

97 YERRICK ROAD LAKEMBA

Information Memorandum | **Expressions of Interest**



COMMERCIAL
Property Group



Site Structure Plan
111 THE HORSLEY DRIVE SMITHFIELD

2024
www.cpg.com.au





CONTENTS

Offering | 05

Property Summary | 06

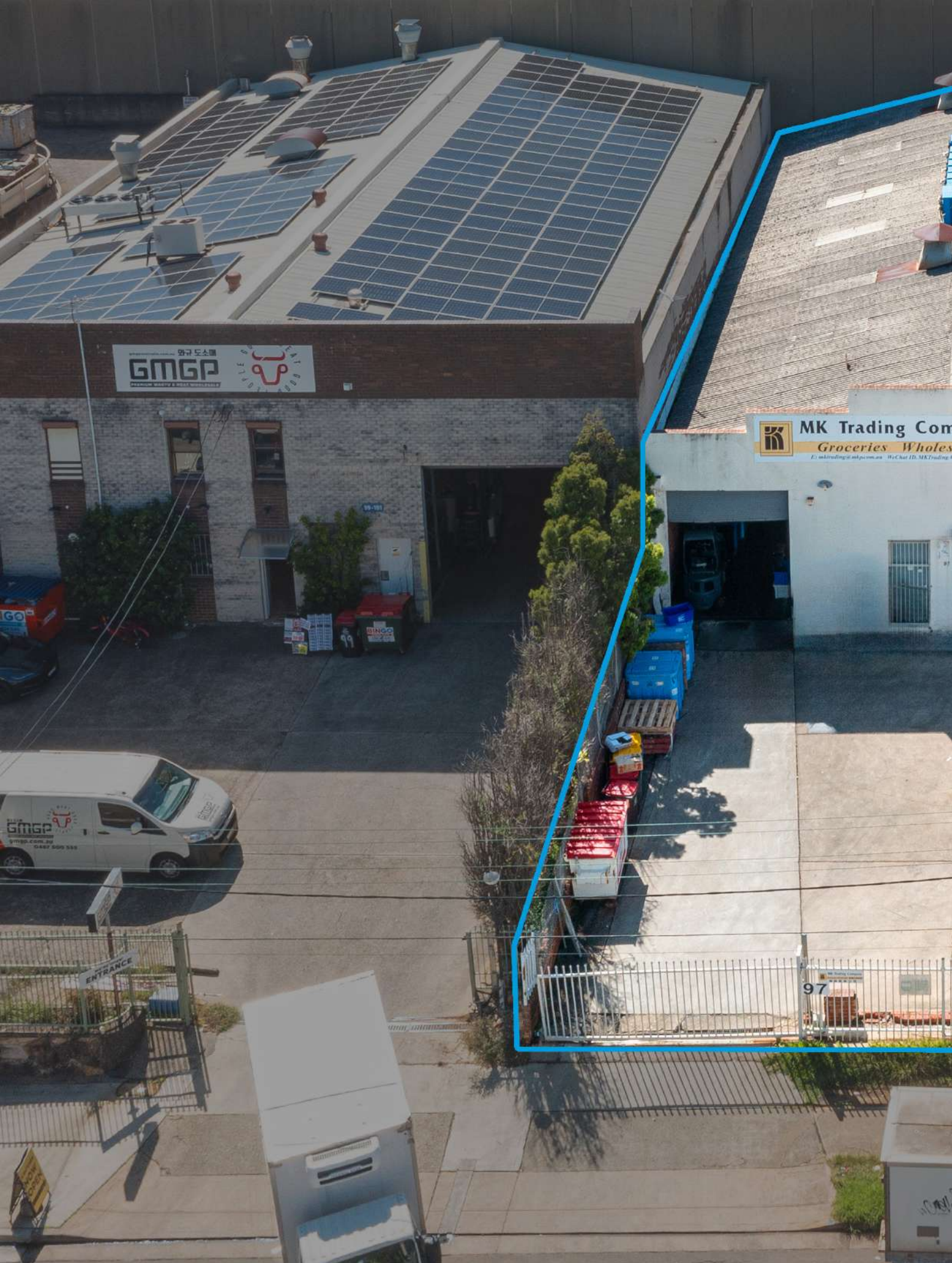
Outgoings & Tenancy | 08

Location | 10

Comparables | 12

Planning Details | 14

Contact Details | 16



OFFERING

Address

97 Yerrick Road, Lakemba NSW 2195

Title Details

Lot 5 DP6726

Property Type

Commercial: Industrial Building

Total Building Area*

470 m²

Total Land Area*

720 m²

Parking*

On Site Car Spaces

Expression of Interest

Closing Thursday, 14th May 2026 12:00pm

Inspections

By Appointment with Agents

Selling Agents

Ben Panayotopoulos

Senior Sales & Leasing Associate

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pk: 9758 8133
mobile: 0430 129 886 or 0411 112 111

*Approximate

PROPERTY SUMMARY

97 Yerrick Road is an opportunity for an astute investor, owner occupier or developer to acquire a sought-after freestanding building in Lakemba's most desirable location.

The site benefits from an enviable 15m² frontage to busy Yerrick Road, allowing for enormous exposure for your business.

Key features include:

- ✓ Land Size: 720m²*
- ✓ Building Area: 470m²*
- ✓ Secure yard
- ✓ Solid brick building.
- ✓ Easy truck access
- ✓ Container friendly
- ✓ Bathroom & kitchen amenities
- ✓ Ample onsite parking
- ✓ IN2 Light Industrial zoning

97 Yerrick Road is strategically located within the sought-after Lakemba's industrial precinct, allowing quick and easy access to arterials and major infrastructure including M4 & M5 Motorway, King Georges Road, and minutes from transport and Lakemba's retail amenities.

470 m²
Total Building Floorspace

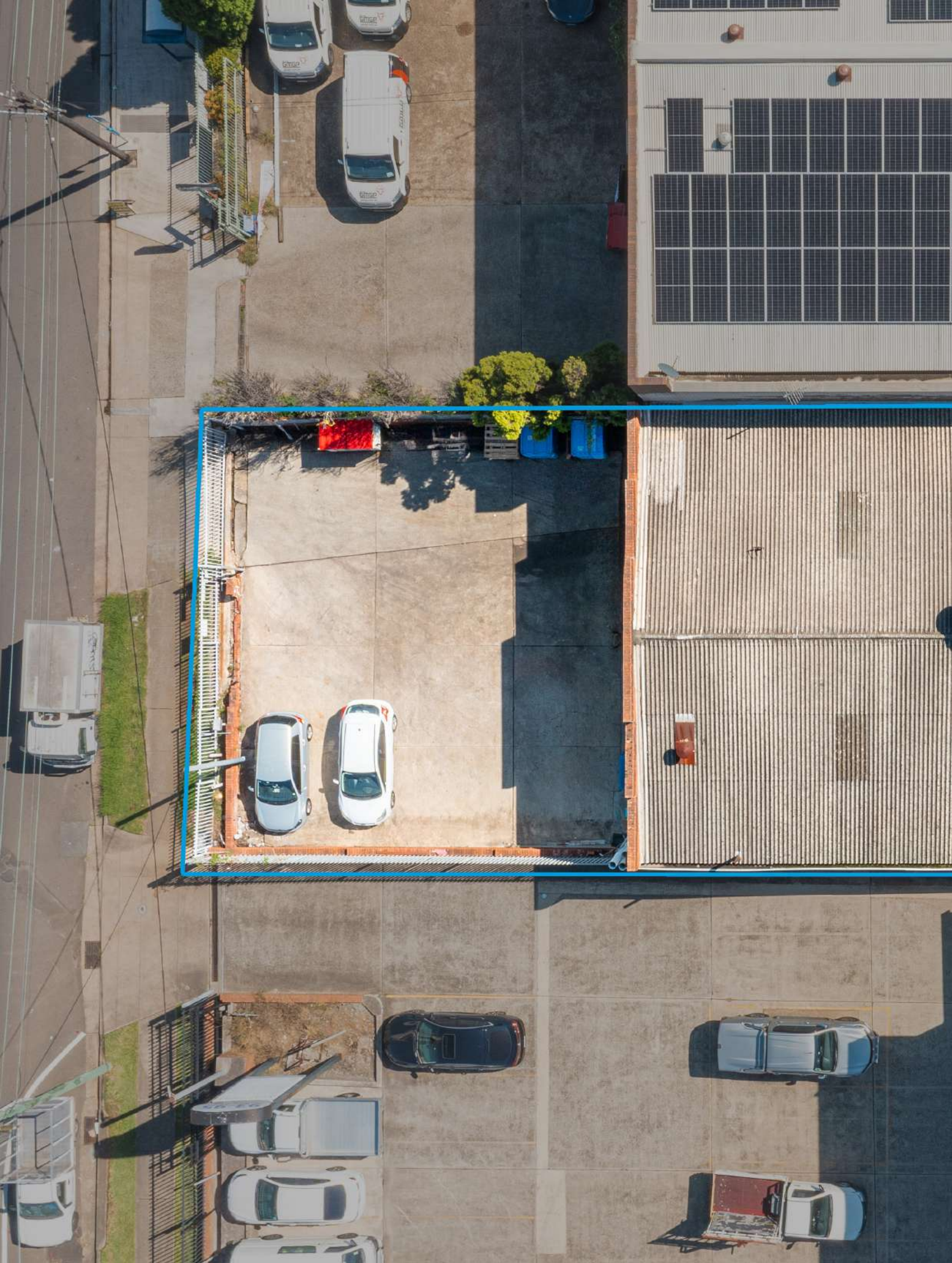
720 m²
Total Land Area

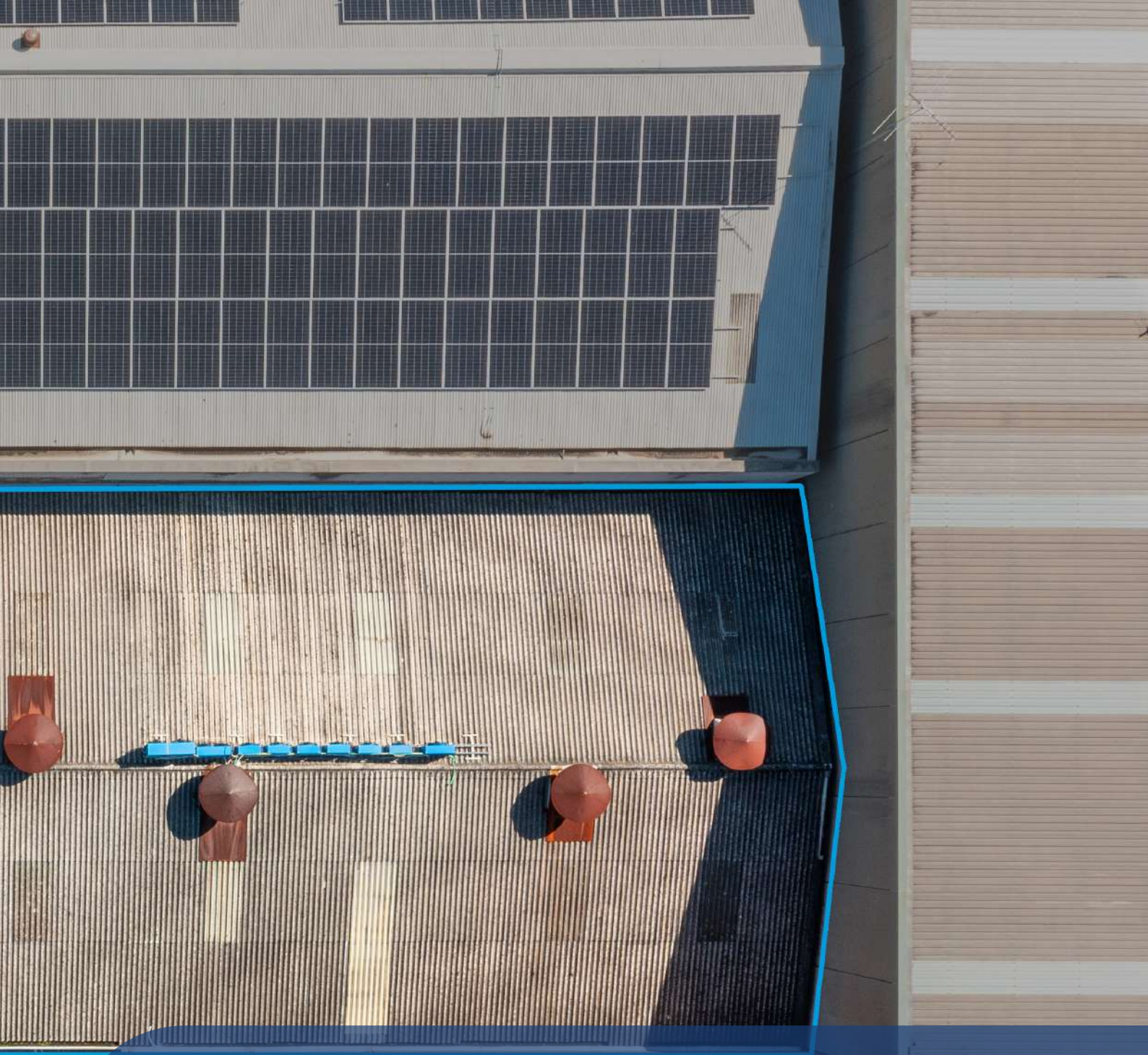
E4
General Industrial Zoning

Solid
Brick Building

5-6
Parking Spaces

Phone:





TENANCY

Tenant	Ocean Master Wholesale Pty Ltd
Commencement Date	18 April 2025
Lease Expiry	17 April 2028
Bond	\$19,800.00 + GST
Rent	\$118,000.00 + GST
Outgoings Payable	100% payable by the Tenants

LOCATION

Lakemba, NSW 2195, is a vibrant and commercially rich suburb about 12 kilometres south-west of Sydney's CBD, located within the City of Canterbury-Bankstown. Known for its cultural diversity and busy high-street atmosphere, Lakemba offers a mix of retail, service-based commerce, and light industrial opportunities, making it a dynamic base for businesses seeking both exposure and accessibility.

The retail core surrounds the railway station and runs along Haldon Street and Canterbury Road, where supermarkets, cafés, halal-friendly dining, multicultural grocers, and a variety of specialist service providers thrive. This area attracts steady pedestrian traffic from commuters and local residents alike, enhancing its appeal to retailers and hospitality operators looking for a lively and active storefront location.

Beyond the retail strip, Lakemba features pockets of commercial and light industrial property that cater to trade-based and logistics operators. Streets and precincts near Canterbury Road and Roberts Road host warehouses, workshops, showrooms, and distribution units, many of which provide container height access, generous yard space, and functional layouts—well suited to manufacturing, automotive, and wholesale sectors.

Transport connectivity is a key strength. Lakemba railway station plays a central role in the suburb's accessibility, while major arterials including Canterbury Road, the Hume Highway and nearby motorway links facilitate efficient movement for staff, customers and deliveries. This ease of access helps support a wide range of business activities, from retail and services to logistics.

With its lively commercial strip, strong multicultural catchment, functional industrial zones and solid transport infrastructure, Lakemba stands out as a commercially diverse suburb – offering serious location potential for retailers, service providers, and occupiers seeking a lively, well-connected presence in Sydney's inner-south-west.



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LOGISTICS CENTRE

PUNCHBOWL ROAD

YERRICK ROAD
LAKEMBA



COMPARABLE SALES

7 Hugh Street, Belmore

SALE PRICE: \$1,850,000.00

SALE DATE: November 2023

LAND AREA: 420 m²

BUILDING AREA: 375 m²

RATE ON LAND: \$4,405 per m²

COMMENTS: Smaller property, higher rate



9 Hugh Street, Belmore

SALE PRICE: \$2,585,000.00

SALE DATE: February 2024

LAND AREA: 528 m²

BUILDING AREA: 400 m²

RATE ON LAND: \$4,896 per m²

COMMENTS: Good comparable



39 Hugh Street, Belmore

SALE PRICE: \$2,320,000.00

SALE DATE: December 2023

LAND AREA: 650 m²

BUILDING AREA: 120 m²

RATE ON LAND: \$3,569 m²

COMMENTS: Land value only, awning no warehouse



43 Hugh Street, Belmore

SALE PRICE: \$2,660,000.00

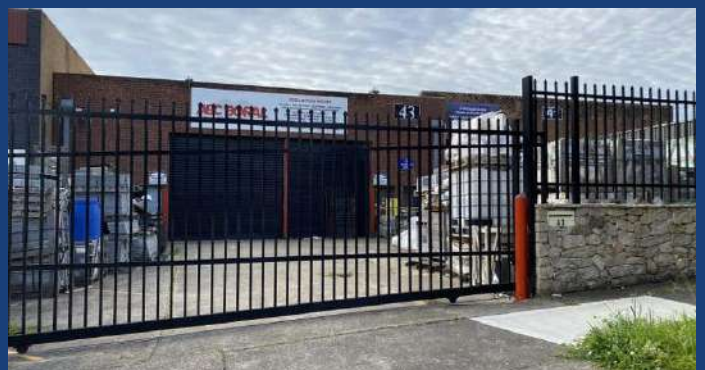
SALE DATE: August 2023

LAND AREA: 650 m²

BUILDING AREA: 391 m²

RATE ON LAND: \$4,092 per m²

COMMENTS: Good comparable



COMPARABLE SALES

41 Hugh Street, Belmore

SALE PRICE: \$2,950,000.00

SALE DATE: November 2023

LAND AREA: 650 m²

BUILDING AREA: 400 m²

RATE ON LAND: \$4,538 per m²



30 James Street, Lidcombe

SALE PRICE: \$4,000,000.00

SALE DATE: March 2026

LAND AREA: 715 m²

BUILDING AREA: 580 m²

RATE ON LAND: \$5,594 per m²



1 Cosgrove Road, Strathfield South

SALE PRICE: \$3,450,000.00 + GST

SALE DATE: July 2024

LAND AREA: 536 m²

BUILDING AREA: 646 m²

RATE ON LAND: \$7,080 per m² + GST



12 Madeline Street, Strathfield South

SALE PRICE: \$3,400,000.00

SALE DATE: October 2024

LAND AREA: 841 m²

BUILDING AREA: Not Available

RATE ON LAND: \$4,092 per m²

COMMENTS: Good comparable, On larger land



PLANNING DETAILS

E4 : General Industrial under Georges River Local Environmental Plan 2021 State Environmental Planning Policy Amendment (Land Use Zones) 2023

1 Objectives of zone

- To provide a range of industrial, warehouse, logistics and related land uses.
- To ensure the efficient and viable use of land for industrial uses.
- To minimise any adverse effect of industry on other land uses.
- To encourage employment opportunities.
- To enable limited non-industrial land uses that provide facilities and services to meet the needs of businesses and workers.
- To encourage a range of uses that support the repair, reuse, recycling, remanufacturing and reprocessing of waste.

2 Permitted without consent

Nil

3 Permitted with consent

Agricultural produce industries; Depots; Freight transport facilities; Funeral homes; Garden centres; General industries; Goods repair and reuse premises; Hardware and building supplies; Industrial retail outlets; Industrial training facilities; Light industries; Local distribution premises; Neighbourhood shops; Oyster aquaculture; Take away food and drink premises; Tank-based aquaculture; Warehouse or distribution centres; Any other development not specified in item 2 or 4

4 Prohibited

Agriculture; Air transport facilities; Airstrips; Amusement centres; Boat launching ramps; Boat sheds; Business premises; Camping grounds; Caravan parks; Cellar door premises; Cemeteries; Charter and tourism boating facilities; Community facilities; Correctional centres; Early education and care facilities; Eco-tourist facilities; Educational establishments; Entertainment facilities; Exhibition homes; Exhibition villages; Extractive industries; Farm buildings; Forestry; Function centres; Health services facilities; Heavy industrial storage establishments; Heavy industries; Helipads; Highway service centres; Home businesses; Home occupations; Home occupations (sex services); Jetties; Marinas; Mooring pens; Moorings; Office premises; Open cut mining; Port facilities; Pubs; Recreation facilities (major); Registered clubs; Residential accommodation; Respite day care centres; Roadside stalls; Rural industries; Shops; Small bars; Specialised retail premises; Tourist and visitor accommodation; Water recreation structures



Zoning
E4: General Industrial



Building Height Limit
12 m



Floor Space Ratio
1:1

CONTACT INFORMATION



Contract for Sale

Copies of the sale contract are available by contacting the selling agents.

Open for Inspection

Via Private Appointment with Agent

Expression of Interest

Closing Thursday, 14th May 2026 12:00pm

Contact

Ben Panayotopoulos
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Years

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