sediment run-off in accordance with EPA Victoria publication #275 'construction techniques for sediment pollution control'.
Provide 'propex' or written approved equivalent silt fences to the low side of the allotment and around all soil stockpiles and storm water inlet pits / sumps and install 'silt stop' filter bags over all storm water entry pits during construction works.
'Supergro' or written approved equivalent erosion control fabric to be placed over garden beds to prevent surface erosion during re vegetation period

Personal loading:-
Based on sanitary facilities provided per BCA Table. F2.3

Male Employees:-
Female Employees:-

Male Patrons:-
Female Patrons:-

Male Participants:-
Female Participants:-

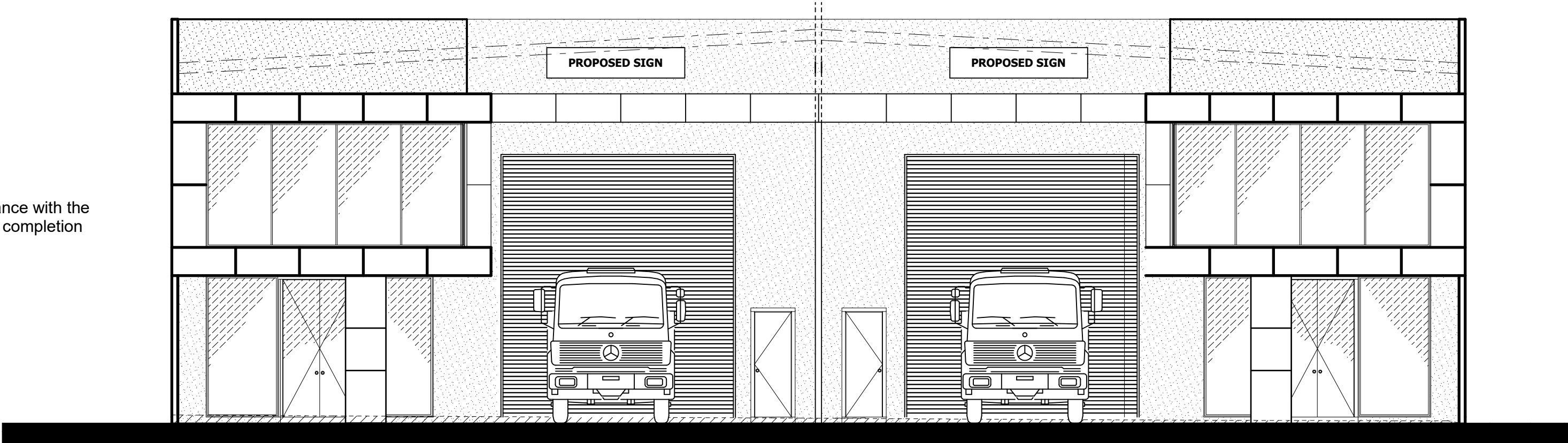
Children:-

Authorities List:-
Municipality-
Sewerage authority-
Drainage authority-
Relevant Building Surveyor-
Relevant Fire Authority-
Relevant Electrical Supply Authority-

Planning Permit:-
Planning Permit No.-
Issue Date-
Builder to allow for all works to comply and include all required conditions in accordance with the Planning Permit and shall be responsible that all Planning Conditions are met at the completion of works.

Project Consultants List:-
Consulting Structural Engineer-
Consulting Civil Engineer-
Consulting Fire Service Design-
Consulting Land Surveyor-
Consulting Geotechnical Engineer-
Consulting Landscape Designer-
Consulting Mechanical Services Engineer-
Consulting Electrical Engineer -
Consulting Hydraulic Engineer,
Consulting Lighting Designer-

Site geotechnical investigation:-
Refer to geotechnical investigation report no. :-
By



LOT 45 APEX DRIVE TRUGANINA

- A01 - COVER SHEET
- A02 - SITE PLAN
- A03 - GROUND FLOOR PLAN
- A04 - FIRST FLOOR PLAN
- A05 - ROOF PLAN
- A06 - ELEVATIONS
- A07 - ELEVATIONS
- A08 - SECTION/WINDOW & DOOR SCHEDULE
- A09 - DETAILS

KARANFILOVSKI INVESTMENTS
At: 21 APEX DRIVE TRUGANINA, VIC 3029

FIRE:
EMERGENCY LIGHTING EXIT SIGNS
ARE PORTABLE EXIT. DRY WATER
FIRE BLANKETS FOR KITCHENS.

<div>M7 Design Group Pty. Ltd.</div> <div>building designers</div> <div></div> <div></div> <div>registered building practitioner</div>	<div>T : 03 9317 8111</div> <div>F : 03 9317 8119</div> <div>M : 0409 169 993</div> <div>A : 1/4-61 Wattle Rd</div> <div>Melbourne, VIC</div>	Proposed: WAREHOUSE DEVELOPMENT	date 30.09.19	amendments AS PER SURVEYORS REQUEST
		At: LOT 45 APEX DRIVE TRUGANINA	09.10.19	AS PER SURVEYORS REQUEST
		Client: KARANFILOVSKI INVESTMENTS		
		Job No: 1816	Date: 19.09.19	
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SITE NOTES:

REFER TO: HOME AND INDUSTRIAL SOIL TESTING PLAN OF SURVEY FOR LOCATION OF CONTOUR INTERVALS, BOUNDARIES, FENCES, SURFACE PITS, VALVE COVERS ECT.

NO DIRECT KNOWLEDGE IS CLAIMED OF THE LOCATION OF UNDERGROUND SERVICES.

PRIOR TO ANY EXCAVATION OR CONSTRUCTION, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO LOCATE POSSIBLE UNDERGROUND SERVICES.

GROUND MUST BE GRADED AWAY FROM EXTERNAL WALLS AND SURFACE WATER PROPERLY DRAINED BY MEANS OF SURFACE/CUT-OFF DRAINS CONNECTED INTO SWD VIA SILT PITS

BLOCK BEARINGS MUST BE CONFIRMED PRIOR TO CONSTRUCTION.

ENSURE THAT ALL PRECAUTIONS ARE TAKEN TO PROTECT ADJOINING PROPERTY/PUBLIC DURING EXCAVATION/CONSTRUCTION/DEMOLITION OWNERS OF ADJOINING PROPERTY MUST BE CONSULTED PRIOR TO REMOVING/ALTERING SHARED FENCING

NO PART OF THE PROPOSED STRUCTURE OR FOOTING IS TO ENCROACH THE TITLE BOUNDARIES

F.F.L. TO BE CONFIRMED ON SITE BY BUILDING SUPERVISOR AFTER COMPLETION OF SITE WORKS.

CONNECT STORMWATER TO LEGAL POINT OF DISCHARGE AS DIRECTED BY LOCAL COUNCIL & AS PER APPROVED DRAINAGE PLAN

SITE TO BE DRAINED TO THE SATISFACTION OF THE BUILDING SURVEYOR.

CONNECT PVC STORMWATER DRAIN AT 1:100 MIN. FALL, WITH INSPECTION OPENINGS AT 9M MAX. CTRS. AND AT CHANGE OF DIRECTION UNLESS NOTED OTHERWISE.

DOWNPIPE LAYOUT MAY VARY ON SITE SHOULD THE RELEVANT BUILDING SURVEYOR/COUNCIL REQUIRE IT.

DP: DOWN PIPE

DPS: DOWN PIPE WITH SPREADER

DOWNPIPES TO BE PROVIDE AT MAX. 12M CENTRES

PROVIDE A.G. DRAINS WHERE REQUIRED & CONNECT TO S/WATER DRAIN VIA SILT PIT

CONNECT SEWERAGE AS PER RELEVANT AUTHORITY APPROVAL AND TO APPROVED DISCHARGE POINT. FINAL SEWER PIPE LAYOUT MAY BE ALTERED IF REQUIRED BY RELEVANT SEWER AUTHORITY.

PROVIDE UPVC SEWER PIPE

LOCATION OF SECOND EXTERNAL TAP TO BE DETERMINED BY POSITION OF OVERFLOW RELIEF GULLY.

CUT / FIL PROPOSALS & FINISHED FLOOR LEVELS ON THIS SITE PLAN TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY THE BUILDER / OR SUB-CONTRACTORS.

LEGEND

LB - LETTER BOX
HWS - HOT WATER SERVICE
MB - METER BOX
BIN - RUBISH BIN
R/BIN - RECYCLE BIN
HW - HABITAT WINDOW
NHW - NON HABITAT WINDOW
GM - GAS METER
RWT - RAIN WATER TANK

LB GM HWS MB R/BIN BIN RWT

NOTE:
(LEGAL POINT OF DISCHARGE)
STORM WATER TO BE CONNECTED TO LEGAL POINT OF DISCHARGE AS PER LOCAL COUNCIL REQUIREMENTS

NOTE:
SOIL TEST
(ACE DRILLING)
SITE LEVELS
(Home and Industrial Soil Test Pty Ltd)

NOTE:
ADJACENT P.O.S TO BE PROTECTED FROM OVER VIEWING WITH A 1800h MIN. COLOURBOND FENCING.

NOTE:
MATERIALS, COLOURS AND TEXTURES ARE SELECTED TO HIGHLIGHT THE ARCHITECTURAL FORMS AND REFLECT THE ADJACENT DWELLINGS

NOTE:
BREAK UP LARGE FORMS WITH ARTICULATED DIMENTIONS IN PLAN AND ELEVATION, TO MAINTAIN A SCALE RELEVANT TO THE ADJOINING BUILDING.

SITE AREA: 2272m²
BUILT UP AREA: 1639.81m²
SITE COVERAGE: 72.17%
PERMIBILITY: 11.73%

APEX DRIVE

EXISTING CROSSOVER TO BE REMOVED AND INFILLED TO MATCH NATURE STRIP AND FOOTPATH TO THE SATISFACTION OF RESPONSIBLE AUTHORITY

T.B.M.
NAIL IN PATH
RL 10.00

ADJOINING ALLOTMENT

No.2/19
ADJ. SLAB ONLY UNDER CONSTRUCTION
18.09.19

ALLOTMENT BOUNDARY

NOT FENCED
71.00m 4°41'00"

OFFICE
55.24m²

BIN STORAGE LOCATION
PRIVATE BIN COLLECTION

7.6 x 3.6 min
LOADING BAY
27.36m²

LOT 45

F.F.L 10.40

TOTAL AREA

inc. offic/mezz. storage: 838.67m²

WAREHOUSE 1

FLOOR AREA 671.97m²

LOT 45

F.F.L 10.40

TOTAL AREA

inc. offic/mezz. storage: 838.67m²

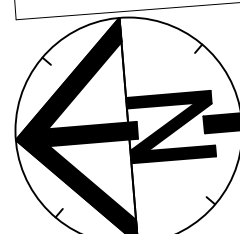
WAREHOUSE 2

FLOOR AREA 671.97m²

ADJOINING ALLOTMENT

No.1/23
ADJ. FACTORY UNDER CONSTRUCTION
18.09.19

FIRE:
EMERGENCY LIGHTING EXIT SIGNS
ARE PORTABLE EXIT. DRY WATER
FIRE BLANKETS FOR KITCHENS.



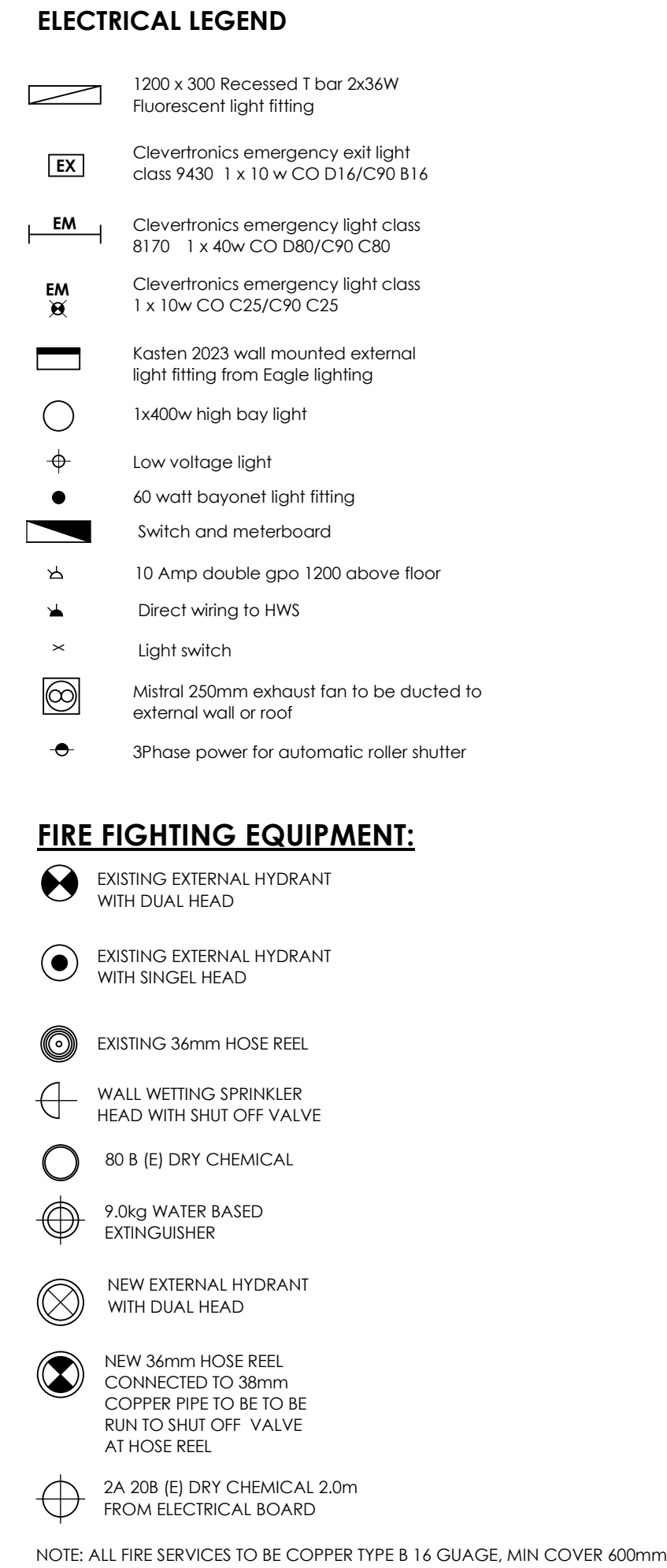
SITE PLAN
SCALE 1:100

No.18
(BONVIEW CIRCUIT)
ADJOINING ALLOTMENT

ADJOINING ALLOTMENT


No.22
(BONVIEW CIRCUIT)
ADJOINING ALLOTMENT

M7 Design Group Pty. Ltd. building designers registered building practitioner A 1941 Watlie Rd Hobartville, VIC	Project: WAREHOUSE DEVELOPMENT AL: LOT 45 APEX DRIVE TRUGANINA Client: KARANFILOVSKI INVESTMENTS Job No: 1816 Date: 19.09.19	date amendments 30.09.19 AS PER SURVEYORS REQUEST 09.10.19 AS PER SURVEYORS REQUEST
		sheet no. 02



**FIRE:
EMERGENCY LIGHTING EXIT SIGNS
ARE PORTABLE EXIT. DRY WATER
FIRE BLANKETS FOR KITCHENS.**

NOTE: ALL EXIT DOORS AND DOORS FORMING PART OF A REQUIRED EXIT IS TO BE PROVIDED WITH A SINGLE ACTION PULL DOWN LEVER HANDLE WHICH CAN ALWAYS BE OPEN - ABLE FROM THE SIDE SEEKING EGRESS TO CLAUSE D2.21 OF THE BCA VOLUME 1

DISABLED ACCESS	
<p>NOTES</p> <p>GENERAL NOTES: EXTERNAL PARKING BAYS ARE TO HAVE A GRADIENT OF NO GREATER THAN 1:40.</p> <p>INTERNAL DOORS TO HAVE A MINIMUM OPENING WIDTH OF 850mm FOR DISABLED ACCESS.</p> <p>PROVIDE DISABLED SIGNAGE THROUGHOUT THE SITE IN ACCORDANCE WITH B.C.A SPEC 3.6 AND AS1428.1 - 2009</p>	<p>LEGEND</p> <div style="display: flex; align-items: center;">  </div> <p> DENOTES DISABLED PARKING SPACES. THESE SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS1428.1, AS1428.2 & AS2890.1. PROVIDE VERTICAL SIGNAGE TO THESE SPACES IN ACCORDANCE WITH AS2890.1 & AS1428.1 (CLAUSE 13) </p> <div style="display: flex; align-items: center;"> <div style="border: 1px solid black; padding: 2px 5px; margin-right: 5px;">1</div> <p> DENOTES MAIN ENTRANCE DOORS WITH A MINIMUM CLEAR OPENING OF 850mm </p> </div> <div style="display: flex; align-items: center;"> <div style="border: 1px solid black; padding: 2px 5px; margin-right: 5px;">2</div> <p> DENOTES FLAT LANDING AREA FOR WHEELCHAIR ACCESS (MANEUVERING (1300mm WIDE MINIMUM.) </p> </div>

GENERAL NOTES:

- All levels and dimensions must be checked and verified before commencing any work or workshop drawings.
- DO NOT SCALE DRAWING. Written dimensions take precedence over scale.
- All works are to be in accordance with BCA, SAA, Codes, Building Regulations and any relevant council by-laws.
- This drawing is to be recorded in conjunction with structural drawings & computations

ROOFING NOTES:

- All downpipes (rises) to be 150mm dia. P.V.C. Gutter 600mm (x) 200mm (d) zincalume finish steel, flashed and copped over.
- Roof sloaking to be finished 0.48mm thick or approx similar zincalume finish steel plate. Slope 3 degrees 10N. Sinking to underside.
- Provide acrylic rooflighting to match steel deck profile. To be kept a minimum of 1000mm clear of gutters side boundaries and ridge.
- Provide 3.0mm thick wire under roofing 300x150 grid.

ALUMINIUM NOTES:

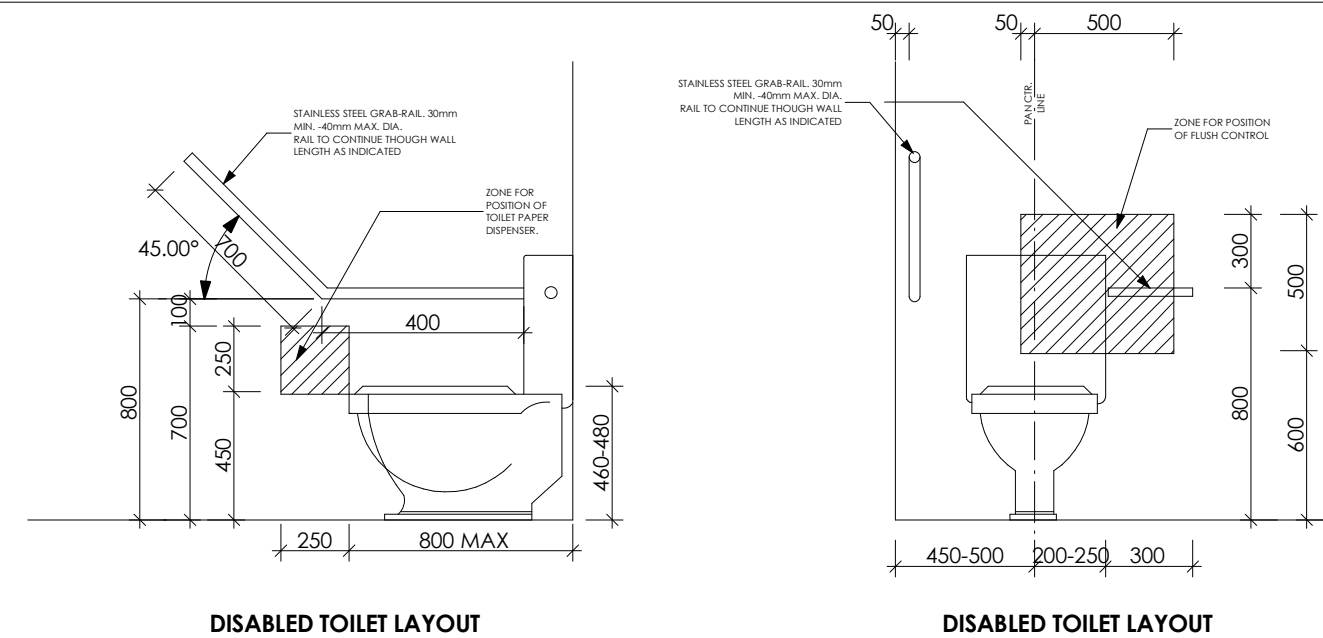
- Use 90x64 IS. Seasoned pine framing @ 450mm c/c.
- Ceiling & Floor joists as noted.
- All framing to comply with AS1684
- All critical and W/C doors to have self closer (REMOVABLE HINGES)
- Apply Ceramic tiles to:
 - o Im permeable floor over approved sub-base.
 - o 100mm high in showers
 - o 100mm high in showers
- Disabled toilets to comply with AS1428.1

KEY FINISHING NOTES:

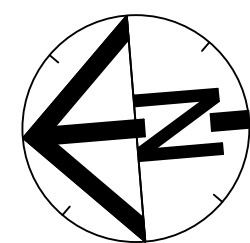
- The level of all equipment fixed to be such that actual lengths of travel to set are no greater than 40.0m
- All escape doors to be fitted with latches operable from inside without the use of a key by a single handed action.

GLAZING NOTES:

- All glazing to comply with AS1288. Window manufacturer to provide a specification for the building structure, prior to installation.
- All glazing to be Aluminium framed "Commercial" type sections, powder coated to selected colour. Window fabricator to provide all angles and cover-plates in the same powder-coated colour.



AREA: ANALYSIS	
TOTAL SITE AREA:	2272.00m²
WAREHOUSE 1	671.97m²
FLOOR AREA:	55.24m²
OFFICE FLOOR AREA:	111.46m²
MEZZANINE AREA:	111.46m²
TOTAL FLOOR AREA	= 838.67m²
LAND AREA:	1136m²
WAREHOUSE 2	671.97m²
FLOOR AREA:	55.24m²
OFFICE FLOOR AREA:	111.46m²
MEZZANINE AREA:	111.46m²
TOTAL FLOOR AREA	= 838.67m²
LAND AREA:	1136m²
REQUIRED CAR SPACES PER	
CLAUSE 52.06	
Warehouse 1 : 14 SPACES(783.95M2 net floor area)	
Warehouse 2 : 14 SPACES(783.95M2 net floor area)	
Provided 20 spaces, PLUS 2 for each warehouse	
TOTAL CAR SPACES PROVIDED	= 22



GROUND FLOOR PLAN

SCALE 1:100

NATURAL LIGHT		
TO BE PROVIDED AT A RATE OF 10% OF AREA		
	WAREHOUSE 1	
	WAREHOUSE OFFICE	
FLOOR AREA (m ²)	671.97	160.52
REQUIRED LIGHT AREA (m ²)	443.5	16.05
TRANSLUCENT ROOFING (m ²)	444.7	0
WINDOWS (m ²)	0	42.31
TOTAL (m ²)	444.7	42.31
CHECK	OK	OK

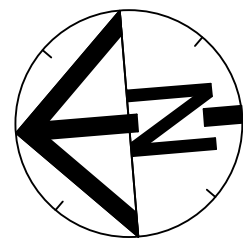
NATURAL VENTILATION			
TO BE PROVIDED AT A RATE OF 5% OF AREA			
		WAREHOUSE 1	
		WAREHOUSE OFFICE	
FLOOR AREA (m ²)		671.97	160.52
REQUIRED VENTILATION AREA (m ²)		33.59	8.02
OPENABLE WINDOWS/DOOR (m ²)		0	8.16
ROLLER DOORS (m ²)		34.8	0
TOTAL (m ²)		34.8	8.16
CHECK		OK	OK

NATURAL LIGHT		
TO BE PROVIDED AT A RATE OF 10% OF AREA		
	WAREHOUSE 2	
	WAREHOUSE OFFICE	
FLOOR AREA (m ²)	671.97	160.52
REQUIRED LIGHT AREA (m ²)	443.5	16.05
TRANSLUCENT ROOFING (m ²)	444.7	0
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<div>M7 Design Group Pty. Ltd.</div> <div>building designers</div> <div><div></div><div></div><div></div></div> <div>Registered building practitioner</div>	<div>T: 09 537 8111</div> <div>F: 09 537 8118</div> <div>M: 0409 169 993</div>	<div>Proposed:</div> <div>WAREHOUSE DEVELOPMENT</div> <div>At:</div> <div>LOT 45 APEX DRIVE TRUGANINA</div> <div>Client:</div> <div>KARANFILOVSKI INVESTMENTS</div> <div>Job No:</div> <div>1816</div> <div>Date:</div> <div>19.09.19</div>	<table><thead><tr><th>date</th><th>amendments</th></tr></thead><tbody><tr><td>30.09.19</td><td>AS PER SURVEYORS REQUEST</td></tr><tr><td>09.10.19</td><td>AS PER SURVEYORS REQUEST</td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr></tbody></table> <div><div><div></div></div><div><div>I/We declare that these drawings are not to be copied or used in part or in whole without the written consent of the author.</div><div>©</div></div></div>	date	amendments	30.09.19	AS PER SURVEYORS REQUEST	09.10.19	AS PER SURVEYORS REQUEST						
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			<div>sheet no.03</div>												

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Provided 20 spaces, PLUS 2 for each warehouse	
TOTAL CAR SPACES PROVIDED	= 22



FIRST FLOOR PLAN

SCALE 1:100

NATURAL LIGHT		
TO BE PROVIDED AT A RATE OF 10% OF AREA		
	WAREHOUSE 1	WAREHOUSE OFFICE
FLOOR AREA (m ²)	671.97	160.52
REQUIRED LIGHT AREA (m ²)	443.5	16.05
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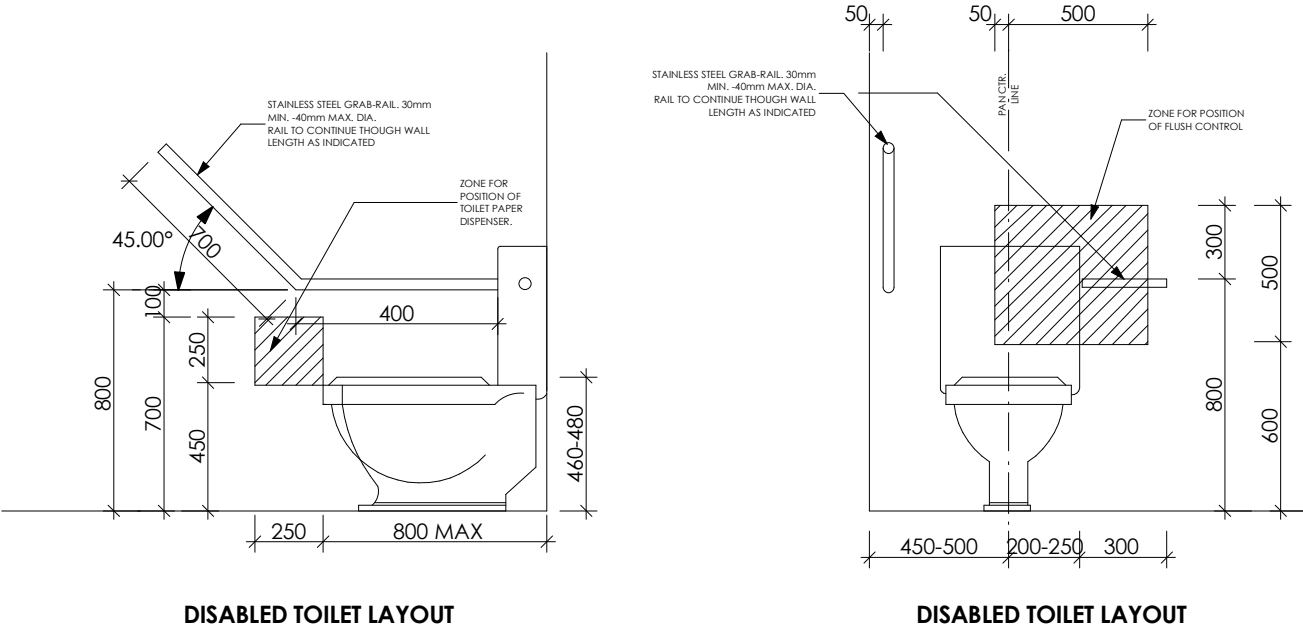
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NATURAL LIGHT		
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	WAREHOUSE 2	WAREHOUSE OFFICE
FLOOR AREA (m ²)	671.97	160.52
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EX PROVIDE JUMBO TYPE EXIT SIGNS TO WAREHOUSE AREAS

NOTE:
ALL EXIT DOORS AND DOORS FORMING PART OF A REQUIRED EXIT IS TO BE PROVIDED WITH A PULL DOWN LEVER HANDLE WHICH CAN ALWAYS BE OPEN-ABLE FROM THE SIDE SEEKING EGRESS TO CLAUSE D2.21 OF THE BCA VOLUME 1



ELECTRICAL LEGEND

- 1200 x 300 Recessed T bar 2x36W Fluorescent light fitting
- Clevertronics emergency exit light class 9430 1 x 10 w CO D14/C90 B16
- Clevertronics emergency light class 8170 1 x 40w CO D80/C90 C80
- Clevertronics emergency light class 1 x 10w CO C25/C90 C25
- Kasten 2023 wall mounted external light fitting from Eagle lighting
- 1x400w high bay light
- Low voltage light
- 60 watt bayonet light fitting
- Switch and meterboard
- 10 Amp double gpo 1200 above floor
- Direct wiring to HWS
- Light switch
- Mistral 250mm exhaust fan to be ducted to external wall or roof
- 3Phase power for automatic roller shutter

FIRE FIGHTING EQUIPMENT:

- EXISTING EXTERNAL HYDRANT WITH DUAL HEAD
- EXISTING EXTERNAL HYDRANT WITH SINGEL HEAD
- EXISTING 36mm HOSE REEL
- WALL WETTING SPRINKLER HEAD WITH SHUT OFF VALVE
- 80 B (E) DRY CHEMICAL
- 9.0kg WATER BASED EXTINGUISHER
- NEW EXTERNAL HYDRANT WITH DUAL HEAD
- NEW 36mm HOSE REEL CONNECTED TO 38mm COPPER PIPE TO BE TO BE RUN TO SHUT OFF VALVE AT HOSE REEL
- 2A 208 (E) DRY CHEMICAL 2.0m FROM ELECTRICAL BOARD

NOTE: ALL FIRE SERVICES TO BE COPPER TYPE B 16 GUAGE, MIN COVER 600mm

FIRE:
EMERGENCY LIGHTING EXIT SIGNS
ARE PORTABLE EXIT. DRY WATER
FIRE BLANKETS FOR KITCHENS.

DISABLED ACCESS

NOTES

GENERAL NOTES:
EXTERNAL PARKING BAYS ARE TO HAVE A GRADIENT OF NO GREATER THAN 1:40.

INTERNAL DOORS TO HAVE A MINIMUM OPENING WIDTH OF 850mm FOR DISABLED ACCESS.

PROVIDE DISABLED SIGNAGE THROUGHOUT THE SITE IN ACCORDANCE WITH B.C.A SPEC 3.4 AND AS1428.1 -2009

LEGEND



1

2

DENOTES DISABLED PARKING SPACES. THESE SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS1428.1, AS1428.2 AND AS2890.1. PROVIDE VERTICAL SIGNAGE TO THESE SPACES IN ACCORDANCE WITH AS2890.1 & AS1428.1 (CLAUSE 13)

DENOTES MAIN ENTRANCE DOORS WITH A MINIMUM CLEAR OPENING OF 850mm

DENOTES FLAT LANDING AREA FOR WHEELCHAIR ACCESS (1330mm WIDE MINIMUM.)

GENERAL NOTES:
a. All levels and dimensions must be checked and verified before commencing any work or workshop drawings.
b. DO NOT SCALE DRAWING. Withen dimensions take precedence over scale.
c. All works are to be in accordance with BCA, S.A. Codes, Building Regulations and any relevant council by-laws.
d. This drawing to be read in conjunction with structural drawings & computations

ROOFING NOTES:
a. Natural acrylic rooflighting to match steel deck profile. To be kept a minimum of 1000mm clear of gutters side boundaries and ridges
b. Provide 30mm thick wire under roofing 300X150 grid.

AMENITIES NOTES:
a. Use 90X45 F5 Seasoned pine framing @ 450mm cts.
b. Ceiling & Floor joists as noted.
c. All framing to comply with AS1684
d. All clorock and W.C doors to have self closers (REMOVABLE HINGES)
e. Apply Ceramic tiles to:
im previous floors over approved sub-base.
300mm above vanity basins
1800mm high in showers

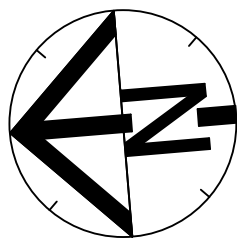
TOILET NOTES:
a. Disabled toilets to comply with AS1428.1

FIRE FIGHTING NOTES:
a. The layout of all equipment fixed to be such that actual lengths of travel to exit are no greater than 40.0m
b. All escape doors to be fitted with latches operable from inside without the use of a key by a single handed action.

GLAZING NOTES:
a. All glazing to comply with AS1288. Window manufacturer to provide a specification for the Building surveyor, prior to installation.
b. All windows to be Aluminium framed "Commercial" type sections, powder coated to selected colour. Window fabricator to provide all angles and cover-plates in the same powder-coated colour.

M7 Design Group Pty. Ltd. building designers registered building practitioner	Proposed:	WAREHOUSE DEVELOPMENT	date	30.09.19	amendments	AS PER SURVEYORS REQUEST
	At:	LOT 45 APEX DRIVE TRUGANINA		09.10.19		AS PER SURVEYORS REQUEST
	Client:	KARANFILOVSKI INVESTMENTS				
	Job No:	1816	Date:	19.09.19		
						sheet no: 04

AREA: ANALYSIS	
TOTAL SITE AREA:	2272.00m ²
WAREHOUSE 1 FLOOR AREA:	671.97m ²
OFFICE FLOOR AREA:	55.24m ²
MEZZANINE AREA:	111.46m ²
TOTAL FLOOR AREA = 838.67m ²	
LAND AREA:	1136m ²
WAREHOUSE 2 FLOOR AREA:	671.97m ²
OFFICE FLOOR AREA:	55.24m ²
MEZZANINE AREA:	111.46m ²
TOTAL FLOOR AREA = 838.67m ²	
LAND AREA:	1136m ²
REQUIRED CAR SPACES PER CLAUSE 52.06	
Warehouse 1 : 14 SPACES(783.95M2 net floor area)	
Warehouse 2 : 14 SPACES(783.95M2 net floor area)	
Provided 20 spaces, PLUS 2 for each warehouse	
TOTAL CAR SPACES PROVIDED	= 22



ROOF PLAN

SCALE 1:100

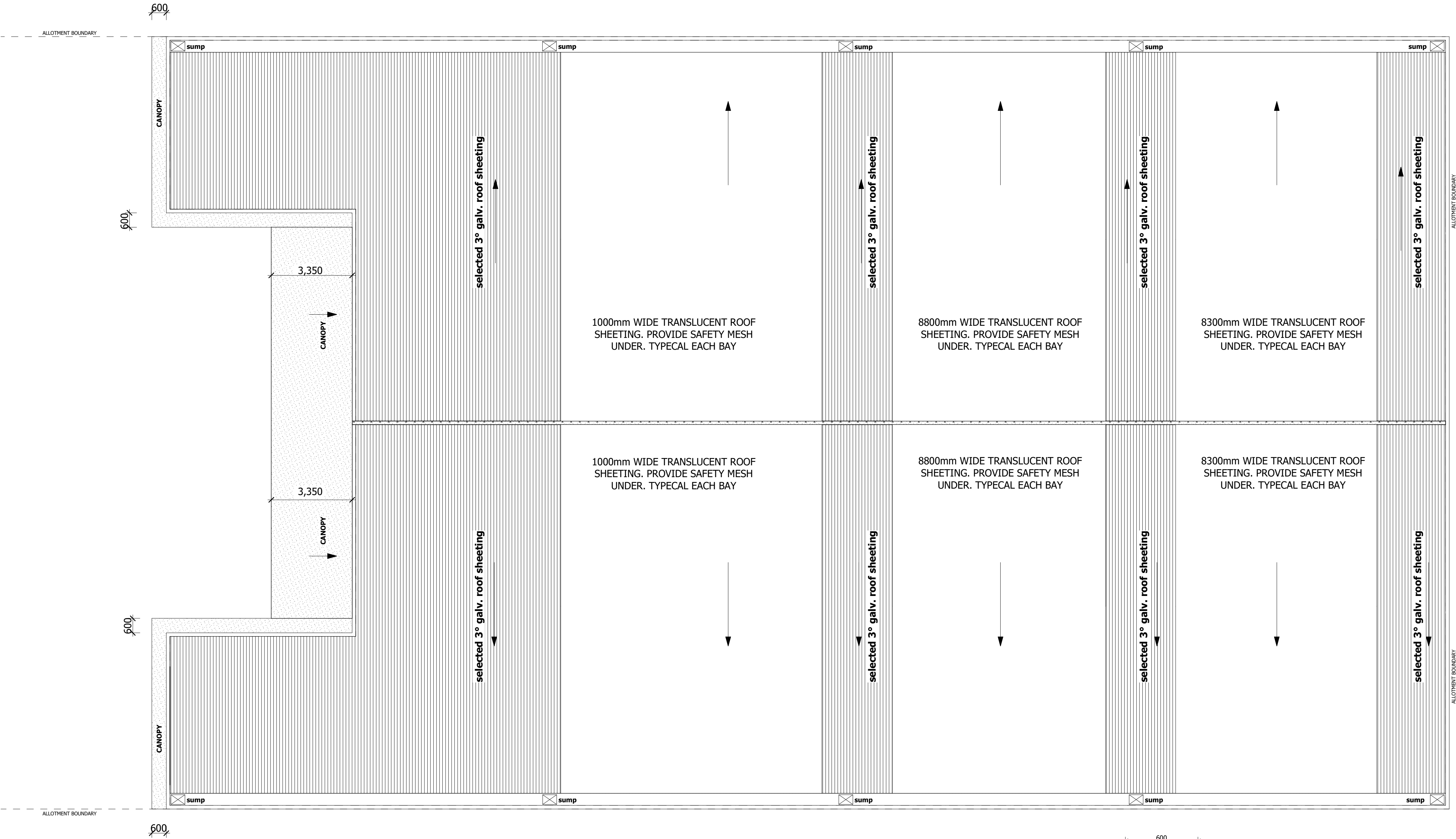
NATURAL LIGHT			
TO BE PROVIDED AT A RATE OF 10% OF AREA			
	WAREHOUSE 1		
	WAREHOUSE OFFICE		
FLOOR AREA (m ²)	671.97	160.52	
REQUIRED LIGHT AREA (m ²)	443.5	16.05	
TRANSLUCENT ROOFING (m ²)	444.7	0	
WINDOWS (m ²)	0	42.31	
TOTAL (m ²)	444.7	42.31	
CHECK	OK	OK	

NATURAL VENTILATION			
TO BE PROVIDED AT A RATE OF 5% OF AREA			
	WAREHOUSE 1		
	WAREHOUSE OFFICE		
FLOOR AREA (m ²)	671.97	160.52	
REQUIRED VENTILATION AREA (m ²)	33.59	8.02	
OPENABLE WINDOWS/DOOR (m ²)	0	8.16	
ROLLER DOORS (m ²)	34.8	0	
TOTAL (m ²)	34.8	8.16	
CHECK	OK	OK	

NATURAL LIGHT			
TO BE PROVIDED AT A RATE OF 10% OF AREA			
	WAREHOUSE 2		
	WAREHOUSE OFFICE		
FLOOR AREA (m ²)	671.97	160.52	
REQUIRED LIGHT AREA (m ²)	443.5	16.05	
TRANSLUCENT ROOFING (m ²)	444.7	0	
WINDOWS (m ²)	0	42.31	
ROLLER DOORS (m ²)	34.8	0	
TOTAL (m ²)	444.7	42.31	
CHECK	OK	OK	

NATURAL VENTILATION			
TO BE PROVIDED AT A RATE OF 5% OF AREA			
	WAREHOUSE 2		
	WAREHOUSE OFFICE		
FLOOR AREA (m ²)	671.97	160.52	
REQUIRED VENTILATION AREA (m ²)	33.59	8.02	
OPENABLE WINDOWS (m ²)	0	8.16	
ROLLER DOORS (m ²)	34.8	0	
TOTAL (m ²)	34.8	8.16	
CHECK	OK	OK	

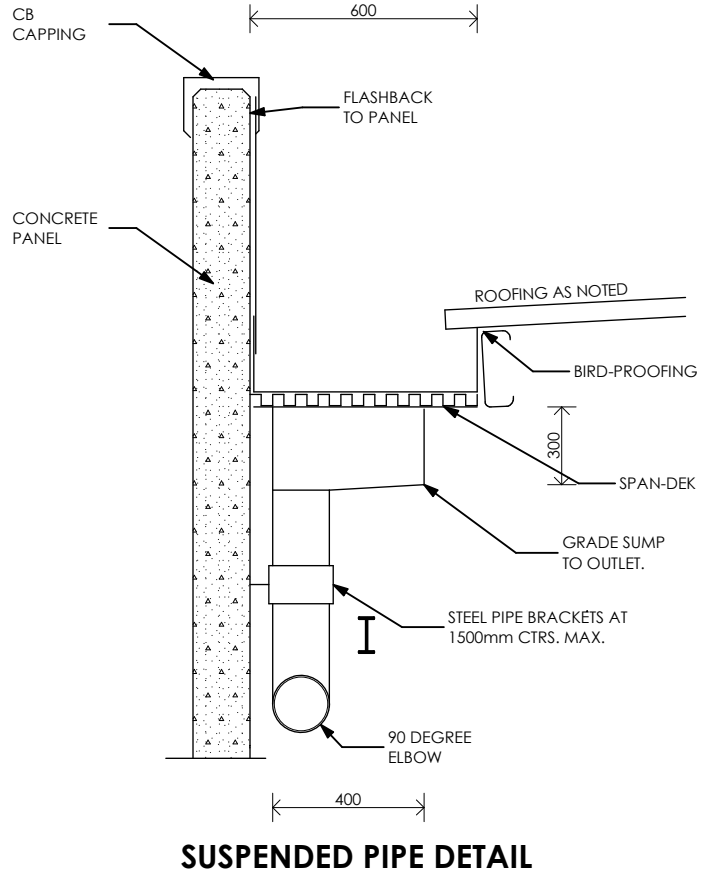
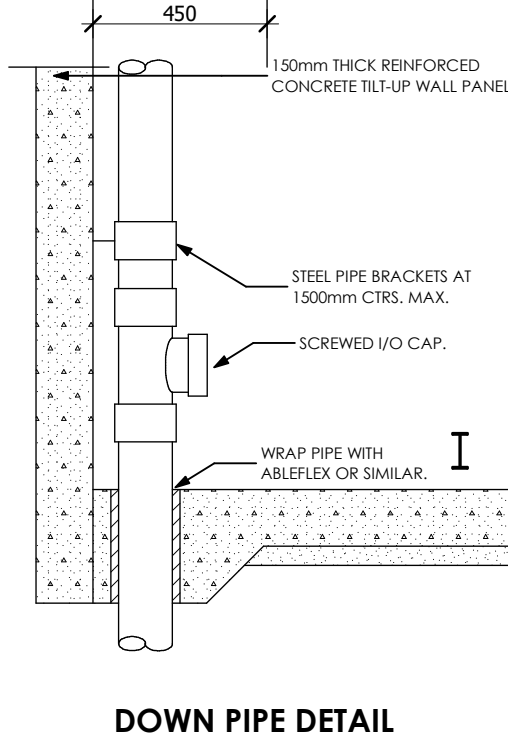
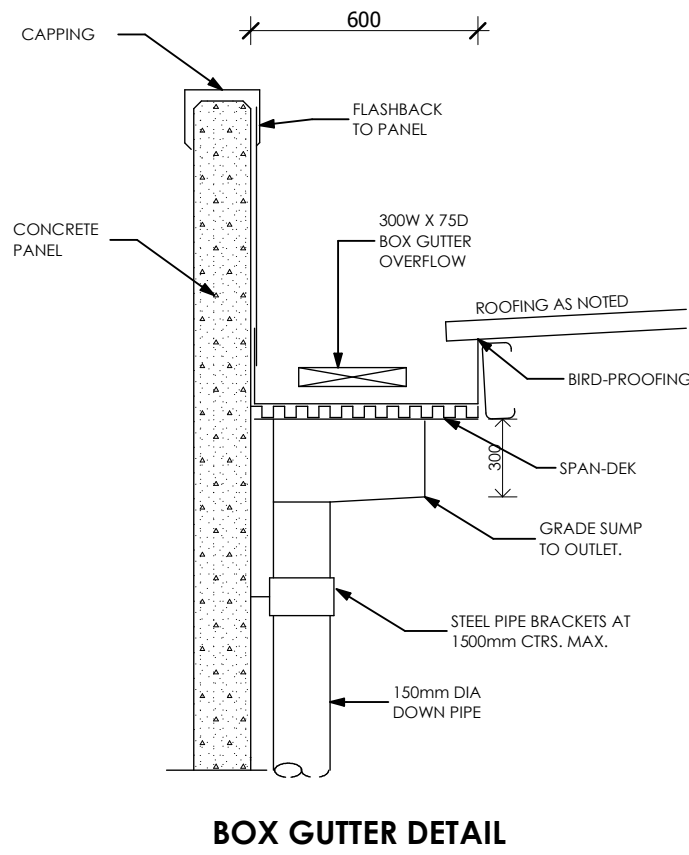
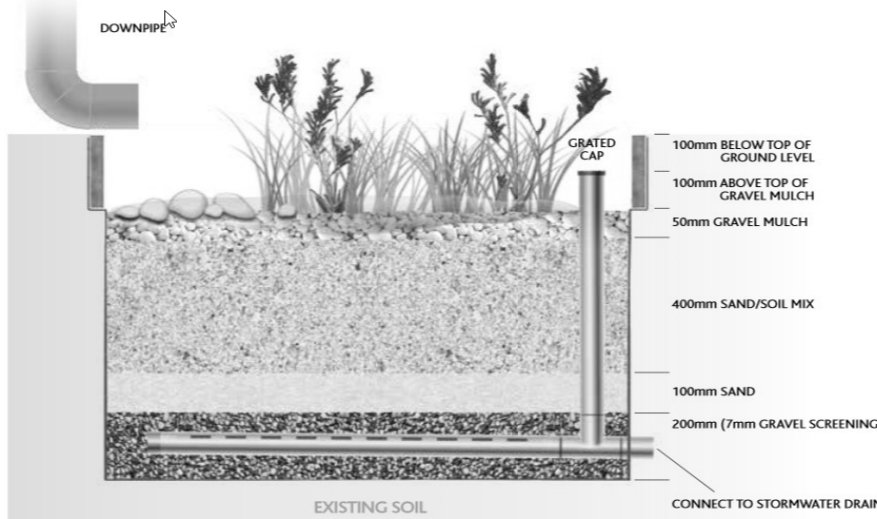
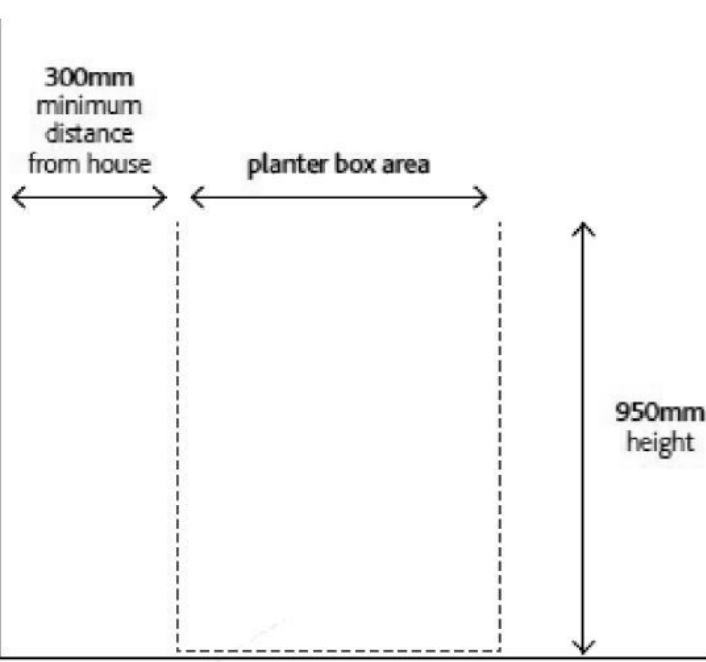
M7 Design Group Pty. Ltd. building designers registered building practitioner A 1941 Wattle Rd Melbourne, VIC	Proposed:	WAREHOUSE DEVELOPMENT		date	amendments
	At:	LOT 45 APEX DRIVE TRUGANINA		30.09.19	AS PER SURVEYORS REQUEST
	Client:	KARANFILOVSKI INVESTMENTS		09.10.19	AS PER SURVEYORS REQUEST
	Job No:	1816	Date:	19.09.19	
	Copyright 2019. These drawings are not to be used in part or in whole without the written consent of the author.				sheet no: 06

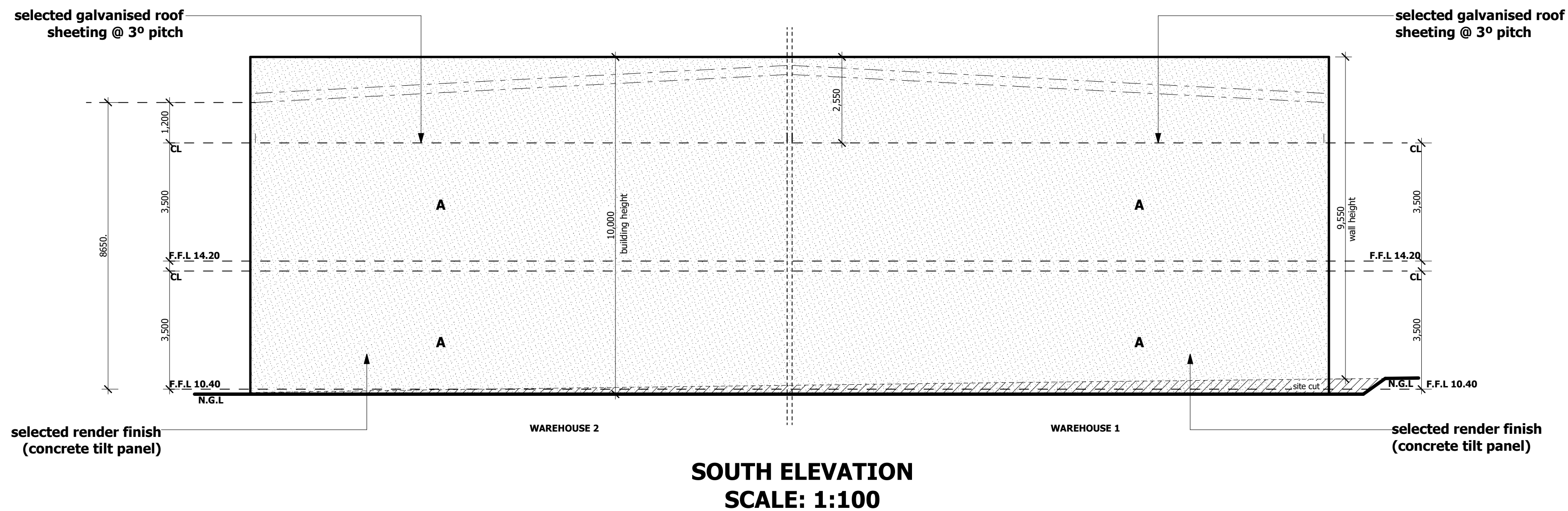
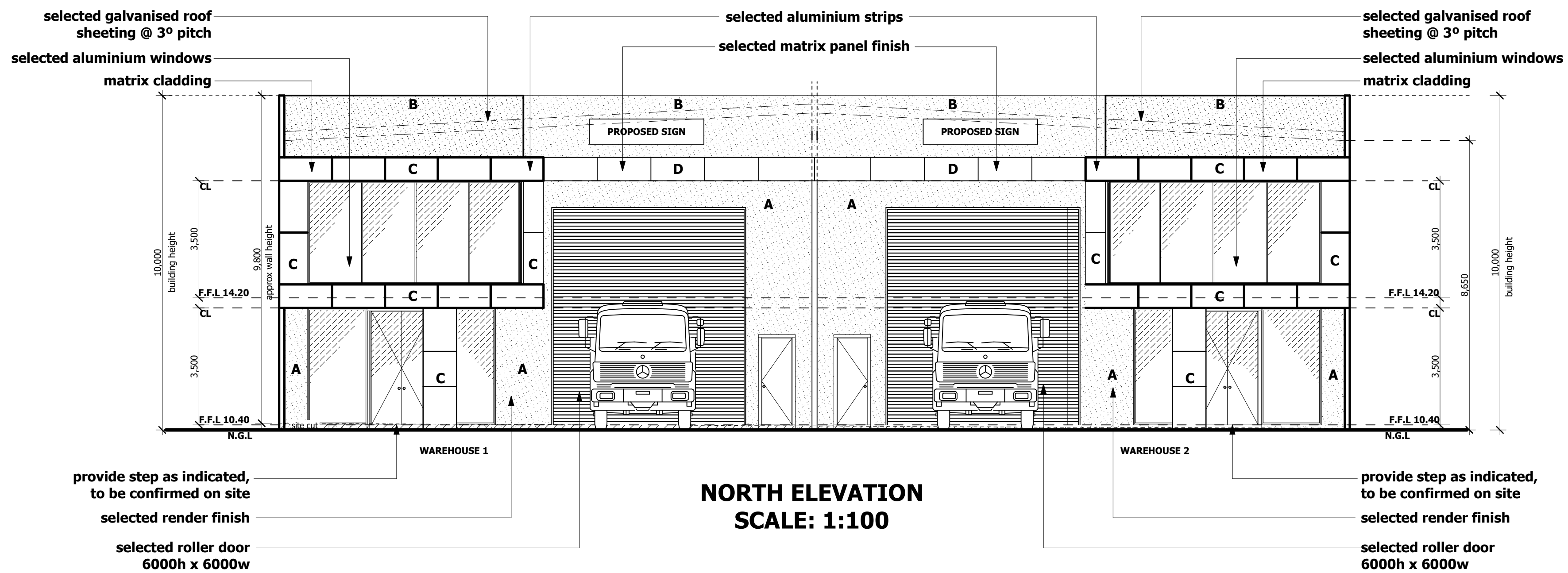
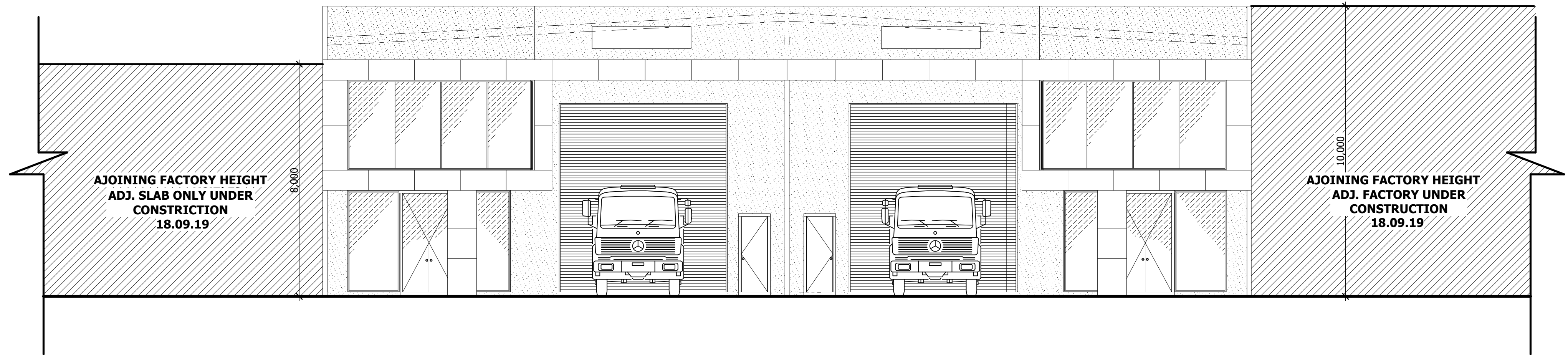


STORM RATING NOTES

Warehouse 1
The rainwater from warehouse 1 roof area of 339.71m² is to be collected and discharged via a gravity fed system into a 5000L capacity rainwater tank which is to be connected to 2no. toilets for toilet flushing. The roof area of 426.43m² is to be collected and discharged into a 6m² raingarden set back min. 300mm from the dwelling. Area not to be treated is 808.93m².

Warehouse 2
The rainwater from warehouse 2 roof area of 339.71m² is to be collected and discharged via a gravity fed system into a 5000L capacity rainwater tank which is to be connected to 2no. toilets for toilet flushing. The roof area of 426.43m² is to be collected and discharged into a 6m² raingarden set back min. 300mm from the dwelling. Area not to be treated is 808.93m².



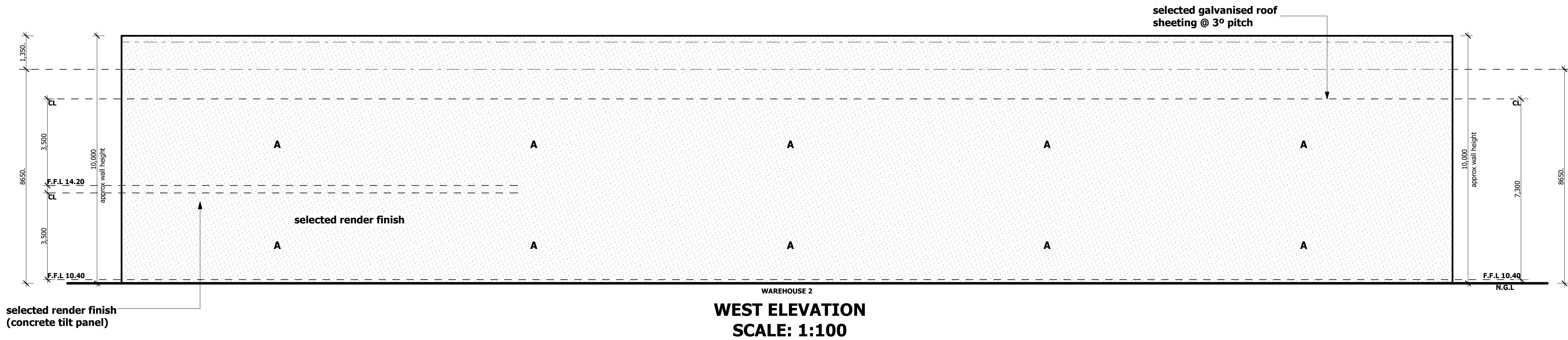


MATERIALS SCHEDULE	
ITEM	COLOURS
WALLS	(A) Timeless Grey (dulux) - or similar
EXTERNAL SURFACE	(B) Domino (dulux) - or similar
	(C) Bright Delight (dulux) - or similar
	(D) Black Aluminium (matrix) - or similar
WINDOWS / DOORS	POUDERCOAT ALUMINIUM (BLACK TONE)
ROLLER DOOR	GALVONISED POUDERCOAT (BLACK TONE)
CAPPING	ALUMINIUM COLOURBOND
RAIN WATER TANK	GREY TONE COLOURBOND
CONCRETE DRIVEWAY	DARK GREY TONE

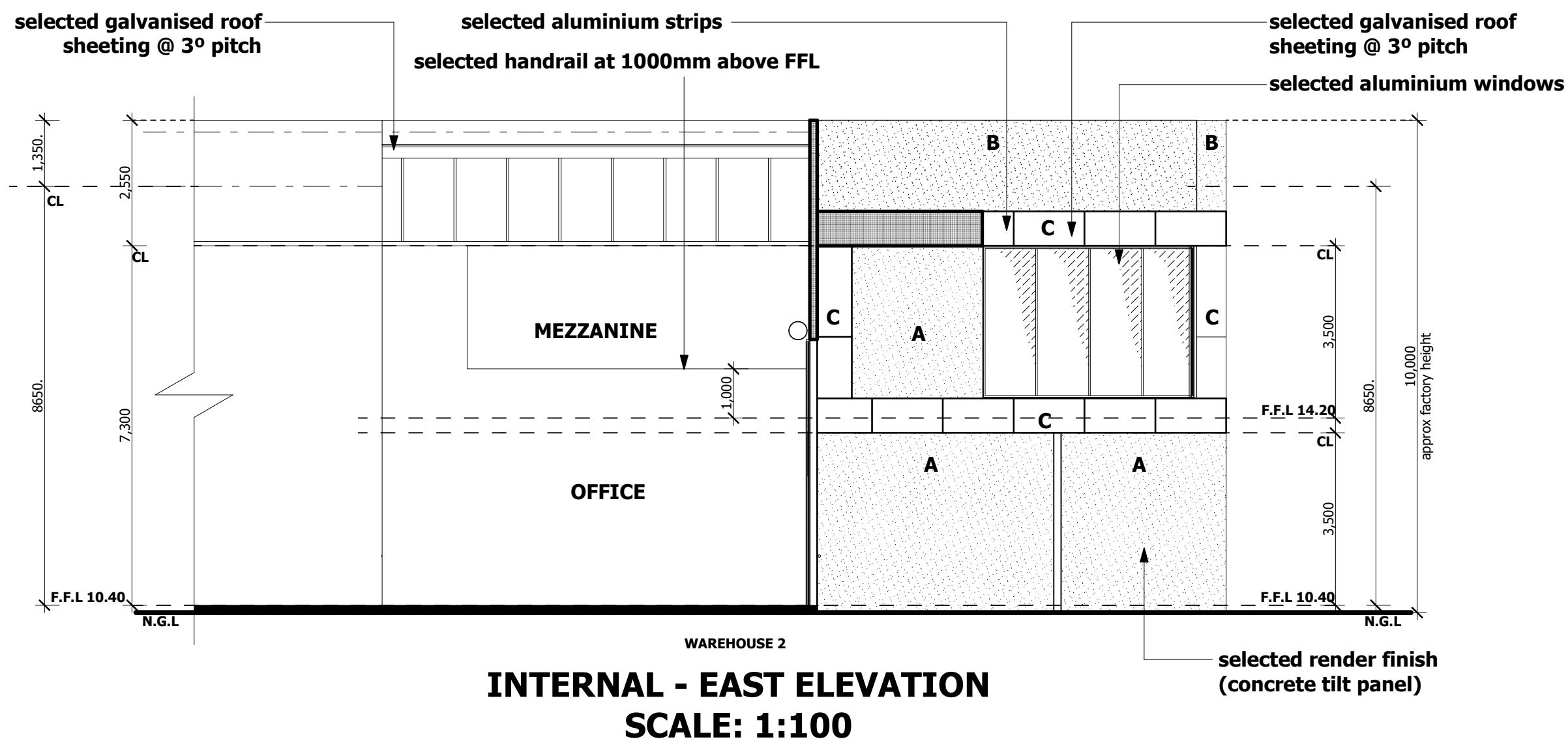
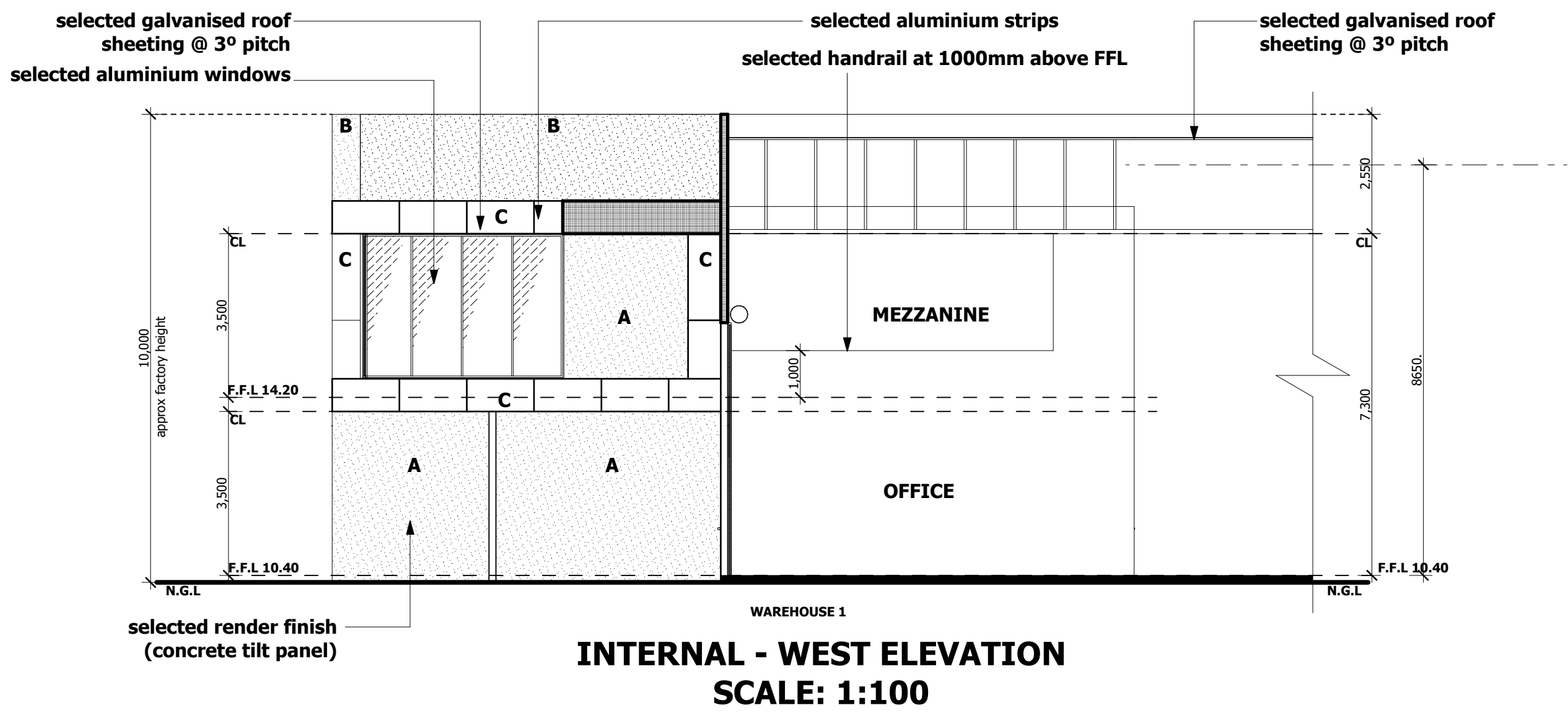
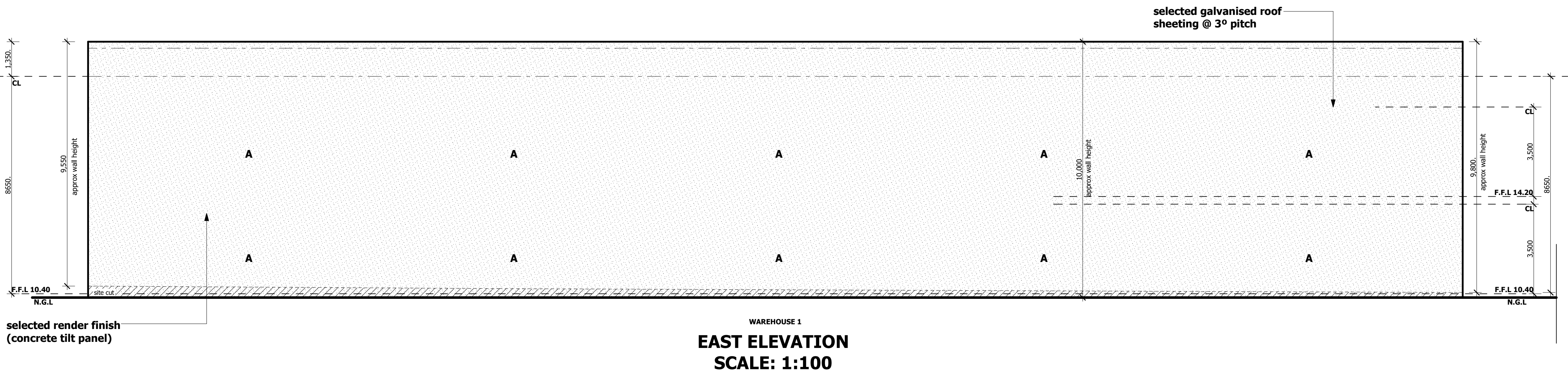
M7 Design Group Pty. Ltd. building designers registered building practitioner	Proposed: WAREHOUSE DEVELOPMENT	date 30.09.19 amendments AS PER SURVEYORS REQUEST
	At: LOT 45 APEX DRIVE TRUGANINA	date 09.10.19 amendments AS PER SURVEYORS REQUEST
	Client: KARANFILOVSKI INVESTMENTS	
	Job No: 1816 Date: 19.09.19	

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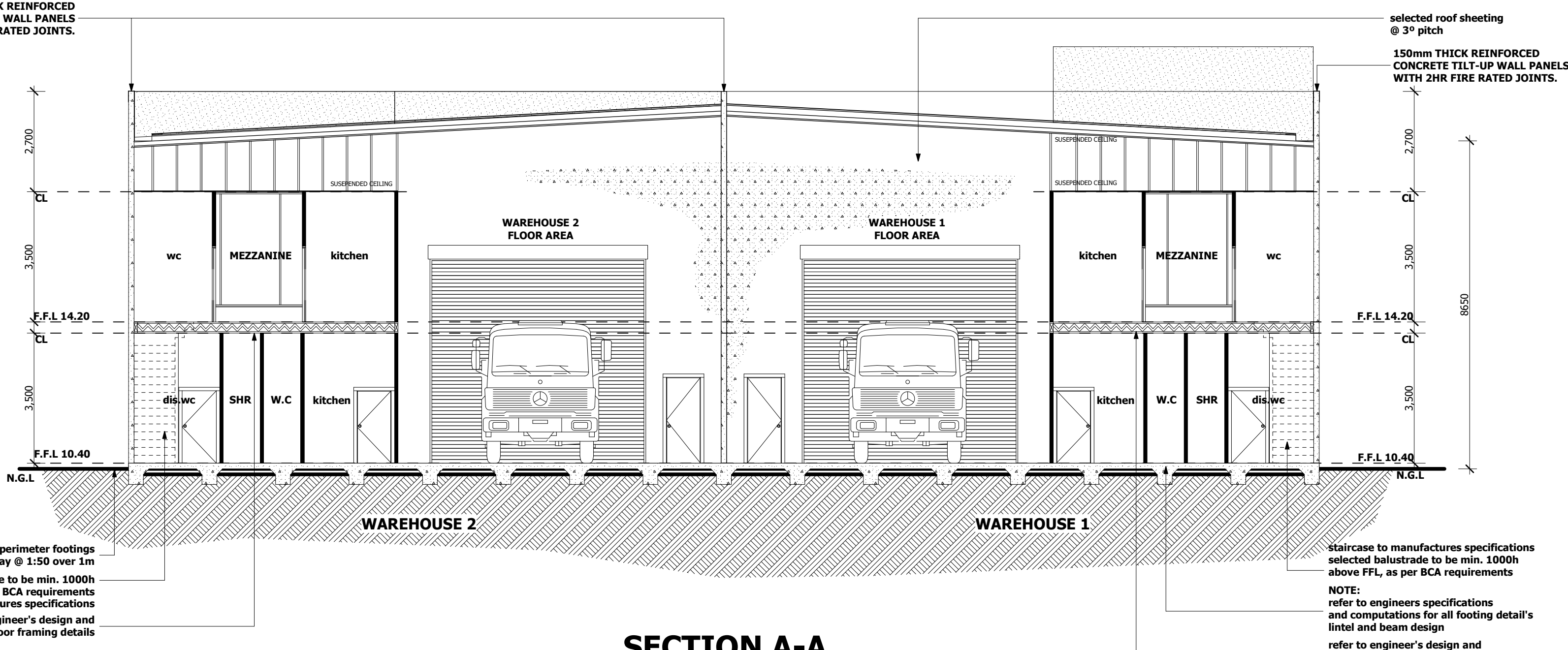
sheet no: **06**



MATERIALS SCHEDULE	
ITEM	COLOURS
WALLS	(A) Timeless Grey (dulux) - or similar
EXTERNAL SURFACE	(B) Domino (dulux) - or similar
	(C) Bright Delight (dulux) - or similar
	(D) Black Aluminium (metrix) - or similar
WINDOWS / DOORS	POUDERCOAT ALUMINIUM (BLACK TONE)
ROLLER DOOR	GALVANISED POWDERCOAT (BLACK TONE)
CAPPING	ALUMINIUM COLOURBOND
RAIN WATER TANK	GREY TONE COLOURBOND
CONCRETE DRIVEWAY	DARK GREY TONE



150mm THICK REINFORCED
CONCRETE TILT-UP WALL PANELS
WITH 2HR FIRE RATED JOINTS.



SECTION A-A

SCALE 1:100

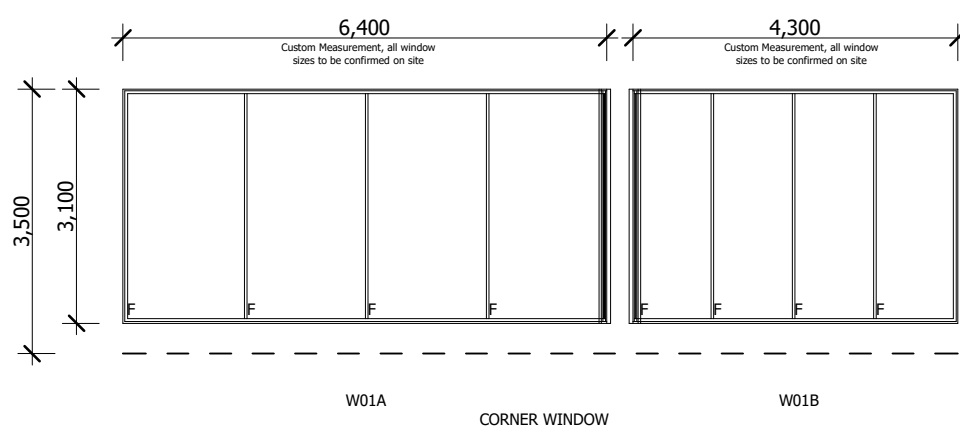
selected roof sheeting
@ 3° pitch

150mm THICK REINFORCED
CONCRETE TILT-UP WALL PANELS
WITH 2HR FIRE RATED JOINTS.

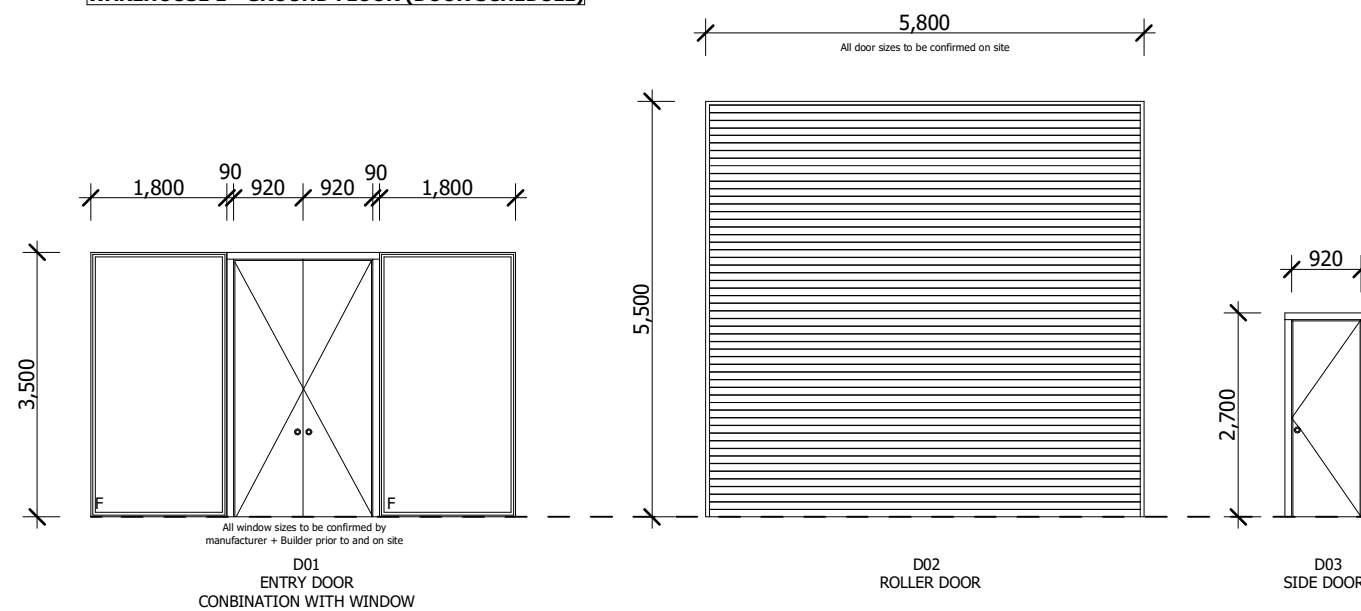
staircase to manufactures specifications
selected balustrade to be min. 1000h
above FFL, as per BCA requirements

NOTE:
refer to engineers specifications
and computations for all footing detail's
lintel and beam design
refer to engineer's design and
computations for first floor framing details

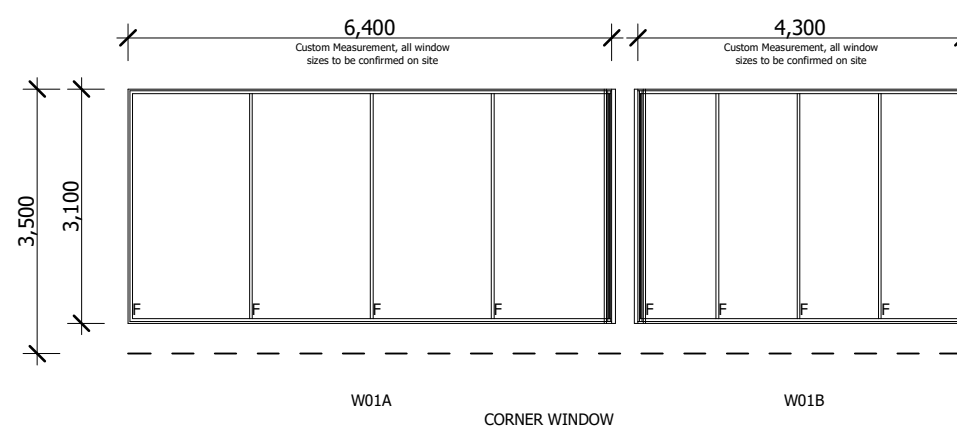
WAREHOUSE 1 - FIRST FLOOR (WINDOW SCHEDULE)



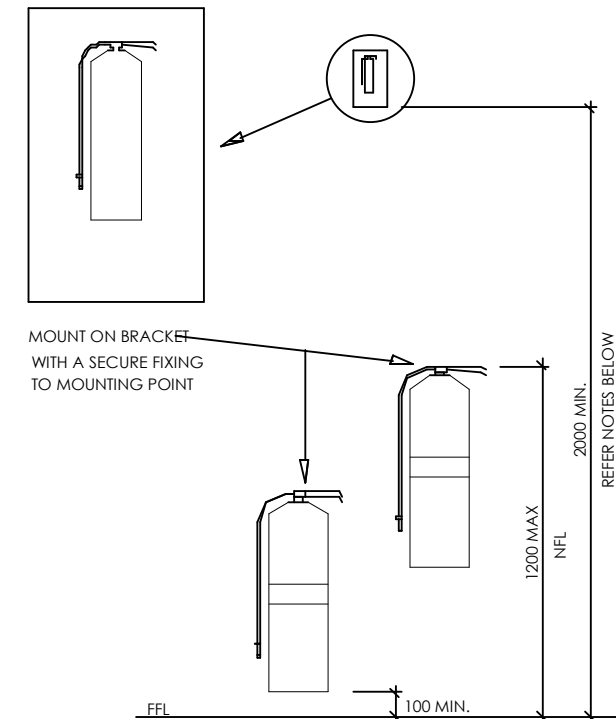
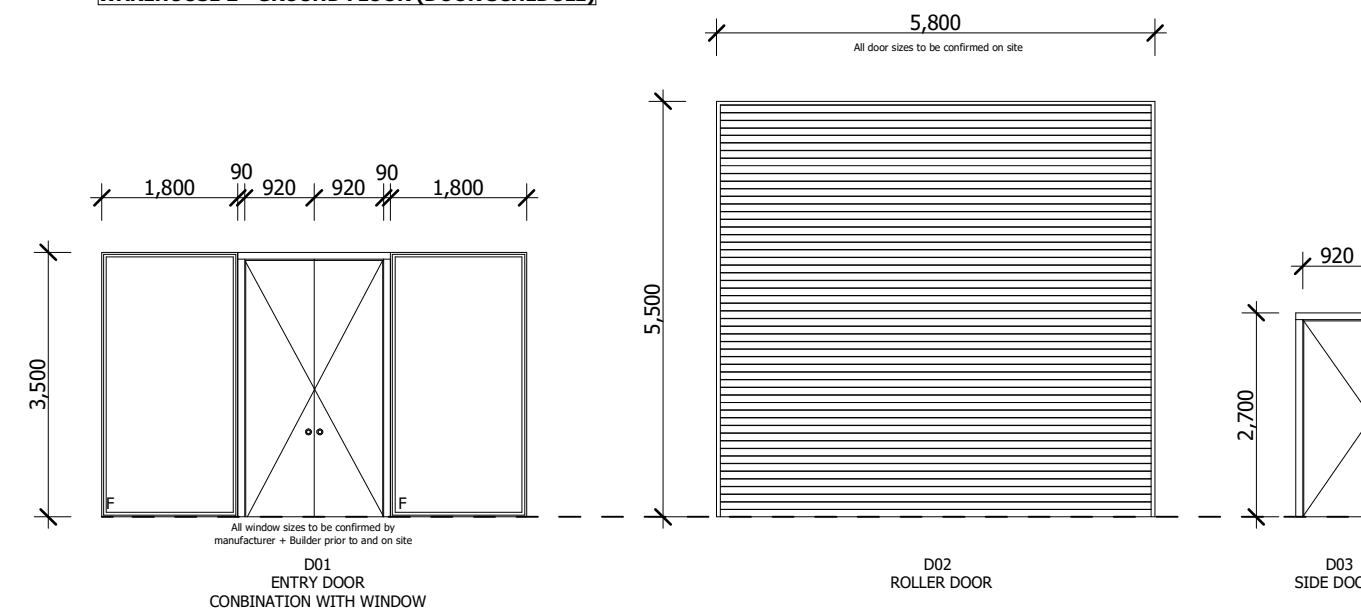
WAREHOUSE 1 - GROUND FLOOR (DOOR SCHEDULE)



WAREHOUSE 2 - FIRST FLOOR (WINDOW SCHEDULE)



WAREHOUSE 2 - GROUND FLOOR (DOOR SCHEDULE)



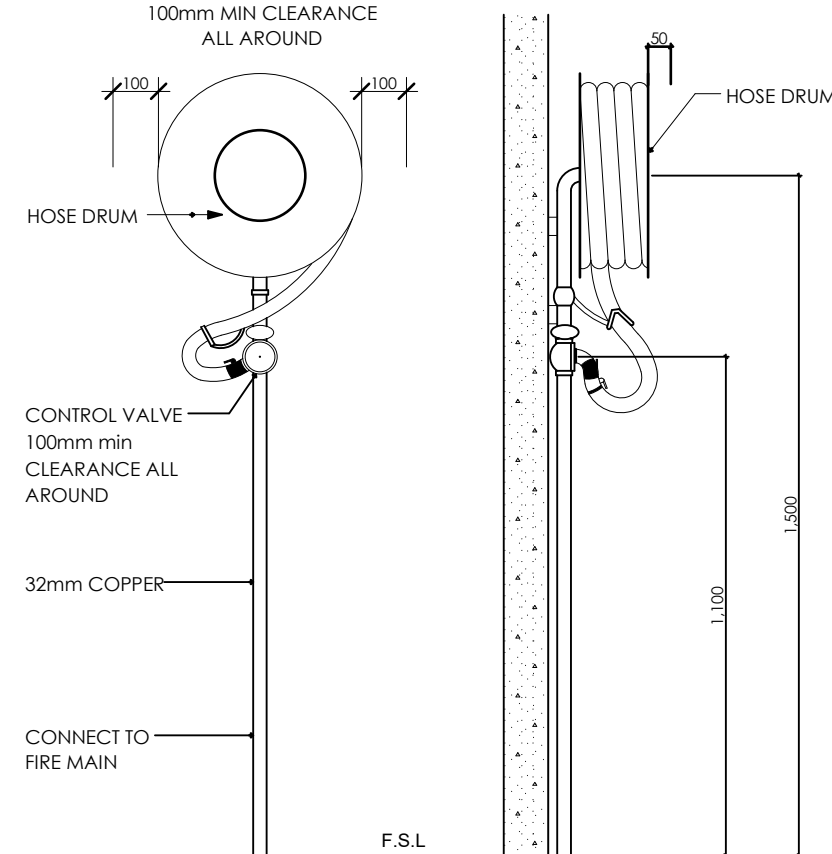
EXTINGUISHER INSTALLATION DETAIL

LOCATE & MOUNT IN ACCORDANCE WITH AS 2444 CL. 3.3.3

SIGN TO BE LOCATED TO BE VISIBLE FROM 15m & ALL DIRECTIONS OF APPROACH.
PROVIDE ADDITIONAL SIGN OR SIGNS PERPENDICULAR TO THE WALL WHERE
INSTALLED IN CORRIDORS.

FIXING POINT HEIGHT
PREFERRED EXT. MOUNTING HEIGHT 2A 800(E) = 900 AFFL
PREFERRED EXT. MOUNTING HEIGHT 20 & 40(E) = 1200 AFFL

In a stairway, a min 2m height must be achieved
measured vertically above the nosing line at any point
and stairs to not exceed 18 risers



1. MANUFACTURE HOSE REEL IN ACCORDANCE WITH AS 1221-1991
2. INSTALL HOSE REEL IN ACCORDANCE WITH AS 2441-1988
3. HOSE LENGTH 36m x 19mm Ø. FIT 6mm NOZZLE

INTERNAL HOSE REEL INSTALLATION

NOTE: 100mm min CLEARANCE REQUIRED ALL AROUND DRUM & VALVE
NOTE: REELS INSTALLED IN CUPBOARDS SHALL BE INSTALLED AS CLOSE
PRACTICAL TO THE BACK OF THE DOOR AND NOT MORE THAN 50mm FROM
THE BACK OF THE DOOR PROVIDE 50mm SIGN 'FIRE HOSE REEL'.


WINDOW LEGEND	
F.	DENOTES - Fixed Glazing
O.	DENOTES - Operable Glazing
SL	DENOTES - Sliding Door
Obs	DENOTES - Obscured Glazing
SG	DENOTES - Safety Glass as per AS1288
CP	DENOTES - All glazing to be Pilkington comfort plus or similar
NOTE: WINDOWS SIZES AND STYLES ARE NOMINAL ONLY & ARE MEASURED INTERNALLY BETWEEN REVEALS. ACTUAL WINDOW SIZES MAY VARY DEPENDING ON THE MANUFACTURERS STANDARDS. THE OWNER IS TO CONFIRM THE SIZES WITH THE BUILDERS WINDOW MANUFACTURER PRIOR TO COMMENCEMENT. WINDOWS TO BE FLASHED AS REQUIRED ALL WINDOWS ARE TO BE IN ACCORDANCE WITH A.S. 1288	

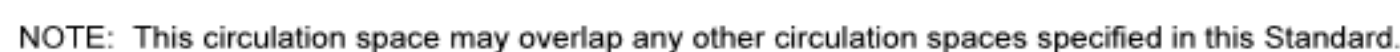
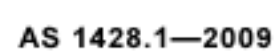
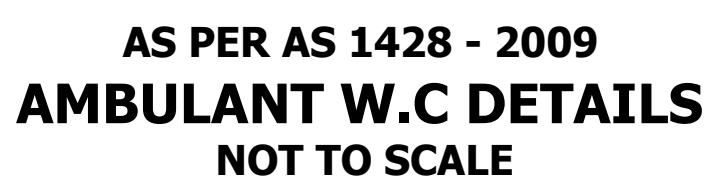
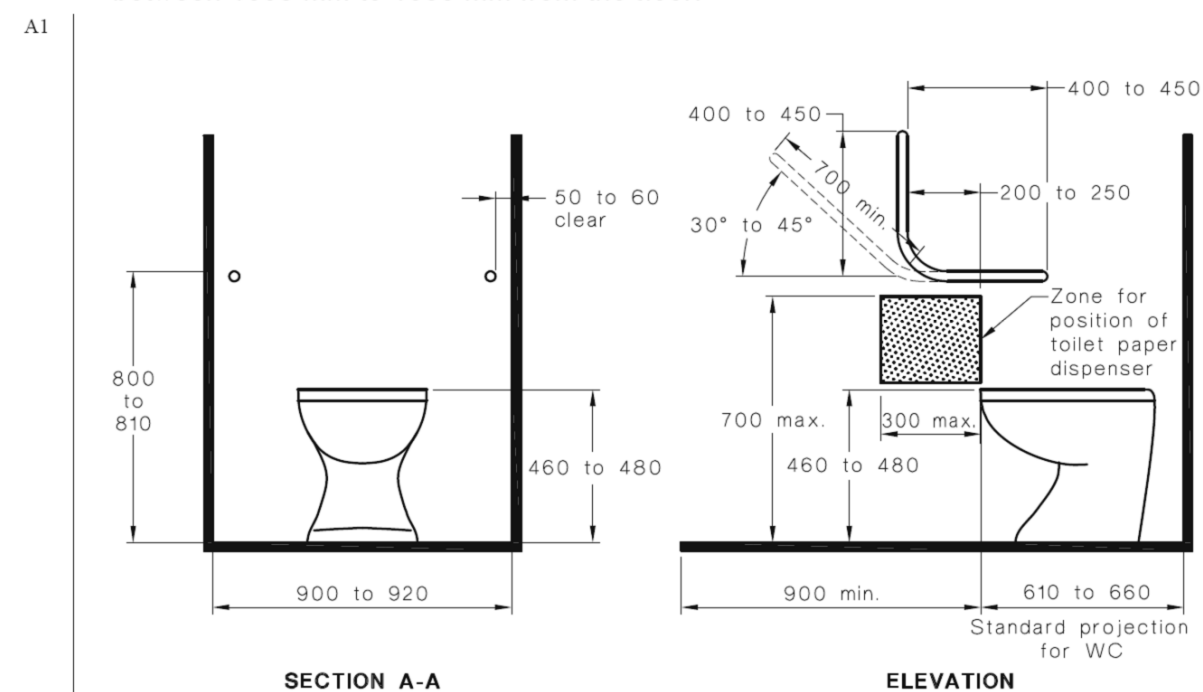
NOTE:
WINDOWS SIZES AND STYLES ARE NOMINAL ONLY & ARE
MEASURED INTERNALLY
BETWEEN REVEALS. ACTUAL WINDOW SIZES MAY VARY
DEPENDING ON THE
MANUFACTURERS STANDARDS. THE OWNER IS TO CONFIRM THE
SIZES WITH THE
BUILDERS WINDOW MANUFACTURER PRIOR TO COMMENCEMENT.
WINDOWS TO BE
FLASHED AS REQUIRED ALL WINDOWS ARE TO BE IN
ACCORDANCE WITH A.S. 1288

DISABLED ACCESS

NOTES	LEGEND
GENERAL NOTES: EXTERNAL PARKING BAYS ARE TO HAVE A GRADIENT OF NO GREATER THAN 1:40. INTERNAL DOORS TO HAVE A MINIMUM OPENING WIDTH OF 850mm FOR DISABLED ACCESS. PROVIDE DISABLED SIGNAGE THROUGHOUT THE SITE IN ACCORDANCE WITH B.C.A SPEC 3.6 AND AS1428.1	DENOTES DISABLED PARKING SPACES. THESE SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS1428.1, AS1428.2 AND AS2890.1. PROVIDE VERTICAL SIGNAGE TO THESE SPACES IN ACCORDANCE WITH AS2890.1 & AS1428.1 (CLAUSE 13) 1 DENOTES MAIN ENTRANCE DOORS WITH A MINIMUM CLEAR OPENING OF 850mm 2 DENOTES FLAT LANDING AREA FOR WHEELCHAIR ACCESS MANEUVERING (1330mm WIDE MINIMUM.)

GENERAL NOTES: o All levels and dimensions must be checked and verified before commencing any work or workshop drawings. o DO NOT SCALE DRAWING. Written dimensions take precedence over scale. o All works are to be in accordance with BCA, SAA Codes, Building Regulations and any relevant council by-laws. o This drawing to be read in conjunction with structural drawings & computations ROOFING NOTES: o All downpipes noted (DP) to be 150mm dia. PVC. Gutters 600mm(W) X 200mm (D) zincalume finish steel, flashed and capped over. o Roof decking to be timberdeck 0.48mm thick or approved similar anodume finish steel sheet, Slope 3 degrees UNO. Sarking to underside. o Natural acrylic rooflighting to match steel deck profile. To be kept a minimum of 1000mm clear of gutters side boundaries and ridge. o Provide 3.0mm thick wire under roofing 300X150 grid. AMENITIES NOTES: o Use 90X45 F5 Seasoned pine framing @ 450mm ctrs. o Ceiling & floor joists as noted. o All framing to comply with AS1684 o All catlock and W.C. doors to have self closers (REMOVABLE HINGES) o Apply Ceramic tiles to: in previous floors over approved sub-base. 300mm above vanity basins 1800mm high in showers FIRE FIGHTING NOTES: o Disabled toilets to comply with AS1428.1 o The layout of all equipment fixed to be such that actual lengths of travel to exit are no greater than 40.0m GLAZING NOTES: o All escape doors to be fitted with latches operable from inside without the use of a key by a single handed action. o All glazing to comply with AS1288. Window manufacturer to provide a specification for the Building surveyor, prior to installation. o All windows to be Aluminium framed "Commercial" type sections, powder coated to selected colour. Window fabricator to provide all angles and cover-plates in the same powder-coated colour.	date 30.09.19 AS PER SURVEYORS REQUEST 09.10.19 AS PER SURVEYORS REQUEST amendments <table><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr></table>								

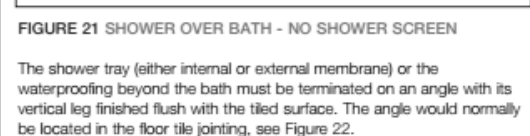
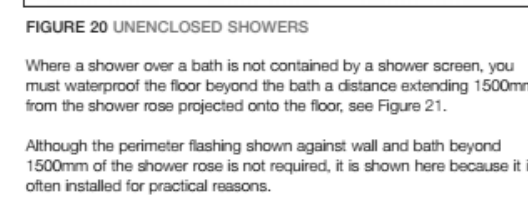
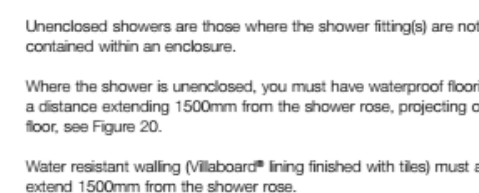
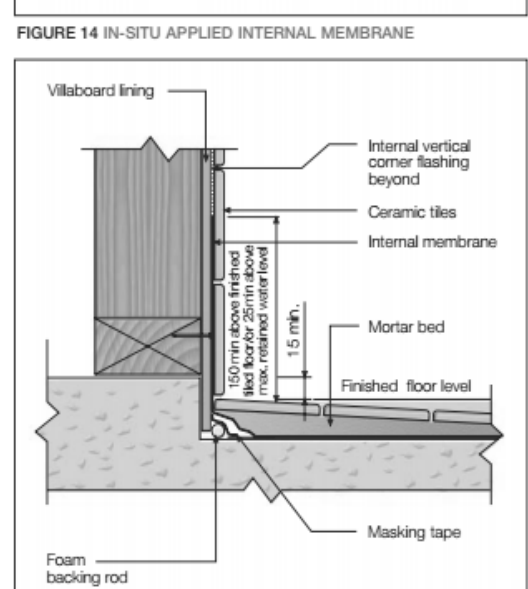
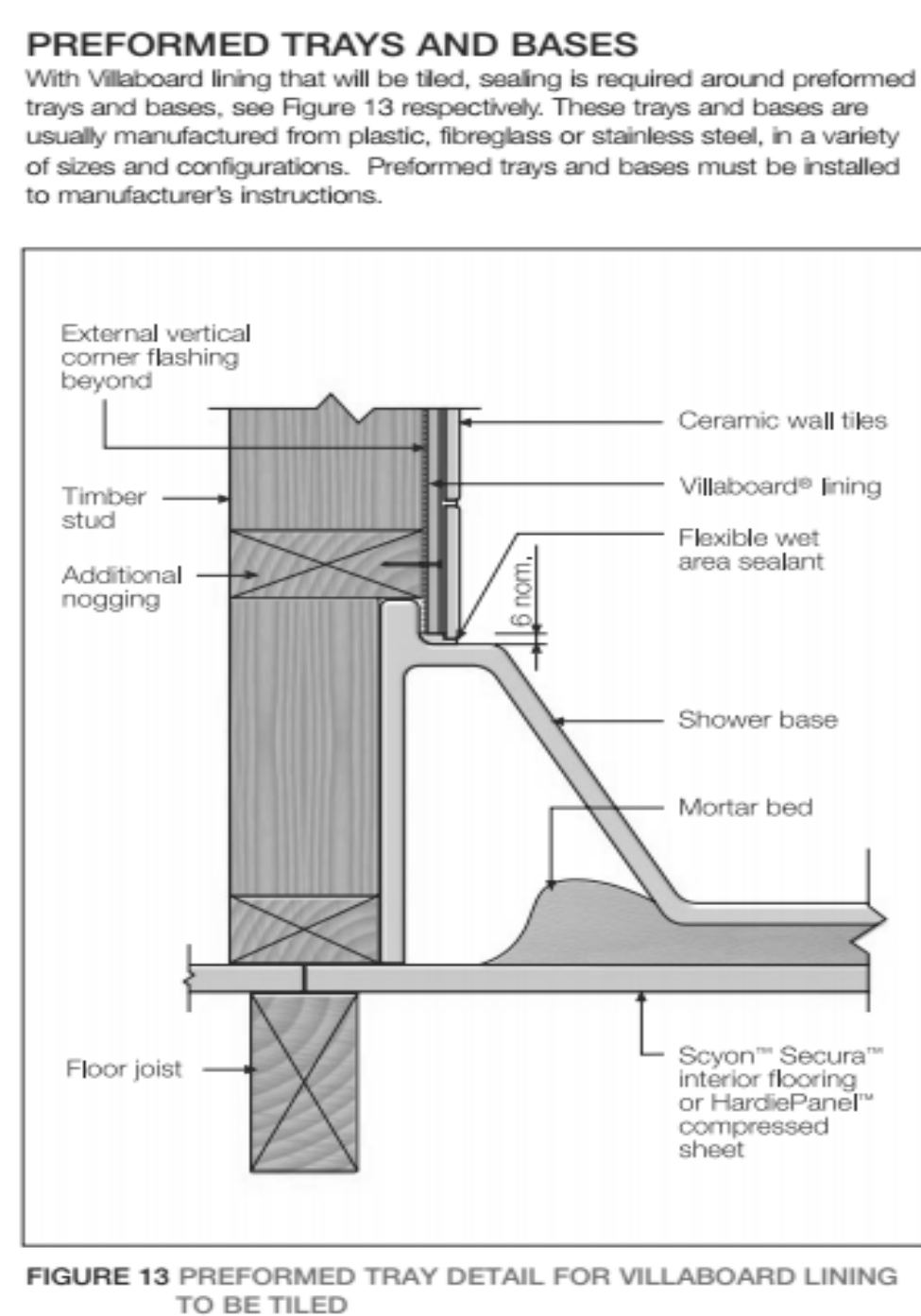
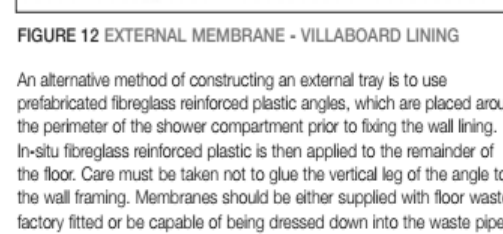
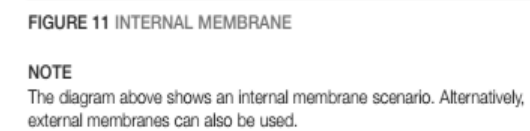
M7 Design Group Pty. Ltd. building designers <div><div></div><div></div><div></div></div> registered building practitioner	T 09 9337 8111 F 09 9337 8116 M 0409 169 993 A 5/61 Watton Rd Melbourne, VIC	Proposed: WAREHOUSE DEVELOPMENT At: LOT 45 APEX DRIVE TRUGANINA Client: KARANFILOVSKI INVESTMENTS Job No: 1816 Date: 19.09.19	<table><tr><th>date</th><th>amendments</th></tr><tr><td>30.09.19</td><td>AS PER SURVEYORS REQUEST</td></tr><tr><td>09.10.19</td><td>AS PER SURVEYORS REQUEST</td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr></table> <div><small>copyright 2019. these drawings are not to be copied in part or in whole with out the written consent of the author</small> <div><div></div><div>sheet no: 08</div></div></div>	date	amendments	30.09.19	AS PER SURVEYORS REQUEST	09.10.19	AS PER SURVEYORS REQUEST						
	date	amendments													
30.09.19	AS PER SURVEYORS REQUEST														
09.10.19	AS PER SURVEYORS REQUEST														



GENERAL

The height of the sides of the shower tray above the highest point of the finished tiled floor surface must be 150mm high or 25mm above the maximum possible water level in the shower compartment, whichever is higher, see Figure 11. Shower trays can be external, preformed or internal.

These are constructed by installing a prefabricated tray manufactured from plastic, other flexible waterproofing membrane material, stainless steel or copper prior to fixing wall lining, i.e. the tray is on the outside of the wall lining, see Figure 12.



DISABLE W.C DETAILS
NOT TO SCALE



M7 Design Group Pty. Ltd. building designers <div style="border: 1px solid black; height: 40px; width: 100%;"></div> <div style="border: 1px solid black; height: 40px; width: 100%;"></div> registered building practitioner	T : 03 9337 8111 F : 03 9337 8110 M : 0409 159 993	Proposed: WAREHOUSE DEVELOPMENT At: LOT 45 APEX DRIVE TRUGANINA Client: KARANFILOVSKI INVESTMENTS Job No: 1816 Date: 19.09.19	date amendments 30.09.19 AS PER SURVEYORS REQUEST 09.10.19 AS PER SURVEYORS REQUEST <div style="border: 1px solid black; height: 40px; width: 100%;"></div> <div style="border: 1px solid black; height: 40px; width: 100%;"></div>
	<small>copyright 2019. These drawings are not to be copied or further distributed without the written consent of the author.</small>		
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	<div style="height: 40px;"></div>		
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11.2 Stairway handrails

Handrails shall be continuous throughout the stair flight and, where practicable, around landings (see Figure 28) and have no obstruction on or above up to a height of 600 mm and as follows:

- (a) The design and construction of handrails shall comply with Clause 12.
- (b) Handrails shall be installed on both sides of the stairs and as shown in Figures 26(A) and 26(B).
- (c) Handrails shall have no vertical sections and shall follow the angle of the stairway nosings, as shown in Figure 28(b).
- (d) Where a handrail terminates at the bottom of a flight of stairs, the handrail shall extend at least one tread depth parallel to the line of nosings plus minimum of 300 mm horizontally from the last riser (see Figure 28(b)).
- (e) The handrail shall extend a minimum of 300 mm horizontally past the nosing on the top riser.
- (f) Where the handrail is continuous, the 300 mm extension is not required in the inner handrail at intermediate landings as shown in Figure 28(a).
- (g) The dimensions indicating the heights of handrails shall be taken vertically from the nosing of the tread to the top of the handrail or from the landing to the top of the handrail.

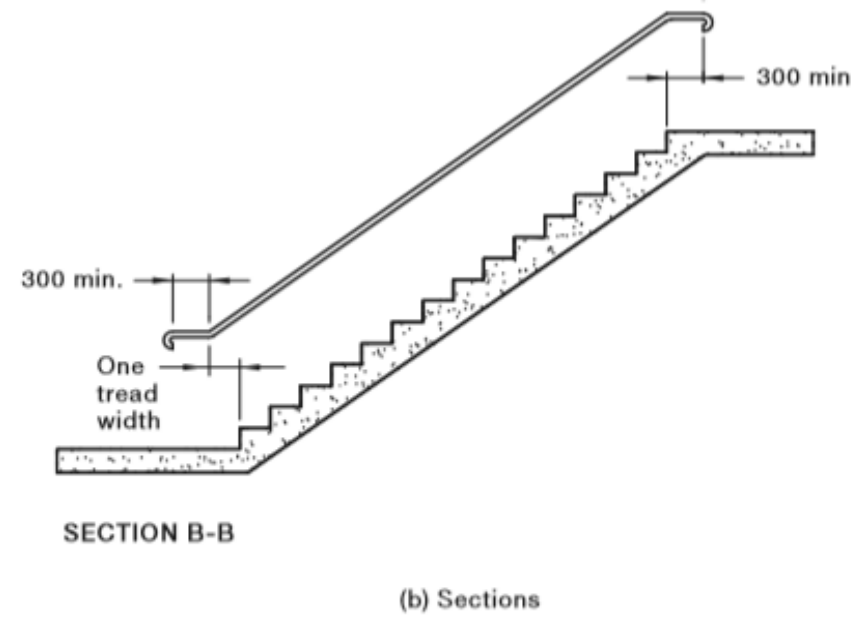
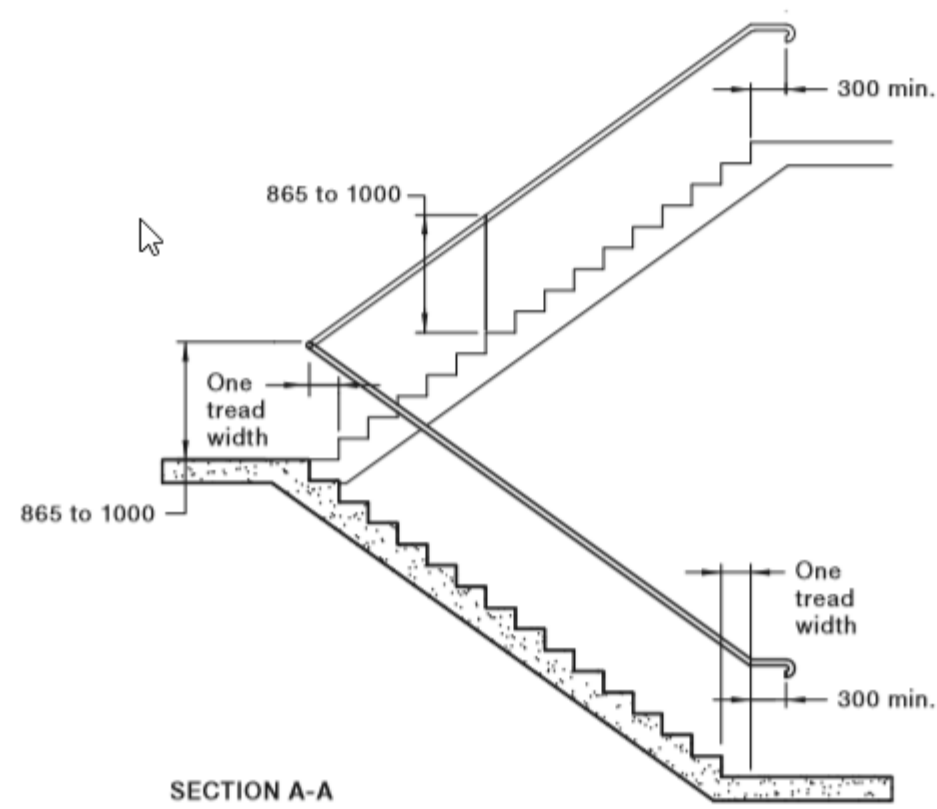
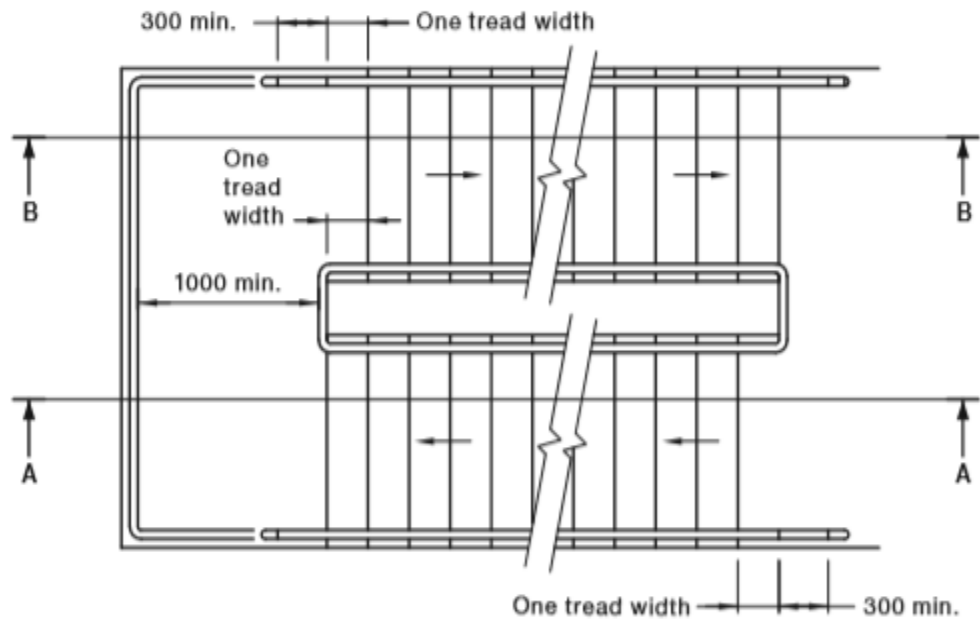


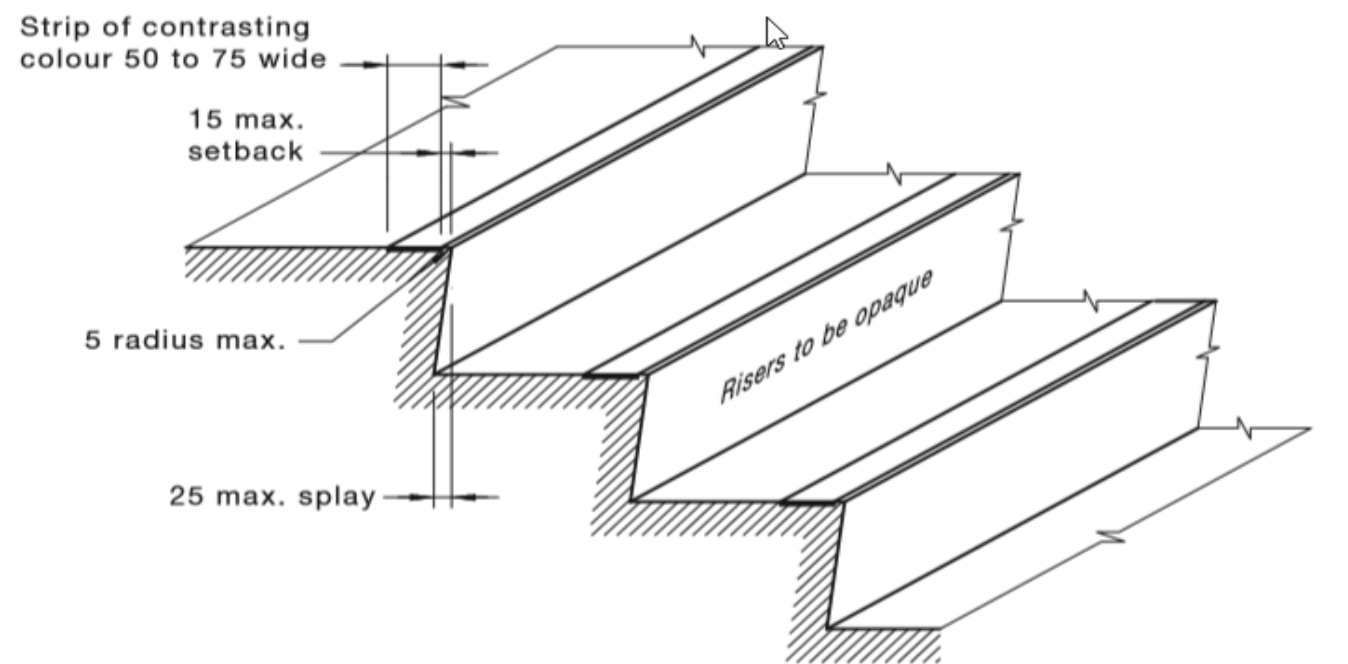
FIGURE 28 (in part) HANDRAILS TO STAIRS WITH INTERMEDIATE LANDINGS

STAIRS AS PER AS 1428.1-2009

12 HANDRAILS

The design and construction of handrails shall comply with the following:

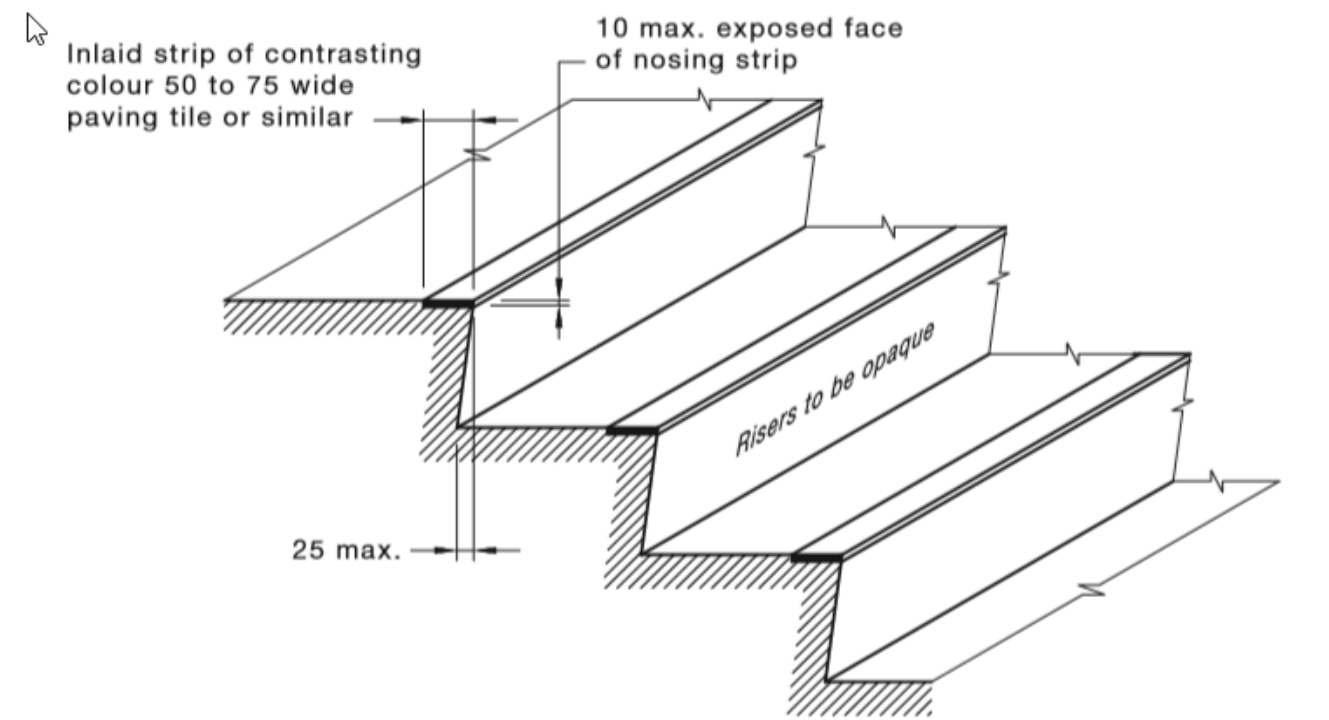
- (a) Handrails and balustrades shall not encroach into required circulation spaces.
- (b) The cross-section of handrails shall be circular or elliptical, not less than 30 mm or greater than 50 mm in height or width for not less than 270° around the uppermost surface as shown in Figures 29(a) and 29(b). Elliptical handrails shall have the greater dimension in the horizontal axis as shown in Figure 29(b).
- (c) Exposed edges at ends and corners of handrails shall have a radius of not less than 5 mm.
- (d) The top of handrails shall be not less than 865 mm nor more than 1000 mm above the nosing of stairway tread or the plane of the finished floor of the walkway, ramp or landing.
- (e) The height of the top of the handrail, measured in accordance with Item (d), shall be consistent through the ramp (or stairs) and any landings.
- (f) If a balustrade is required at a height greater than the handrail, both shall be provided.
- (g) Handrails shall be securely fixed and rigid, and their ends shall be turned through a total of 180°, or to the ground, or returned fully to end post or wall face, as shown in Figures 26(C) and 26(D).
- (h) The clearance between a handrail and an adjacent wall surface or other obstruction shall be not less than 50 mm. This clearance shall extend above the top of the handrail by not less than 600 mm.
- (i) Handrails shall have no obstruction to the passage of a hand along the rail, as shown in Figures 29(a) and 29(b).
- (j) The inside handrail at landings shall always be continuous, as shown in Figure 28(a).



NOTE: A chamfered nosing 5 x 5 mm may be used.

DIMENSIONS IN MILLIMETRES

FIGURE 27(A) A TYPICAL STAIR NOSING PROFILE WITH NOSING STRIP

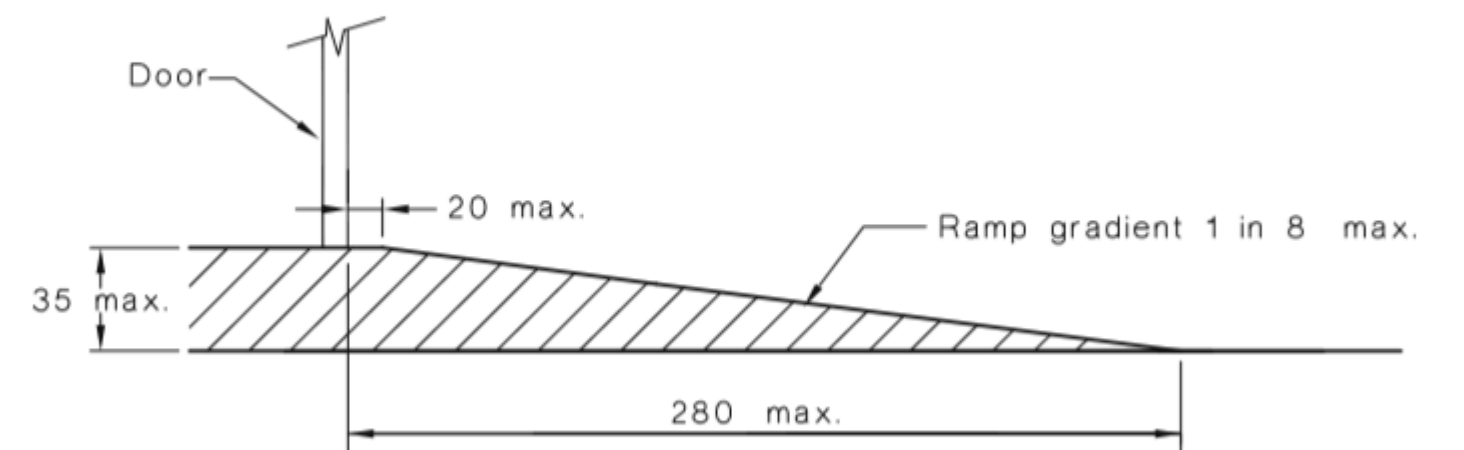


DIMENSIONS IN MILLIMETRES

FIGURE 27(B) A TYPICAL STAIR NOSING PROFILE WITH EXPOSED NOSING STRIP

The edges of the threshold ramp shall be tapered or splayed at a minimum of 45° where the ramp does not abut a wall.

NOTE: For door controls, see Clause 13.5.



DIMENSIONS IN MILLIMETRES

FIGURE 21 THRESHOLD RAMP

10.6 Step ramps

10.6.1 General

Step ramps shall have—

- (a) a maximum rise of 190 mm;
- (b) a length not greater than 1900 mm; and
- (c) a gradient not steeper than 1 in 10.

Step ramps shall be as shown in Figures 22(A) and 22(B), as appropriate.

The edges of step ramp shall have a 45° splay where there is pedestrian cross-traffic. Otherwise, it shall be protected by a suitable barrier, as shown in Figure 22(B), such as—

- (i) a wall or suitable barrier with a minimum height of 450 mm; or
- (ii) where an open balustrade is provided a kerb or kerb rail shall be provided.

(a) Example of identification sign for a unisex accessible toilet with a right-hand (RH) transfer

NOTES:

- 1 The Braille indicator is only used where there are multiple lines of text. It indicates the location of the first line of Braille.
- 2 Visual message: The sign displays a unisex accessible toilet with right-hand (RH) transfer.
- 3 Minimum required raised tactile message: 'Unisex Toilet RH' in raised tactile print and symbols.
- 4 Minimum required Braille message: 'Unisex accessible toilet RH' for right-hand transfer.

FIGURE 9 (in part) MODULAR FORM OF SIGNS

AS 1428.1—2009

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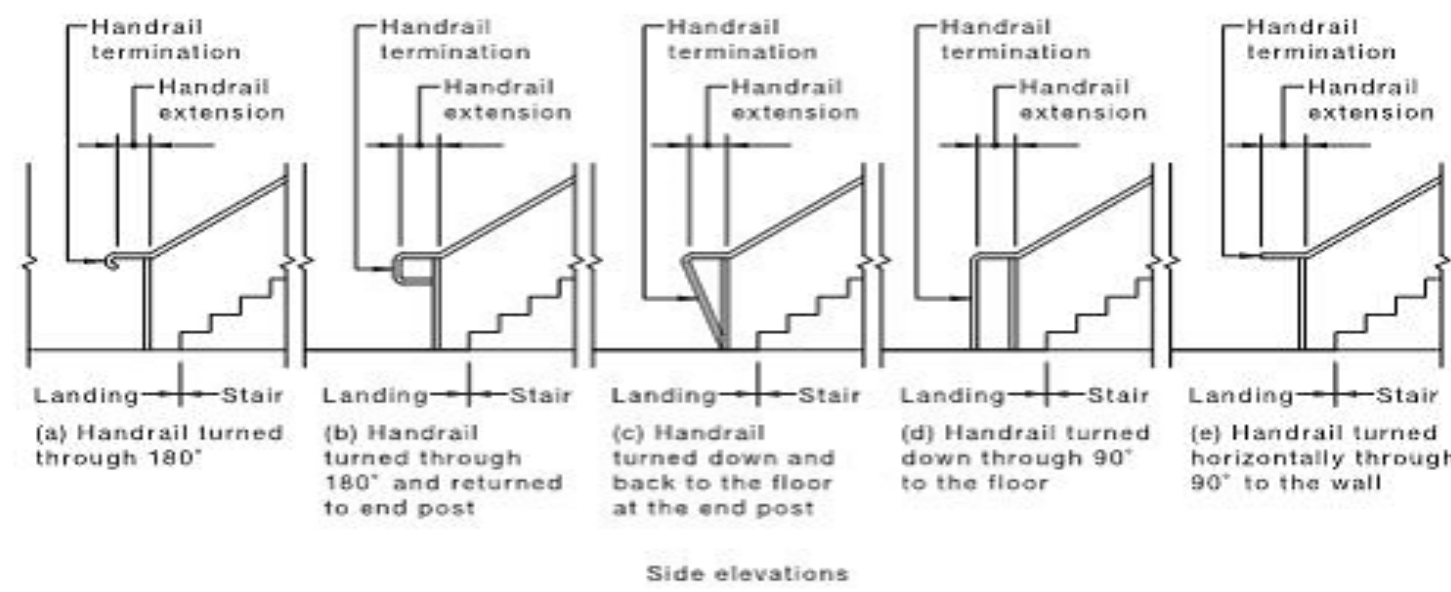
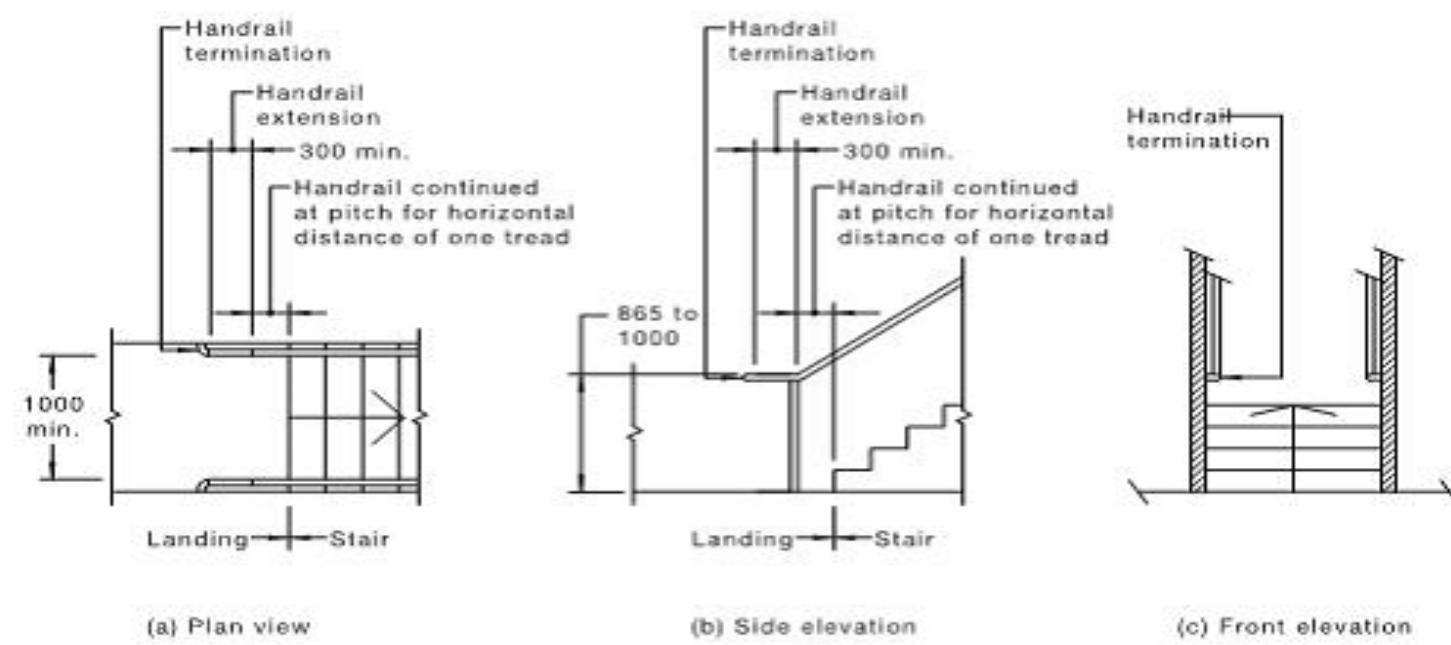


FIGURE 26(C) STAIR HANDRAILS—HANDRAIL TERMINATIONS



DIMENSIONS IN MILLIMETRES

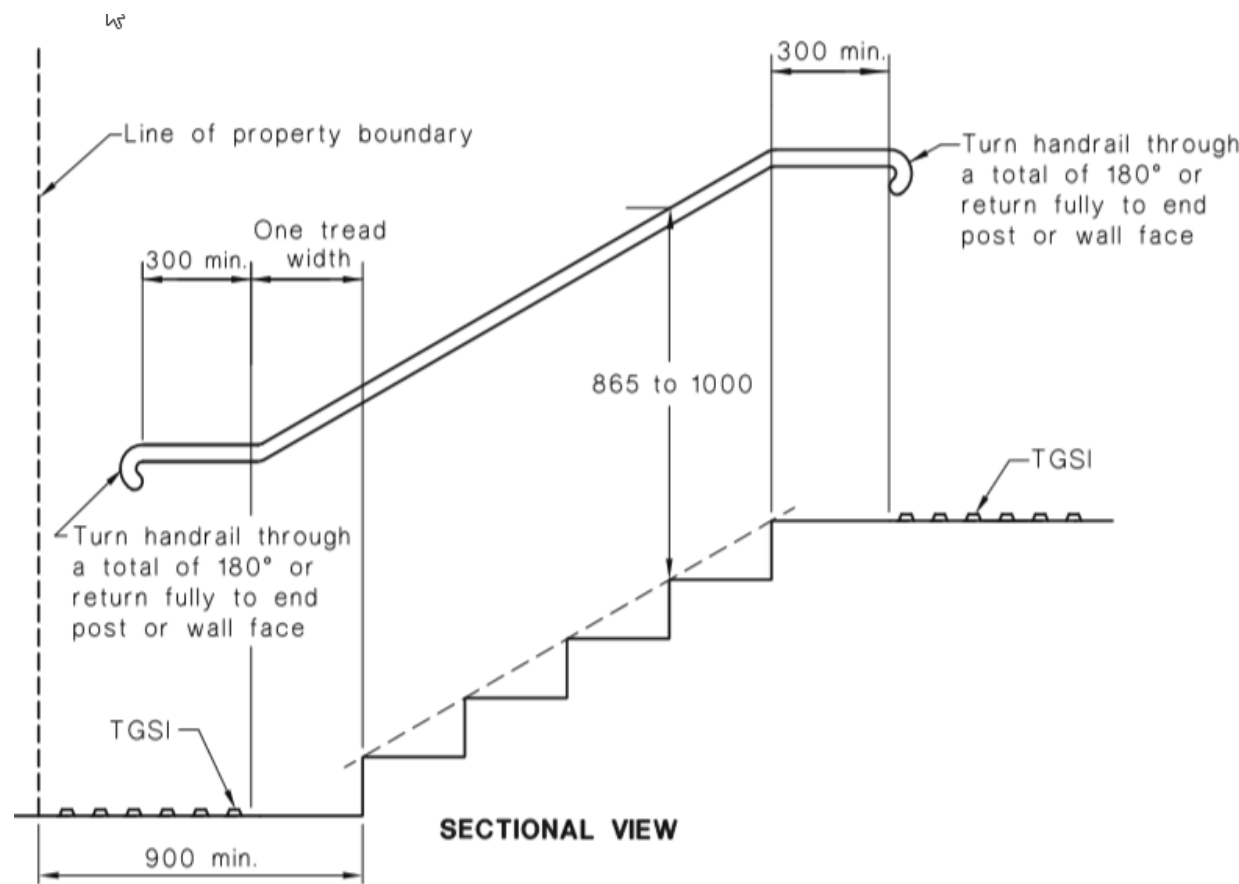


FIGURE 26(A) STAIRWAY LOCATION AND HANDRAIL EXTENSIONS AT BOUNDARY

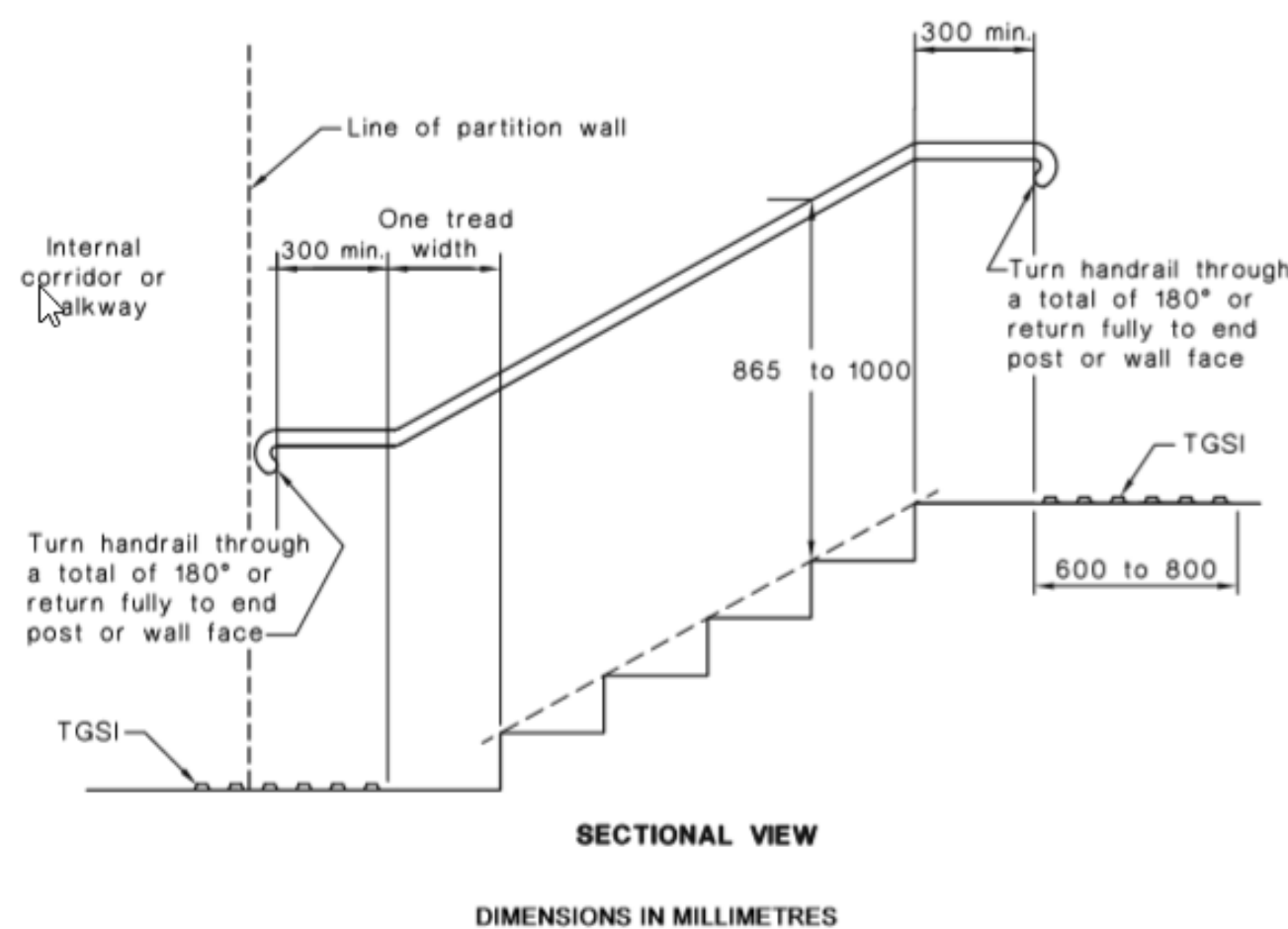
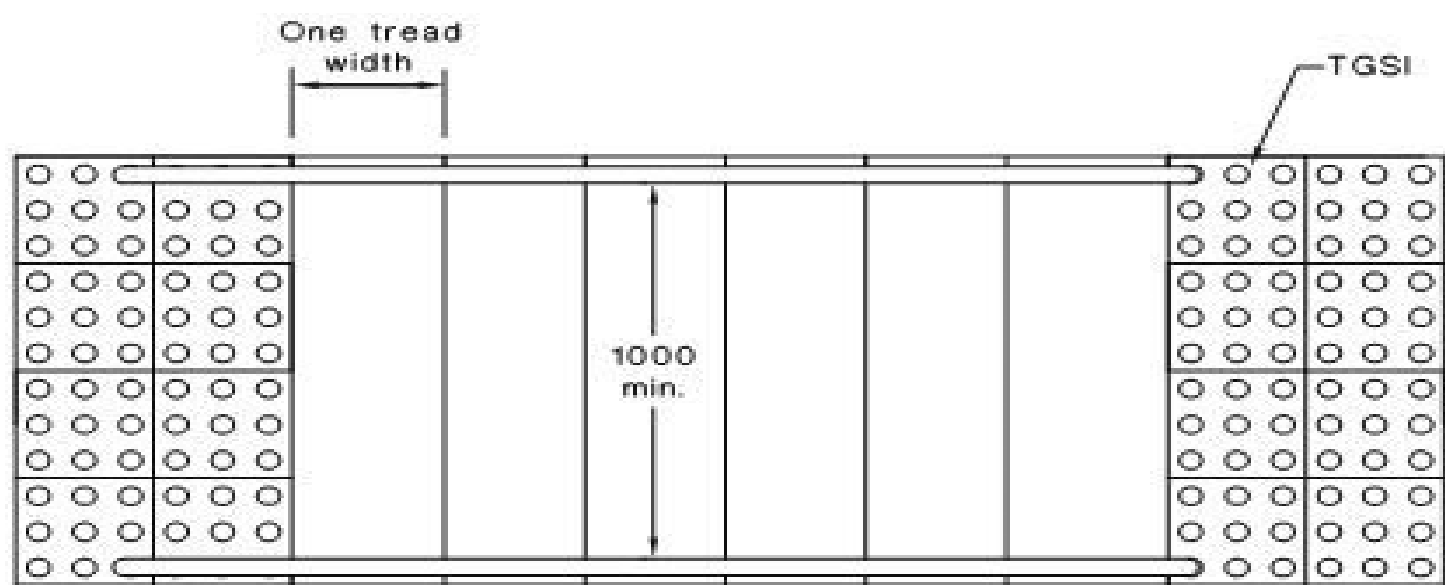
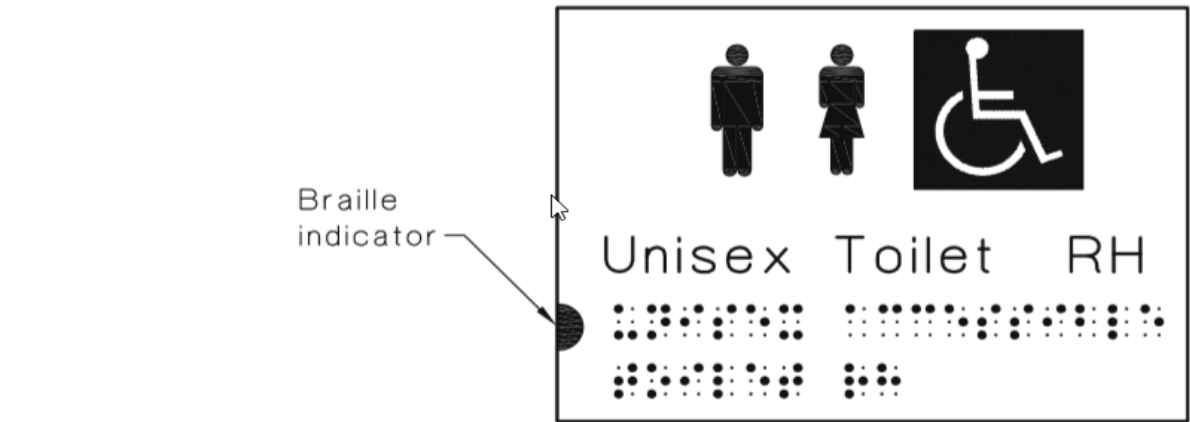


FIGURE 26(B) STAIRWAY LOCATION AND HANDRAIL EXTENSIONS AT END OF STAIRWAY OTHER THAN AT LINE OF BOUNDARY



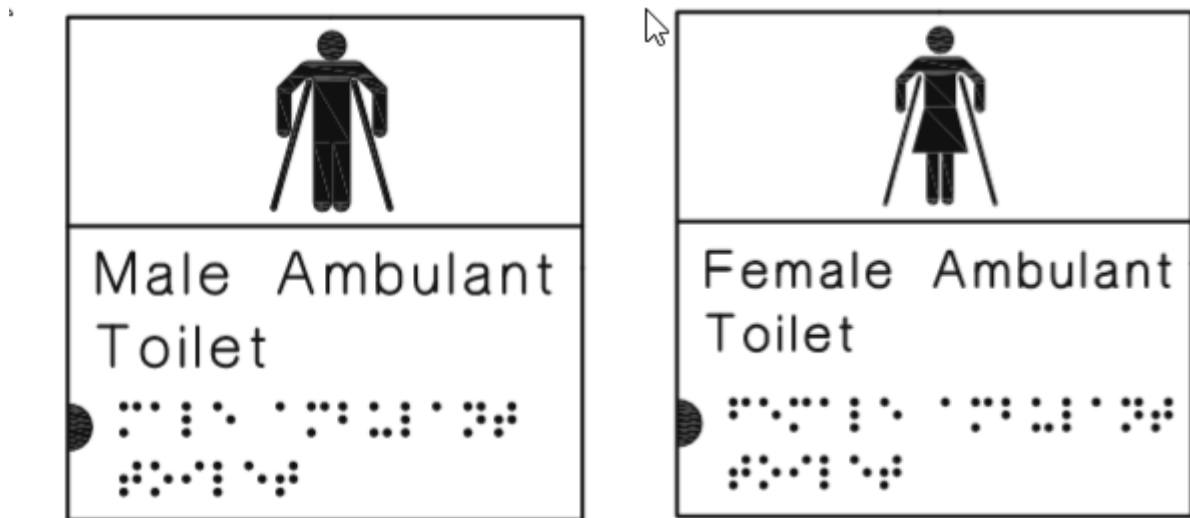
M7 Design Group Pty. Ltd. building designers registered building practitioner	Proposed: WAREHOUSE DEVELOPMENT	date 30.09.19 amendments AS PER SURVEYORS REQUEST
	At: LOT 45 APEX DRIVE TRUGANINA	At: 09.10.19 amendments AS PER SURVEYORS REQUEST
	Client: KARANFILOVSKI INVESTMENTS	
	Job No: 1816 Date: 19.09.19	
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		sheet no: 10



(a) Example of identification sign for a unisex accessible toilet with a right-hand (RH) transfer

- NOTES:**
- 1** The Braille indicator is only used where there are multiple lines of text. It indicates the location of the first line of Braille.
 - 2** **Visual message:** The sign displays a unisex accessible toilet with right-hand (RH) transfer.
 - 3** **Minimum required raised tactile message:** 'Unisex Toilet RH' in raised tactile print and symbols.
 - 4** **Minimum required Braille message:** 'Unisex accessible toilet RH' for right-hand transfer.

FIGURE 9 (in part) MODULAR FORM OF SIGNS



8.1 Form of signs

The BCA contains requirements for Braille and tactile signage in Specification D3.6.

Where signs are required, the form of signs shall be as follows:

- (a) Where required, raised tactile and/or Braille signage shall be provided as follows:

- (i) Sanitary facilities shall be identified with the following:
- (A)** Raised and visual versions of the international symbol of access.
 - (B)** Raised and visual versions of the male and female symbols.
 - (C)** Raised text that shall be in title case (e.g. Male Toilet).

- NOTE:** Title case has the first letter of each word capitalized and the rest are lower case. Short articles, prepositions and conjunctions are not capitalized.
- (D)** Braille that fully describes the visual information displayed by symbols and raised text.
- NOTES:**
- 1** For example, a sign for a male accessible toilet will include the words Male Toilet as visual, raised text and Braille as well as the raised visual male symbol.
 - 2** An example of a sign is given in Figure 9(a).

- (ii) Signs for unisex accessible facilities shall be provided with the letters LH or RH to indicate a left-hand or right-hand side transfer onto the WC pan. The minimum font size shall be 20 mm sans serif.

- NOTES:**
- 1** An example of right-hand side (RH) transfer is shown on Figure 9(a).
 - 2** Helvetica and Arial are sans serif fonts.

- (iii) Entry doors to airlocks serving areas containing sanitary facilities shall be identified by the use of raised text and Braille, together with raised and visual symbols identifying each sanitary facility within.

TABLE 1

SCYON™ MATRIX™ CLADDING DESIGN TABLE					
AS 4055 Wind classification		Can Scyon cavity trim be fixed off-stud	Stud & Scyon cavity trim spacing (mm)	Scyon* cavity trim fastener spacing (mm)	Matrix panel fastener spacing (mm)
Non-cyclonic	Cyclonic				
ALL SPECIFIED FASTENERS EXCEPT BRAD NAILS					
N1, N2 N3	C1	YES	600	300	200
N4	C2	NO	600	200	200
N5	C3	NO	400	200	200
N6	C4	NO	400	200	150
BRAD NAILS ONLY					
N1, N2		YES	600	300	200
N3	C1	YES	600	300	150**
N4	C2	NO	N/A	N/A	N/A
N5	C3	NO	N/A	N/A	N/A
N6	C4	NO	N/A	N/A	N/A

* In the case of fixing the cavity trim off stud, the fastener spacing will be at each support i.e. a maximum of 800mm centres, see Figure 5.

**If the C25 SS Brad nail is used, the spacing may be increased to 200mm.

PREPARATION

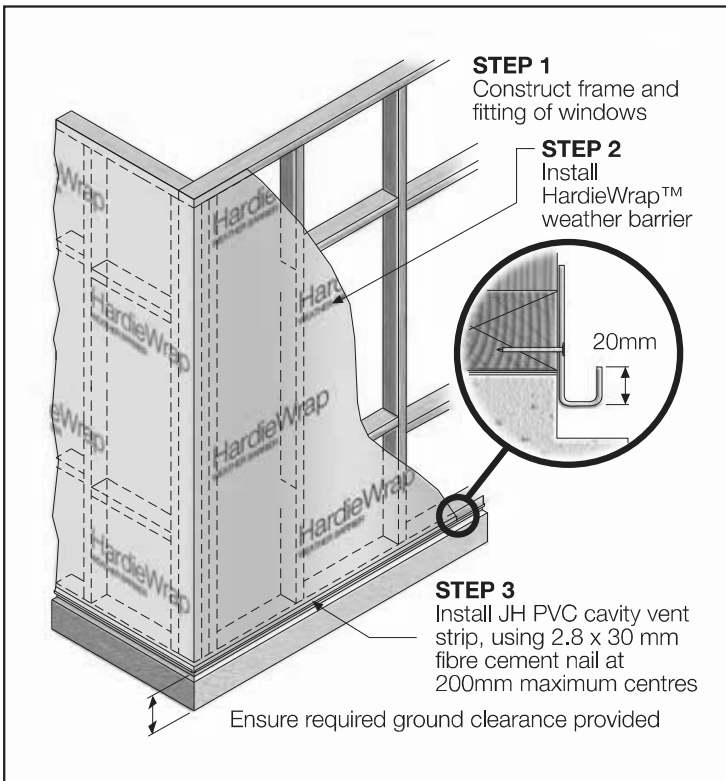


FIGURE 3 PREPARATION

NOTE

Generally, external and internal corners have additional framing requirements. Refer to the external and internal corner details for more information.

SCYON™ CAVITY TRIM INSTALLATION

General

The Scyon™ cavity trim is installed vertically over the HardieWrap™ weather barrier to either timber or metal stud wall frames. The Scyon cavity trim may be installed either on or off stud, refer to framing section for more information and Figures 4 and 5.

OPTION 1:

On-stud fixing

For on-stud fixing the Scyon™ cavity trim is installed directly to stud over the HardieWrap™ weather barrier, see Figure 4. For fastener and stud spacings, refer to Table 1.

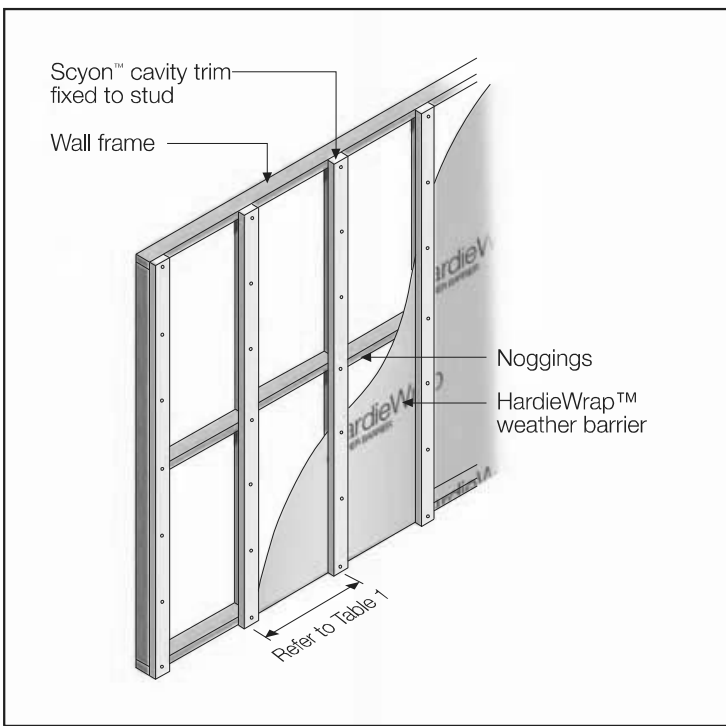


FIGURE 4 ON-STUD FIXING

OPTION 2:

Off-stud fixing

The Scyon™ cavity trim can be installed off-stud over the HardieWrap™ weather barrier. It is important that horizontal supports (noggings) are installed at a maximum of 800mm vertical centres. A specified fastener is fixed at the intersection of every support, see Figure 5. For Scyon cavity trim and stud spacings, refer to Table 1.

Scyon™ Cavity trim fasteners

For timber frames, use a corrosion resistant 65 x 2.8mm ring shank nail or a 75 x 2.8mm D or round head galvanised smooth shank nail.

For steel frames 0.55 – 0.75mm BMT, use a Buildex FibreZIPS® 30mm long screw.

For steel frames 0.8 – 1.6mm BMT, use a 40mm long HardieDrive® screw.

NOTE: Do not fasten within 30mm of the Scyon™ cavity trim ends and within 20mm of the edges.

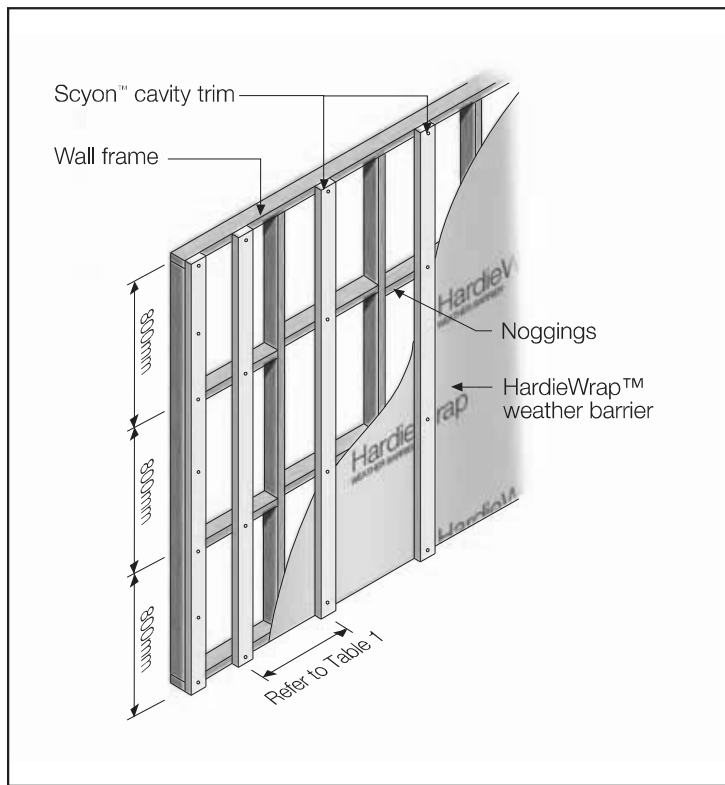


FIGURE 5 OFF-STUD FIXING

Layout

Planning the layout of the Scyon™ cavity trim and the Scyon™ Matrix panels is an essential part of installation to ensure a professional finish.

Datum lines should be set-up and used to ensure the edges of the Scyon™ cavity trim and Scyon™ Matrix™ panels are square. Datum lines can include the edges of windows, doors and building corners, see Figure 6.

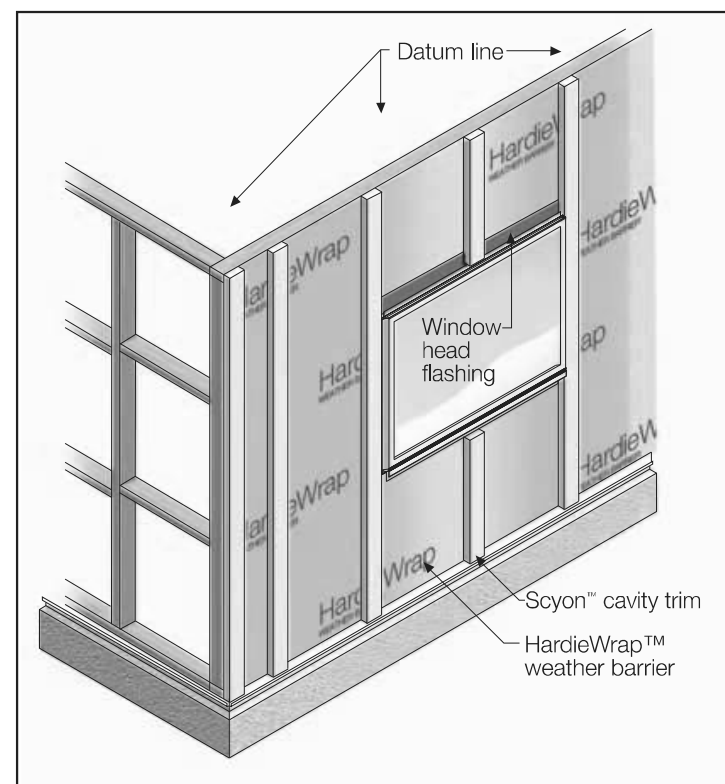


FIGURE 6 PANEL LAYOUT

JH BACKING STRIP INSTALLATION

General

At horizontal panel joints, the JH backing strip is bonded to the back of the Scyon™ Matrix™ panels to form a socket to which the next course of panels are fixed over. The lower side of the JH backing strip can be bonded using either James Hardie™ joint sealant or double sided backing tape, see Figures 11 and 12.

Ensure all surfaces are free of dust and grime.

OPTION 1:

Joint sealant option

This method involves applying a continuous bead of James Hardie™ joint sealant to the lower flange of the JH backing strip, see Figure 11.

NOTE:

The sealant applied to the backing strip below the stop must be fully cured before the panel is installed.

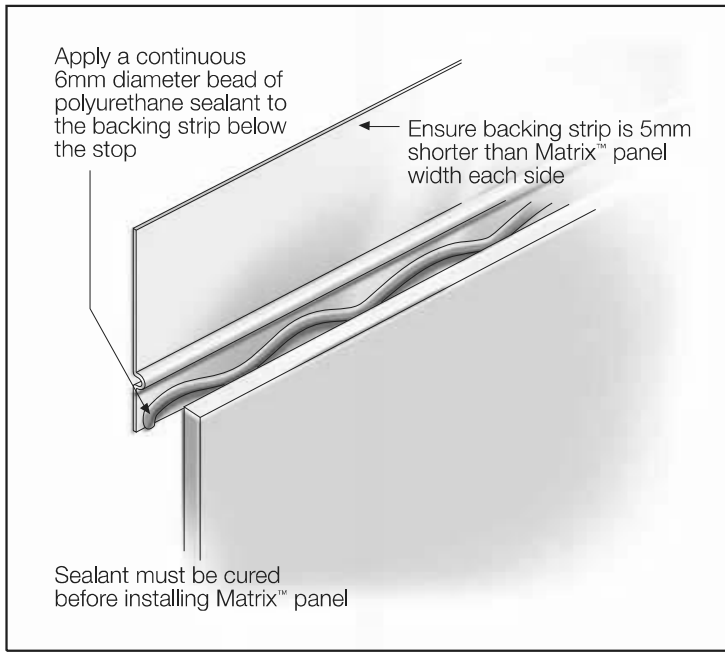


FIGURE 11 JOINT SEALANT OPTION 1

PAGE 4 OF 8 SCYON™ MATRIX™ CLADDING INSTALLATION INSTRUCTIONS

Scyon™ Matrix™ panel fasteners

The following fixing options are used to fix the Matrix panels to the Scyon™ cavity trim (also see Figures 19-22):

- C25mm 16 gauge or 25 DA 304 stainless steel brad nails.
- 2.8x30mm corrosion resistant fibre cement nails, 2.6 x 32mm galvanised or stainless steel twist shank nail with a minimum round head diameter of 5.3mm.
- 8-10 x 25 stainless steel countersunk chipboard screw square drive / needle point screw.
- 25mm wafer, pan or hex head stainless steel needle point screws.

NOTE: When using brad nails ensure that brad nails are not used in high wind areas, see Table 1.

In all options, a continuous bead of James Hardie joint sealant is applied to the Scyon™ cavity trim to fix the back of the Matrix™ panel to the Scyon™ cavity trim, see Figure 16.

For screw fasteners, a clearance hole must be created using a 6mm masonry drill.

For countersunk screws, the fastener must also be countersunk 2.5 to 3mm below the Scyon™ Matrix™ panel's surface, see Figure 21. The countersunk fastener is then flushed finished with epoxy and then with James Hardie base coat. Use only proven epoxies for this application, i.e. Megapoxy P1 or Hilti CA 125. Where the temperature is below 15°, use Hilti CA 273.

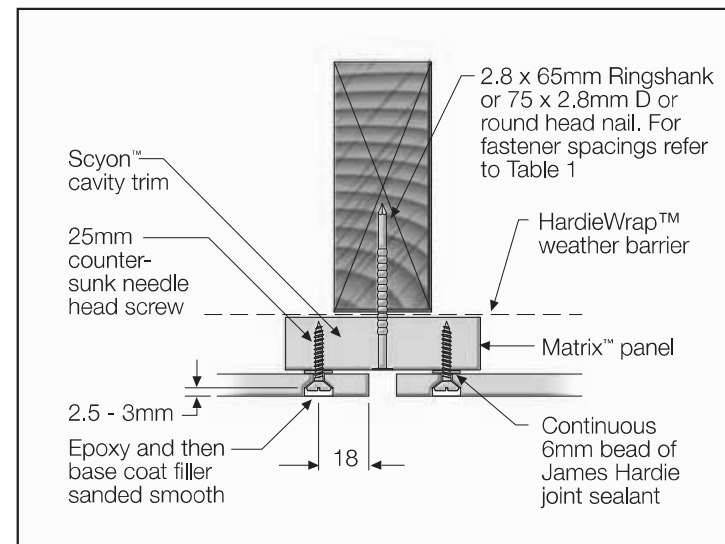


FIGURE 21 COUNTERSUNK SCREW OPTION 3

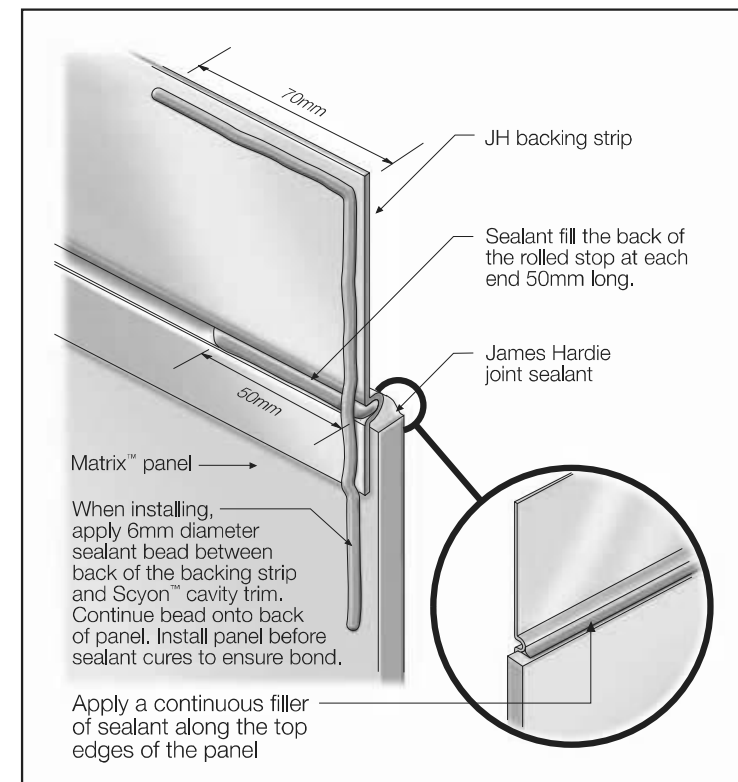


FIGURE 13 SEALING JH BACKING STRIP END DETAIL

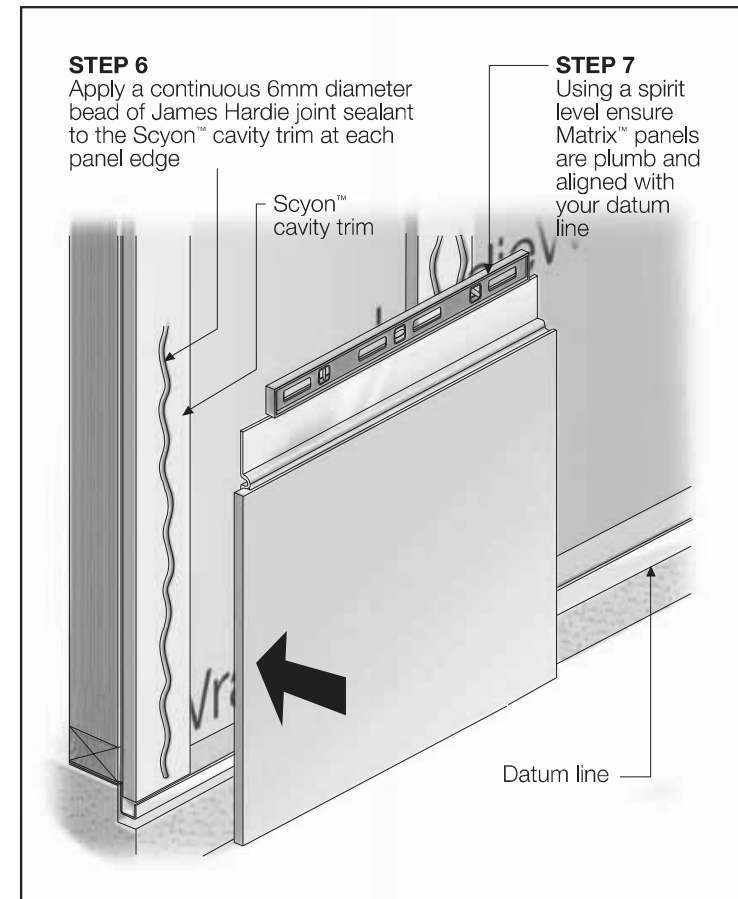


FIGURE 14 INSTALL FIRST PANEL

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AI	<p>NOTES:</p> <ol style="list-style-type: none">1 One symbol for each facility need only be used.2 Where the facilities for male and female are separate, a dividing line should be placed between each symbol. <p>(b) Elements of a sign shall be set out singularly, or in a modular form.</p> <p>NOTE: Examples of modular form are shown in Figures 9(a), 9(d), 9(e) and 9(f).</p> <p>(c) Elements of a sign shall be arranged horizontally or vertically and shall include raised text and Braille, together with raised and visual symbols. Where words are used, they shall be displayed horizontally.</p> <p>NOTE: Other symbols may be used in association with the text.</p> <p>(d) Facilities shall be identified by the use of raised text, Braille, and symbols if required. The identification shall be between 1200 mm and 1600 mm above finished floor levels.</p> <p>(e) A sanitary compartment for people with ambulant disabilities shall be identified in accordance with Figure 9(c).</p>

Braille shall be Unified English Braille (UEB), Grade 1, uncontracted, and shall be in accordance with the technical specifications set out by the Australian Braille Authority (ABA). Braille numerals shall be preceded by a Braille numerical sign.

The International Symbol of Access and the International Symbol of Deafness (see Clause 8.2.2) may be used without raised explanatory text such as 'accessible' or 'hearing loop installed'.

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		At: LOT 45 APEX DRIVE TRUGANINA	09.10.19 AS PER SURVEYORS REQUEST
		Client: KARANFILOVSKI INVESTMENTS	
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