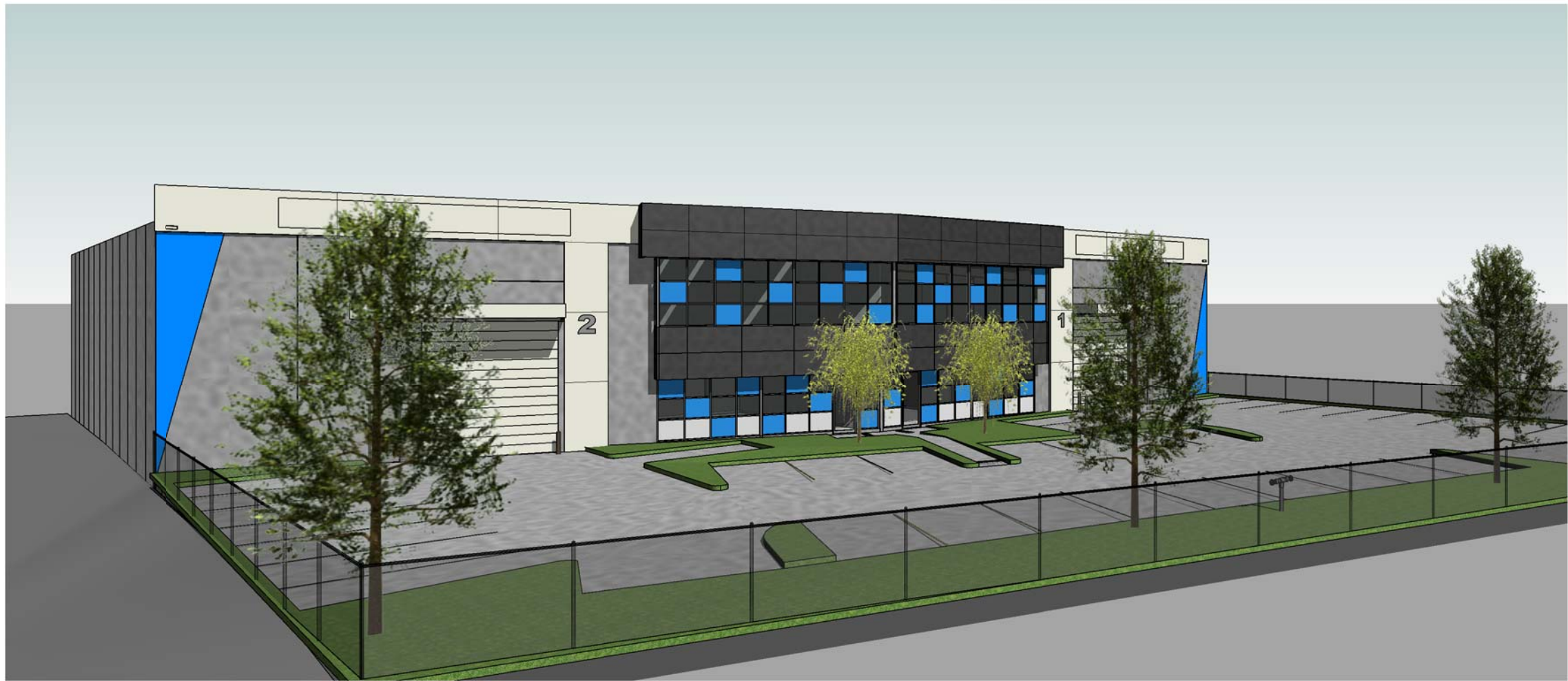


PROPOSED INDUSTRIAL DEVELOPMENT LOT 54, 20-22 EUCUMBENE DRIVE RAVENHALL



GENERAL NOTES

- LARGE SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS AS NOTED.
- ALL DIMENSIONS, LEVELS AND SETOUTS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCING WORK.
- DIMENSIONS ON PLANS ARE TO STRUCTURAL MEMBERS OR FACES OF MASONRY AND DO NOT INCLUDE WALL LININGS.
- VERTICAL DIMENSIONS ARE BETWEEN FINISHED SURFACES AND ALLOWANCE MUST BE MADE FOR LININGS MATERIALS, BATTENS ETC.
- WORKS AND MATERIALS TO CONFORM WITH CURRENT AUST STANDARDS, BUILDING CODES.
- TIMBER FRAMING SHALL COMPLY WITH AS1684.
- ALL SHOP DRAWINGS TO BE LODGED WITH CLIENT'S REPRESENTATIVE FOR APPROVAL PRIOR TO MANUFACTURE.
- ANY DISCREPANCIES ON THE BUILDING DOCUMENTS SHALL BE REFERRED TO CLIENTS REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING FURTHER.
- REFER ENGINEERS DRAWINGS FOR LOCATION OF ALL SUBSURFACE DRAINAGE AND PREPARATION.
- BUILDER IS TO ALLOW FOR TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 AND LOCAL AUTHORITY GUIDELINES, REFER SEPARATE NOTES.
- BUILDER/TRUSS MANUFACTURER IS TO PROVIDE FOUR SETS OF TRUSS COMPUTATIONS AND DRAWINGS TO CLIENT'S REPRESENTATIVE PRIOR TO TRUSS ERECTION. FAILURE TO DO SO WILL RESULT IN ANY NON CONFORMING CONSTRUCTION HAVING TO BE REMOVED.
- SELF CONTAINED HARD WIRED SMOKE ALARM COMPLYING WITH AS3786 MUST BE INSTALLED AS PER CONSULTANTS DRAWINGS.
- ALL HOSE REELS INTERNAL & EXTERNAL TO BE LOCATED IN FULLY RECESSED PAINTED METAL CABINETS, AND IS TO INCLUDE SIGNAGE TO CLIENT'S REPRESENTATIVE'S APPROVAL.
- BUILDER TO ENSURE ALL JOINERY TO BE CONSTRUCTED FROM MOISTURE RESISTANT MDF BOARD.
- STAIRS - RISERS TO BE MAXIMUM 190MM HIGH, TREADS MINIMUM 250MM DEEP, STAIRS TO COMPLY WITH NCC REQUIREMENTS AND AUST. STANDARDS.
- PROVIDE ALL REQUIRED FLASHING, INFILL WALLS AND CLADDING ETC, TO ENSURE BUILDING IS WATERTIGHT

DISCREPANCIES NOTES

ANY DISCREPANCIES BETWEEN ARCHITECTURAL DOCUMENTS AND THE SITE CONDITIONS ARE TO BE REFERRED TO DCA DESIGN AS SOON AS POSSIBLE.

FIRE HAZARD PROPERTIES

GENERAL REQUIREMENTS

FLOORS, WALL AND CEILING LININGS AND INSULATION/SARKING MATERIALS ARE TO BE SPECIFIED IN ACCORDANCE WITH BCA SPECIFICATION C1.10.

(A) IN THE CASE OF A SARKING TYPE MATERIAL - TO HAVE A FLAMMABILITY INDEX NOT MORE THAN 5; OR
(B) IN THE CASE OF OTHER MATERIALS, HAVE -
(I) A SPREAD-OF-FLAME INDEX NOT MORE THAN 9; AND
(II) A SMOKE-DEVELOPMENT INDEX NOT MORE THAN 8 IF THE SPREAD-OF-FLAME INDEX IS MORE THAN 5; OR
(C) BE COMPLETELY COVERED ON ALL FACES BY CONCRETE OR MASONRY NOT LESS THAN 50MM THICK; OR
IN THE CASE OF A COMPOSITE MEMBER OR ASSEMBLY, BE CONSTRUCTED SO THAT WHEN ASSEMBLED -
(I) ANY MATERIAL WHICH DOES NOT COMPLY WITH (A) OR (B) IS PROTECTED ON ALL SIDES AND EDGES FROM EXPOSURE TO THE AIR; AND
(II) THE MEMBER OR ASSEMBLY, WHEN TESTED IN ACCORDANCE WITH SPECIFICATION A2.4 OF THE BCA, HAS A SMOKE-DEVELOPED INDEX AND A SPREAD-OF-FLAME INDEX NOT EXCEEDING THOSE PRESCRIBED IN (B); AND
(III) THE MEMBER OR ASSEMBLY RETAINS THE PROTECTION IN POSITION SO THAT IT PREVENTS IGNITION OF THE MATERIAL AND CONTINUES TO SCREEN IT FROM ACCESS TO FREE AIR FOR A PERIOD OF NOT LESS THAN 10 MINUTES.

FIRE-ISOLATED EXITS

IN A FIRE-ISOLATED STAIRWAY OR FIRE-ISOLATED PASSAGE-
(A) FLOOR MATERIALS AND FLOOR COVERINGS; AND WALL AND CEILING LININGS MUST HAVE -
(I) SPREAD-OF-FLAME INDEX OF 0; AND
(II) SMOKE-DEVELOPED INDEX OF NOT MORE THAN 2; AND
(III) IF COMBUSTIBLE, BE ATTACHED DIRECTLY TO A NON-COMBUSTIBLE SUBSTRATE AND NOT EXCEED 1MM FINISHED THICKNESS; AND
(B) A SARKING-TYPE MATERIAL USED IN THE FORM OF AN EXPOSED WALL OR CEILING MUST HAVE A FLAMMABILITY-INDEX OF 0.

FLOOR MATERIALS AND FLOOR COVERINGS; AND WALL AND CEILING LININGS OTHER THAN A SARKING TYPE MATERIAL USED AS AN ATTACHMENT OR PART OF AN ATTACHMENT TO THE BUILDING MUST IF -
(A) IT IS USED AS A FINISH, SURFACE, LINING OR ATTACHMENT TO ANY WALL OR CEILING IN A PUBLIC CORRIDOR WHICH IS A MEANS OF EGRESS TO -
(I) A REQUIRED FIRE-ISOLATED STAIRWAY; OR
(II) A REQUIRED FIRE-ISOLATED PASSAGEWAY HAVE A SPREAD-OF-FLAME INDEX 0 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 5

FIRE RESISTANCE

OPENINGS IN FLOORS, WALLS AND CEILINGS FOR SERVICES THAT PENETRATE FIRE RESISTING CONSTRUCTION ARE TO BE PROTECTED BY 90/90/90 FIRE RATED SHAFT FOR COMMS CUPBOARD AND IN ACCORDANCE WITH NCC C3.15 AND SPECIFICATION C3.15 FOR OTHER INSTANCES.

CONSTRUCTION JOINTS BETWEEN FIRE RATED CONSTRUCTION ARE TO BE PROTECTED IN ACCORDANCE WITH NCC C3.16

BUILDER IS TO ENSURE THAT DURING CONSTRUCTION FIRE PRECAUTIONS ARE TO COMPLY WITH NCC E1.9

DISABLED NOTES

GENERAL

- SIGNAGE TO DESIGNATED CAR SPACES TO BE IN ACCORDANCE WITH AS 1428.1 AND 2890.6
- MAXIMUM CROSS FALL TO DESIGNATED CAR SPACES FOR PERSONS WITH DISABILITIES NOT TO EXCEED 1 IN 40 IN BOTH DIRECTIONS
- DRAINAGE GRATES NOT TO BE IN PATH OF TRAVEL BETWEEN DESIGNATED CAR SPACE FOR PERSONS WITH DISABILITIES AND ANY PATHS TO ENTRY DOORS.
- PROVIDE LEVEL TRANSITION BETWEEN CAR SPACE AND LANDING TO ENTRY DOORS.
- IF ANY DOOR CLOSERS ARE FITTED TO ANY DOOR REQUIRING ACCESSIBILITY, THEN THE FORCE TO OPEN NOT TO EXCEED 20N.
- ALL DOOR CIRCULATION SPACES AND DISABLED AMENITIES TO COMPLY WITH AS1428.1-2009
- ALL PAVEMENT PATHWAYS ARE TO BE FLUSH WITH ROADWAYS AND PARKING AREAS WITH OTHERWISE DISABLED COMPLIANT KERB RAMPS ARE TO BE PROVIDED.
- ALL ENTRY AND INTERNAL DOORS TO PROVIDE MINIMUM 850 MM CLEAR OPENING.
- PROVIDE LEVEL THRESHOLD AT ENTRY DOOR/LANDING JUNCTION AND MAXIMUM FALL ON LANDING AT 1 IN 40.
- PROVIDE WALKWAYS IN ACCORDANCE WITH AS 1428.1 - 2009 CLAUSE 10.2 AND FIGURE 18
- RAISED TACTILE AND BRAILLE SIGNAGE TO BE PROVIDED IN ACCORDANCE WITH NCC D3.6 AND SPECIFICATION D3.6 TO ALL SANITARY FACILITIES, WITH ALL TO BE POSITIONED BETWEEN 1200 AND 1600MM ON LATCH SIDE OF DOOR IN ACCORDANCE WITH AS 1428.1-2009 CLAUSE 8.1.
- ALL DOORS AND HANDLES TO COMPLY WITH AS 1428.1-2009 AND DOOR FRAME TO HAVE 30% LUMINANCE CONTRAST TO THE ADJACENT SURFACE.
- TACTILE INDICATORS TO FOOTPATHS EITHER SIDE OF CROSSOVERS, AS REQUIRED BY AS 1428.4.

NCC SECTION J COMPLIANCE

J1. BUILDING FABRIC.

J1.2 THERMAL CONSTRUCTION - GENERAL
ALL REQUIRED INSULATION TO COMPLY WITH AS459.1 AND BE INSTALLED SO THAT IT:
• ABUTS OR OVERLAPS ADJOINING INSULATION.
• FORMS CONTINUOUS BARRIER WITH CEILING, WALLS, BULKHEADS FLOORS AND THE LIKE.
• DOES NOT AFFECT THE SAFE EFFECTIVE OPERATION OF SERVICES OR FITTINGS.
• PROVIDE NECESSARY AIRSPACE TO ACHIEVE REQUIRE R-VALUE
• FOR REFLECTIVE INSULATION NECESSARY AIRSPACE MUST BE PROVIDED TO ACHIEVE REQUIRE R-VALUE AND BE CLOSE FITTING AGAINST ANY PENETRATION, DOOR OR WINDOW AND ADEQUATELY SUPPORTED BY FRAMING MEMBERS. (REFER TO MANUFACTURES SPECIFICATION)
• INSTALLED WITH EACH ADJOINING SHEET OF ROLL MEMBRANE BEING OVERLAPPED NOT LESS THAN 50 MM OR TAPED TOGETHER.
• BULK INSULATION IN ROOF SPACE MUST BE INSTALLED TO MAINTAIN ITS POSITION AND THICKNESS, OTHER THAN WHERE IT CROSSES BATTENS, WATER PIPES, ELECTRICAL CABLING OR THE LIKE.

J1.3 ROOF AND CEILING CONSTRUCTION
THE ROOF/CEILING CONSTRUCTION OF THE DEVELOPMENT HAS BEEN MODELLED AS A METAL DECK ROOF WITH AN ACOUSTIC CEILING AND R2.0 INSULATION TO ACHIEVE A TOTAL SYSTEM R-VALUE OF MINIMUM R2.5.
TYPICALLY R2.0 INSULATION CAN BE ACHIEVED BY USING 80MM ANTICON BLANKET INSTALLED AT THE ROOF LEVEL OR SIMILAR.

J1.5 WALLS
EXTERNAL WALLS OF THE OFFICE SPACES HAVE BEEN MODELLED AS FOLLOWS:
PRE-CAST CONCRETE PANELS - PRECAST CONCRETE, R2.0 ADDED INSULATION, AND PLASTERBOARD (MINIMUM TOTAL SYSTEM R-VALUE OF R2.3).

- TYPICALLY R2.0 INSULATION CAN BE ACHIEVED BY 90MM INSULATION BATTS OR RIGID INSULATION PRODUCTS WITH APPROPRIATE AIR GAPS, SUCH AS FOILBOARD, KINGSPAN OR SIMILAR
- INTERNAL WALLS BETWEEN CONDITIONED OFFICE SPACES AND AMENITIES AND/OR WAREHOUSE SPACES HAVE BEEN MODELLED AS STUD WALLS AND DO NOT REQUIRE ANY INSULATION TO BE ADDED.

J1.6 FLOORS
ALL FLOORS HAVE BEEN CONSTRUCTED AS CONCRETE SLABS WITH NO ADDED INSULATION.

J2. EXTERNAL GLAZING.

J2.4 GLAZING
GLAZING TO THE EXTERNAL WINDOWS TO THE OFFICES IS REQUIRED TO HAVE THE FOLLOWING THERMAL PERFORMANCE VALUES FOR GLASS AND FRAME COMBINED:
• CLEAR WINDOWS. U-VALUE 4.3 AND SHGC 0.57
• COLOURED WINDOWS. U-VALUE 4.3 AND SHGC 0.33
• HINGED DOORS. U-VALUE 6.2 AND SHGC 0.59

ALL GLAZING TO BE IN ACCORDANCE WITH AS1288.1999 AND AS2047

- FOR WINDOWS THESE VALUES ARE BASED ON 6MM ECLIPSE ADVANTAGE CLEAR GLASS AND BLUE GLASS IN STANDARD ALUMINIUM FRAMES.
- FOR HINGED DOORS THESE VALUES ARE BASED ON 6MM CLEAR GLASS IN STANDARD ALUMINIUM FRAMES.
- THE WINDOWS AND FRAMES SPECIFIED FOR THE DEVELOPMENT MUST, AS A MINIMUM, MEET THE MODELLED THERMAL PERFORMANCE VALUES ABOVE FOR THE REMAINDER OF THIS DESIGN ADVICE TO HOLD TRUE.

REFER TO ENERGY REPORT BY SUSTAINABLE DEVELOPMENT CONSULTANTS PTY. LTD. DOCUMENT NO. S2928.01

J3. BUILDING SEALING

- A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF A DOOR AND OPERABLE WINDOW IN ACCORDANCE WITH PROVISION J3.4, OTHER THAN GLAZED ELEMENTS WHICH COMPLY WITH AS 2047.
- ALL ENTRY DOORS LEADING TO CONDITIONED SPACES MUST BE FITTED WITH A SELF-CLOSING DEVICE. PLEASE NOTE THAT ALL OFFICE SPACES HAVE BEEN MODELLED AS ENCLOSED WITH FULL HEIGHT WALLS AS PER SKETCHES RECEIVED VIA EMAIL.
- EXHAUST FANS SERVING CONDITIONED SPACES TO BE FITTED WITH SELF-CLOSING DAMPERS.
- ROOFS, CEILINGS, WALLS, FLOORS AND ANY OPENING SUCH AS A WINDOW FRAME, DOOR FRAME, ROOF LIGHT FRAME OR THE LIKE WILL BE CONSTRUCTED TO MINIMISE AIR LEAKAGE VIA THE ENCLOSURE BY INTERNAL LINING SYSTEMS OR SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE.
- PART J1.2 FOR GENERAL THERMAL CONSTRUCTION & INSTALLATION MUST BE FOLLOWED.
- PART J1.3(C) FOR COMPENSATION FOR A LOSS OF CEILING INSULATION MUST BE FOLLOWED IF CEILING INSULATION IS USED INSTEAD OF THAT PROPOSED AND DOWNLIGHTS ARE PROVIDED.

J5. HVAC SYSTEMS.

- THE SYSTEMS SHOULD BE ZONED INDIVIDUALLY FOR OFFICE 1 AND OFFICE 2.
- A GENERIC PACKAGED UNIT SHOULD BE USED FOR THE HVAC SYSTEM FOR ALL CONDITIONED AREAS. DEFAULT COP/EER VALUES, AS DEFINED BY PART J5.2E AND AS/NZS 3823.2 ARE THE MINIMUM REQUIREMENT TO BE MET FOR SYSTEM EFFICIENCY.
- ALL VENTILATION SYSTEMS MUST BE SELECTED TO MEET DTS REQUIREMENTS OF PART J5.
- IF ALTERNATIVE HVAC ZONING OR EQUIPMENT TYPE IS PROPOSED, PLEASE NOTIFY ENERGY CONSULTANT OF THE PROPOSED SYSTEM TYPES AND ZONING SO THAT THE ENERGY MODEL CAN BE UPDATED AND CONFIRM THAT THE BUILDING FABRIC ADVICE PROVIDED IS STILL RELEVANT.

AIR CONDITIONING AND VENTILATION SYSTEMS TO COMPLY WITH PART J5 OF THE NCC 2016. MECHANICAL ENGINEER/CONTRACTOR TO PROVIDE BUILDING SURVEYOR WITH CERTIFICATE OF COMPLIANCE.

J6. ARTIFICIAL LIGHTING AND POWER.

THE DEFAULT NCC ILLUMINATION POWER DENSITY (W/M²) VALUES WERE USED FOR EACH SPACE. IT IS RECOMMENDED THAT THE PROPOSED DESIGN NOT EXCEED THE MAXIMUM WATTAGES LISTED BELOW (WITHOUT THE USE OF ADJUSTMENT FACTORS).

- OFFICES 9W/M²
- AMENITIES 6W/M²
- WAREHOUSE 10W/M²

ARTIFICIAL LIGHTING AND POWER SYSTEMS TO COMPLY WITH PART J6 OF THE NCC 2016. ELECTRICAL ENGINEER/CONTRACTOR TO PROVIDE BUILDING SURVEYOR WITH CERTIFICATE OF COMPLIANCE.

NOTE: INSTALL ALL LIGHTING POWER CONTROL DEVICES INCLUDING TIMERS, TIME SWITCHES, MOTION DETECTORS AND DAYLIGHT CONTROL DEVICES IN ACCORDANCE WITH J6.1 TO 6.6 AND SPECIFICATION J6 OF THE NCC.

ARTIFICIAL LIGHTING TO THE EXTERNAL PERIMETER OF THE BUILDING TO BE CONTROLLED BY DAYLIGHT SENSORS AND HAVE A MAX 40 LUMENS/W

J8. FACILITIES FOR ENERGY MONITORING.

- ACCESS MUST BE PROVIDED TO ALL PLANT, EQUIPMENT AND COMPONENTS OF SERVICES THAT REQUIRE MAINTENANCE.
- THE BUILDING MUST HAVE THE FACILITY TO RECORD THE CONSUMPTION OF GAS AND ELECTRICITY.

DRAWING LIST

Sheet No.	Sheet Name	Revision
WD-01	COVER - GENERAL NOTES	F
WD-02	SITE PLAN	E
WD-03	GROUND FLOOR PLAN	E
WD-04	MEZZANINE FLOOR PLAN	E
WD-05	ROOF PLAN	E
WD-06	REFLECTED CEILING - LIGHTING PLAN	F
WD-07	ELEVATIONS	E
WD-08	ELEVATIONS - SECTIONS	E
WD-09	AMENITIES / WINDOWS - DOORS	D
WD-10	DETAILS	E

CONSULTANTS

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE RELEVANT AUTHORITIES PERMITS AND THE PROJECT CONSULTANTS SPECIFICATIONS & DRAWINGS.

STRUCTURAL AND CIVIL ENGINEER	BUILDING SURVEYOR
KLOPPER DOBOS PTY LTD 166 HODDLE STREET ABBOTSFORD VIC 3067 T: 03 9415 3000 F: 03 9415 3099 E: INFO@KLOPPERDOBOS.COM.AU	SINGH CONSULTING PTY LTD LEVEL 27, 101 COLLINS STREET MELBOURNE, VIC 3000 P: 03 9653 6460 F: 9653 6450 E: NARINDER@SINGHCONSULTING.COM.AU
PROJECT NO. 16995	JOB NO. 170018
HYDRAULIC AND FIRE SERVICES	ENERGY REPORT - SECTION J
PBH DESIGN SOLUTIONS PO BOX 204, GLENROY VIC 3046 T: 03 9882 9967 F: 9882 9969 E: INFO@PBHDESIGN.COM.AU	SUSTAINABLE DEVELOPMENT CONSULTANTS 2ND FLOOR, 555 RIVERSDALE ROAD CAMBERWELL VIC 3124 P: 03 9882 9967 F: 9882 9969 E: INFO@SDCONSULTANTS.COM.AU
PROJECT NO. 1211	DOCUMENT NO. S2928.01
LANDSCAPE ARCHITECT	SOIL ENGINEER
JOHN PATRICK PTY LTD 324 VICTORIA STREET RICHMOND VIC 3121 T: 03 9429 4855 F: 03 9429 8211 E: ADMIN@JOHNPATRICK.COM.AU	A.S. JAMES PTY LTD 15 LIBBETT AVENUE CLAYTON SOUTH VIC 3169 T: 03 9547 4811 F: 03 9547 5393 E: MELB@ASJAMES.COM.AU
JOB NO. 17-0119	REPORT NO. 117979
APPROVED TOWN PLANNING PERMIT & ENDORSED DRAWINGS	BUILDER
CITY OF MELTON PERMIT NO. PA2017/5544	BMF CONSTRUCTION PTY LTD LEVEL 11, 60 ALBERT ROAD SOUTH MELBOURNE VIC 3205 P: 03 9695 8100 F: 9682 1332 E: GCARROLL@BMFCONSTRUCTION.COM.AU

BUILDING PERMIT ISSUE

CONSTRUCTION ISSUE DRAWINGS ONLY IF APPROVED AND STAMPED BY THE RELEVANT BUILDING SURVEYOR OR STATUTORY AUTHORITY.

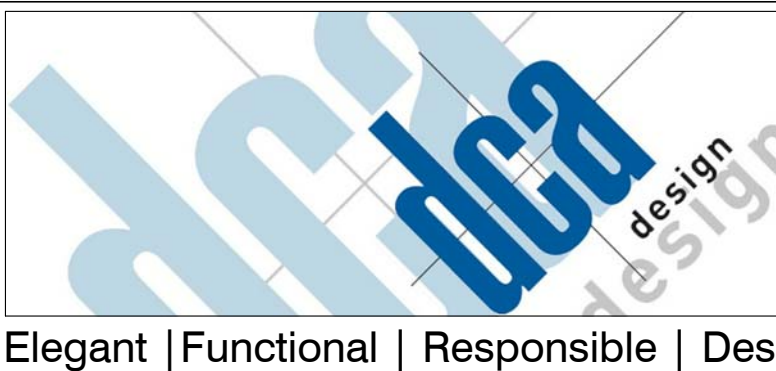
Issue - BUILDING PERMIT	No.	Revision Description	Drawn	Checked	Date
DCA Design authorize the use of this drawing only for the purpose described by the status stamp shown above. This drawing should be read in conjunction with all relevant contracts, specifications, reports & drawings. DCA Design. ©	A	PRELIM. WORKING DRAWINGS - CONSULTANT ISSUE	PG		15 JUNE 2017
	B	ISSUED FOR APPROVAL	PG		20 JUNE 2017
	C	ENERGY CONSULTANT DETAILS ADDED	PG		22 JUNE 2017
	D	BUILDING PERMIT ISSUE	PG	DC	27 JUNE 2017
	E	ELECTRICAL LIGHT FITTINGS CHANGED	PG		24 AUG 2017
	F	PANEL WALLS OFFSET 140 MM FROM BOUNDARIES	PG		



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Residential
- Homes/Villa Units/Apartments
Commercial
- Offices/Industrial/Retail/Institutional
Environmental Design
Project Planning
Contract Admin
Registered Building Practitioners DP-AD 1040



project: PROPOSED WAREHOUSES, OFFICES
address: LOT 54, 20-22 EUCUMBENE DR, RAVENHALL
client: MATY PTY. LTD. - BMF CONSTRUCTION
sheet title: COVER - GENERAL NOTES
date: MARCH 2017 job no: 4898Z
drawn: PG checked: DC
scale: 1 : 100 @ A1 paper size
sheet no: WD-01
rev: F

SITE ESTABLISHMENT SETOUT

- IT WILL BE THE RESPONSIBILITY OF THE BUILDER TO EMPLOY THE SERVICES OF A LICENSED SURVEYOR TO:
- LOCATE TITLE BOUNDARIES AND SET OUT THE BUILDING
 - PROVIDE A CHECK SURVEY (FOR ACCURACY) OF ALL CONCRETE WORKS AT THE COMPLETION OF EACH LEVEL, PRIOR TO THE COMMENCEMENT OF THE NEXT LEVEL
 - PROVIDE A CHECK SURVEY PLAN, CONFIRMING LOCATION OF THE ERECTED BUILDING IN RELATION TO THE TITLE BOUNDARIES AND THE APPROVED DRAWINGS AT COMPLETION OF BASE BRICKWORK
 - REFER TO CONTRACT & SPECIFICATION DOCUMENTS FOR FULL DESCRIPTION OF REQUIREMENTS
 - STORM WATER DRAINAGE - SET OUT THE LOCATION OF PITS, TOP OF PIT LEVELS, FINISHED PAVED/CONCRETE LEVEL AND INVERT LEVELS OF ALL PIPES. THE LEVELS WILL BE SET OUT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION WORKS. THE BUILDER WILL PROVIDE TO THE OWNER A WRITTEN REPORT FROM THE LICENSED SURVEYOR PRIOR TO CONSTRUCTION CONFIRMING THAT ALL LEVELS HAVE BEEN SET IN ACCORDANCE WITH CONSTRUCTION PLANS AND AT THE COMPLETION CASTING OF EACH PIT AND A FURTHER REPORT CONFIRMING THE LEVELS OF PAVING HAVE BEEN SET TO THE CORRECT LEVELS AS STATED IN THE CONSTRUCTION DRAWINGS.
 - THE COSTS ASSOCIATED WITH THE PROVISION OF THIS REQUIREMENT WILL BE MET BY THE BUILDER.

SITE WORKS NOTES

INSPECTION OF SITE
THE CONTRACTOR IS TO CONDUCT A DETAILED INSPECTION OF THIS SITE TO FULLY FAMILIARIZE THEMSELVES WITH ALL ASPECTS OF THE CONTRACT INCLUDING ACCESS RESTRICTIONS AND ADJOINING PROPERTIES. ANY QUERIES, DISCREPANCIES ETC., SHOULD BE DIRECTED TO THE CLIENT'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO THE COMMENCEMENT OF THE CONTRACT. NO CLAIM FOR EXTRAS WILL BE ENTERED INTO AS A RESULT OF THE CONTRACTOR'S FAILURE TO FULLY BRIEF THEMSELVES WITH SITE CONDITIONS OR SCOPE OF WORK.

PROTECTION OF VEGETATION
THE CONTRACTOR IS TO TAKE PRECAUTIONARY MEASURES TO ENSURE THAT ANY REMOVAL OF VEGETATION INCLUDING TREE STUMPS DOES NOT DAMAGE PLANTS AND TREES BEING RETAINED, OR EXISTING BOUNDARY FENCES. - REFER TO TOWN PLANNING PERMIT CONDITIONS

SOIL EROSION
SOIL EROSION CONTROL MEASURES MUST BE ADOPTED AT ALL TIMES TO THE SATISFACTION OF THE DESIGN ENGINEER DURING THE CONTRACT. SITE CONTROLS AND EROSION MINIMIZATION TECHNIQUES ARE TO BE IN ACCORDANCE WITH SOIL CONSERVATION AUTHORITY GUIDELINES 'CONTROL OF EROSION ON CONSTRUCTION SITES'. THE CONTRACTOR MUST ENSURE COMPLIANCE WITH THE ABOVE GUIDELINES. ANY SOFT BANKS MUST BE A MAXIMUM SLOPE OF 1 IN 1 AND A SILT FENCE INSTALLED AT THE TOE OF BANK.

DRAINAGE
THE CONTRACTOR IS TO REMOVE ANY REDUNDANT DRAINS AND PITS, TRENCH BACKFILL SHOULD BE COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DENSITY INDEX FOR STANDARD COMPACTION, IN ACCORDANCE WITH AS 1289.

TEMPORARY FENCING
THE CONTRACTOR IS TO ALLOW COSTS TO PROVIDE ALL TEMPORARY FENCING AND GATES, TO THE EXTENT AS REQUIRED TO SATISFACTORILY SECURE THE SITE. FENCING IS TO BE MAINTAINED UNTIL THE COMPLETION OF THE CONSTRUCTION WORKS.

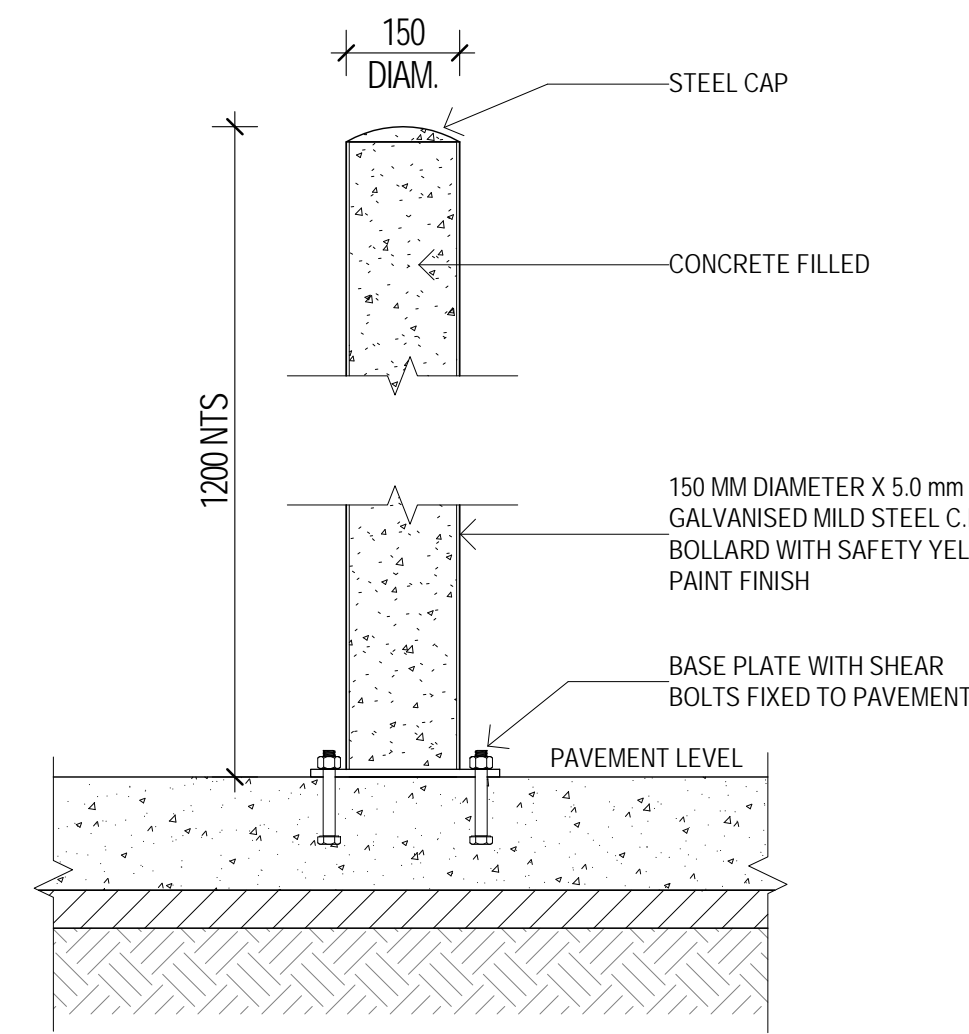
PERMITS AND FEES
THE CONTRACTOR IS TO OBTAIN & PAY FOR ALL PERMITS (OTHER THAN THE TOWN PLANNING AND BUILDING PERMITS), SERVE ALL STATUTORY AND AUTHORITY NOTICES AND PAY ALL FEES (OTHER THAN CONTRIBUTIONS TO SERVICE AUTHORITY HEADWORKS) INCLUDING OFF SITE DISPOSAL FEES, TO CARRY OUT THESE WORKS.

SUPERVISION
THE CONTRACTOR IS TO ENSURE THE PROVISION OF FULL TIME EXPERIENCED AND QUALIFIED SUPERVISION ON-SITE AT ALL TIMES TO THE SATISFACTION OF THE CLIENT'S REPRESENTATIVE. THE CONTRACTOR IS TO ENSURE THE PROVISION OF A FULL TIME QUALIFIED AND EXPERIENCED SAFETY OFFICER/FIRST AIDER.

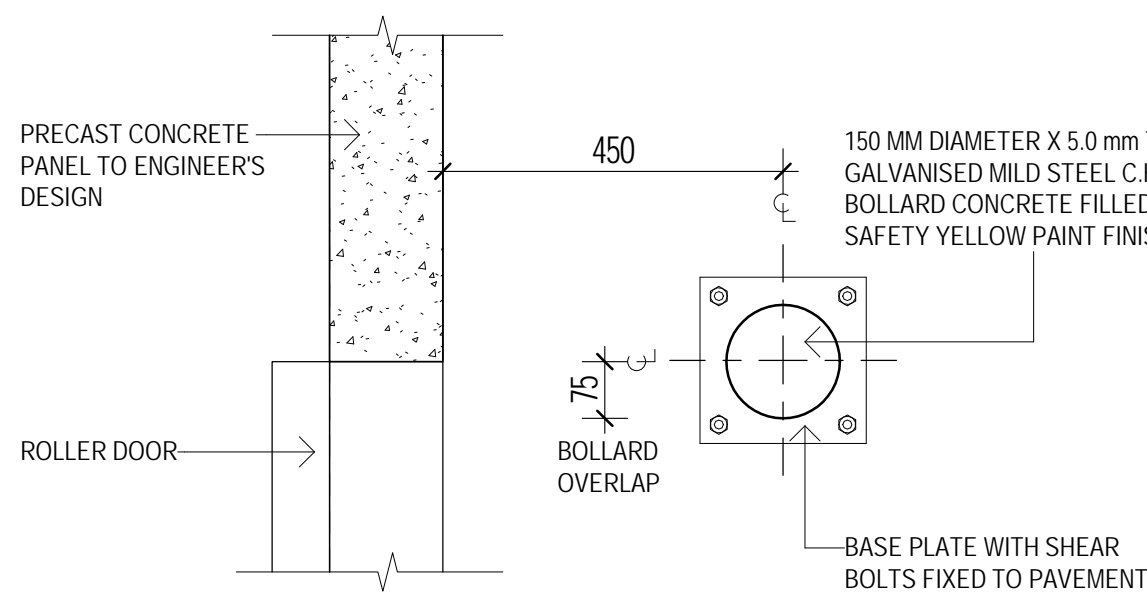
SITE FACILITIES
THE CONTRACTOR IS TO PROVIDE, SET UP AND MAINTAIN APPROPRIATE SITE PERSONNEL ACCOMMODATION, INCLUDING TOILET FACILITIES, LUNCHROOM, SITE OFFICE AND TEMPORARY POWER SUPPLY FOR THE DURATION OF THE CONTRACT.

GENERAL
THE CONTRACTOR SHALL ENSURE THAT/THE:
· REMOVAL OF ALL RUBBISH AND DEBRIS RESULTING FROM THE WORK AND PAYMENT OF ALL FEES ASSOCIATED WITH THE DISPOSAL THEREOF.
· UNDER NO CIRCUMSTANCES ARE FIRES TO BE PERMITTED ON SITE WITHOUT WRITTEN APPROVAL OF THE CLIENT'S REPRESENTATIVE.
· THE USE OF EXPLOSIVES FOR CARRYING OUT THE WORKS SHALL NOT BE PERMITTED WITHOUT WRITTEN AUTHORITY OF THE CLIENT'S REPRESENTATIVE. THE SUBCONTRACTOR SHALL OBTAIN THE PERMISSION OF ALL THE RELEVANT AUTHORITIES AND SUBMIT WRITTEN EVIDENCE OF THIS TO THE CLIENT'S REPRESENTATIVE PRIOR TO THE CLIENT'S REPRESENTATIVE CONFIRMING HIS AUTHORITY
· RECTIFICATION OF DAMAGE INCURRED TO ADJOINING PROPERTIES AND/OR BOUNDARY FENCING INCLUDING THE MAKING GOOD TO WORK DISTURBED AS A RESULT OF THE WORKS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
· PROVISION OF ALL PLANT AND EQUIPMENT NECESSARY TO ADEQUATELY MAINTAIN AND CONTROL TRAFFIC MOVEMENT IN THE VICINITY OF THE SITE TO THE COMPLETE SATISFACTION OF THE LOCAL AUTHORITY, POLICE DEPARTMENT AND THE DIVISION OF THE OCCUPATIONAL SAFETY INSPECTOR. ALL PERSONNEL ASSIGNED TO DIRECT OR CONTROL TRAFFIC MUST BE SUITABLY TRAINED AND QUALIFIED TO DO SO.
· PROVISION OF NOISE SUPPRESSION TO ALL ITEMS OF PLANT OR EQUIPMENT CONSIDERED LIKELY TO CAUSE NUISANCE TO ADJOINING PROPERTIES. ALL SUPPRESSION EQUIPMENT TO BE MAINTAINED IN A FIRST CLASS OPERATING CONDITION AT ALL TIMES. WORKING METHODS ARE TO COMPLY WITH THE E.P.A. NOISE ABATEMENT LAWS AND PROVISIONS.
· PROVISION OF APPROPRIATE HANDLING AND DISPOSAL METHODS OF ALL HAZARDOUS MATERIALS AND SUBSTANCES INCLUDING SUPPLYING PROTECTIVE EQUIPMENT.
· PROVISION OF A WORK METHOD STATEMENT, SAFETY MANAGEMENT PLAN, PROGRAM OF WORKS AND DETAILED METHODOLOGY INCLUDING IDENTIFYING MACHINERY AND EQUIPMENT AND RESOURCES TO BE USED FOR THE REVIEW AND APPROVAL OF THE CLIENT'S REPRESENTATIVE PRIOR TO COMMENCEMENT.

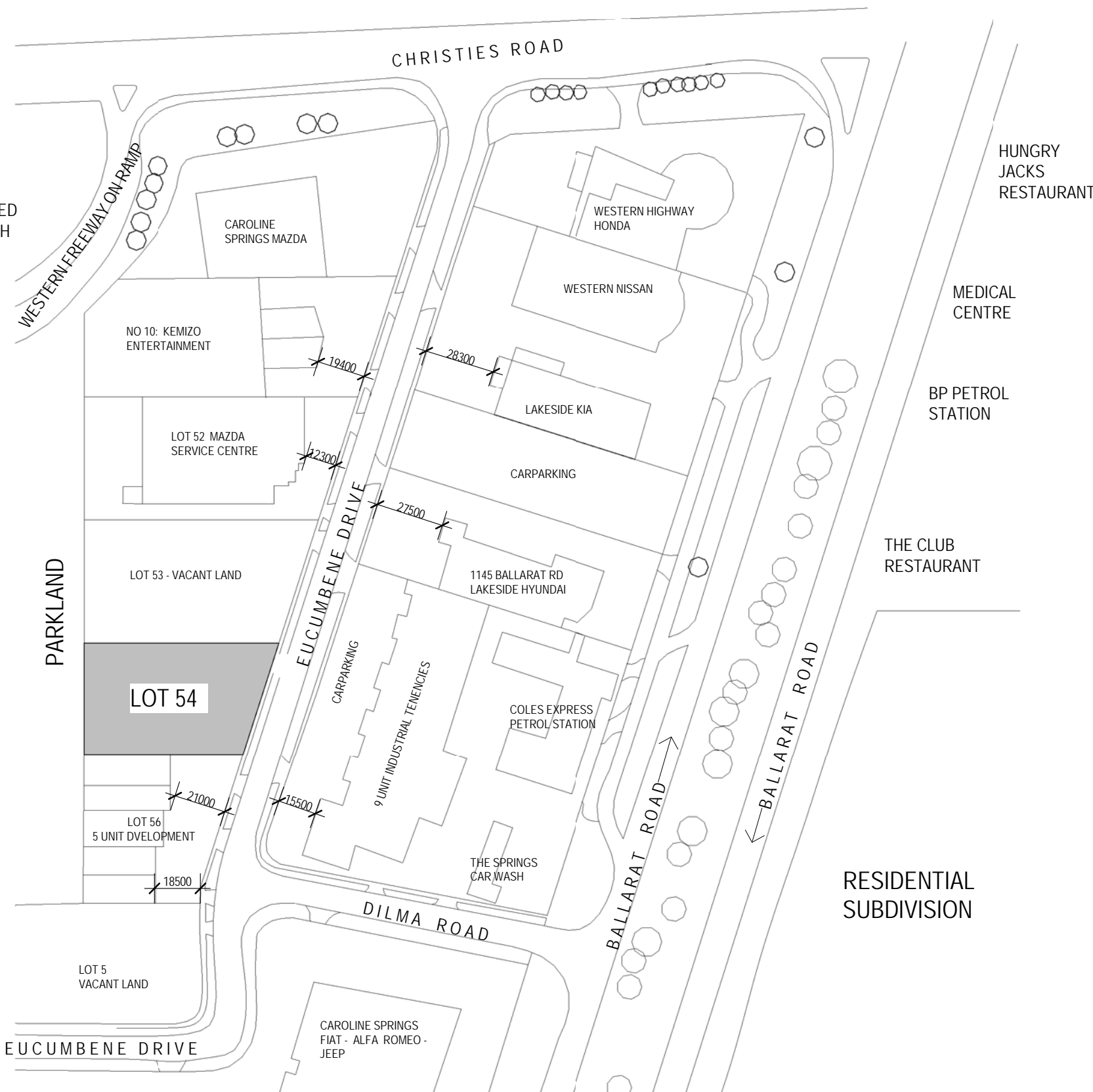
NOTE:
THE REMAINDER OF THE SITE OUTSIDE OF THE CONTRACT WORKS IS TO BE GENERALLY CLEARED OF FALLEN LARGE BRANCHES AND RUBBISH.



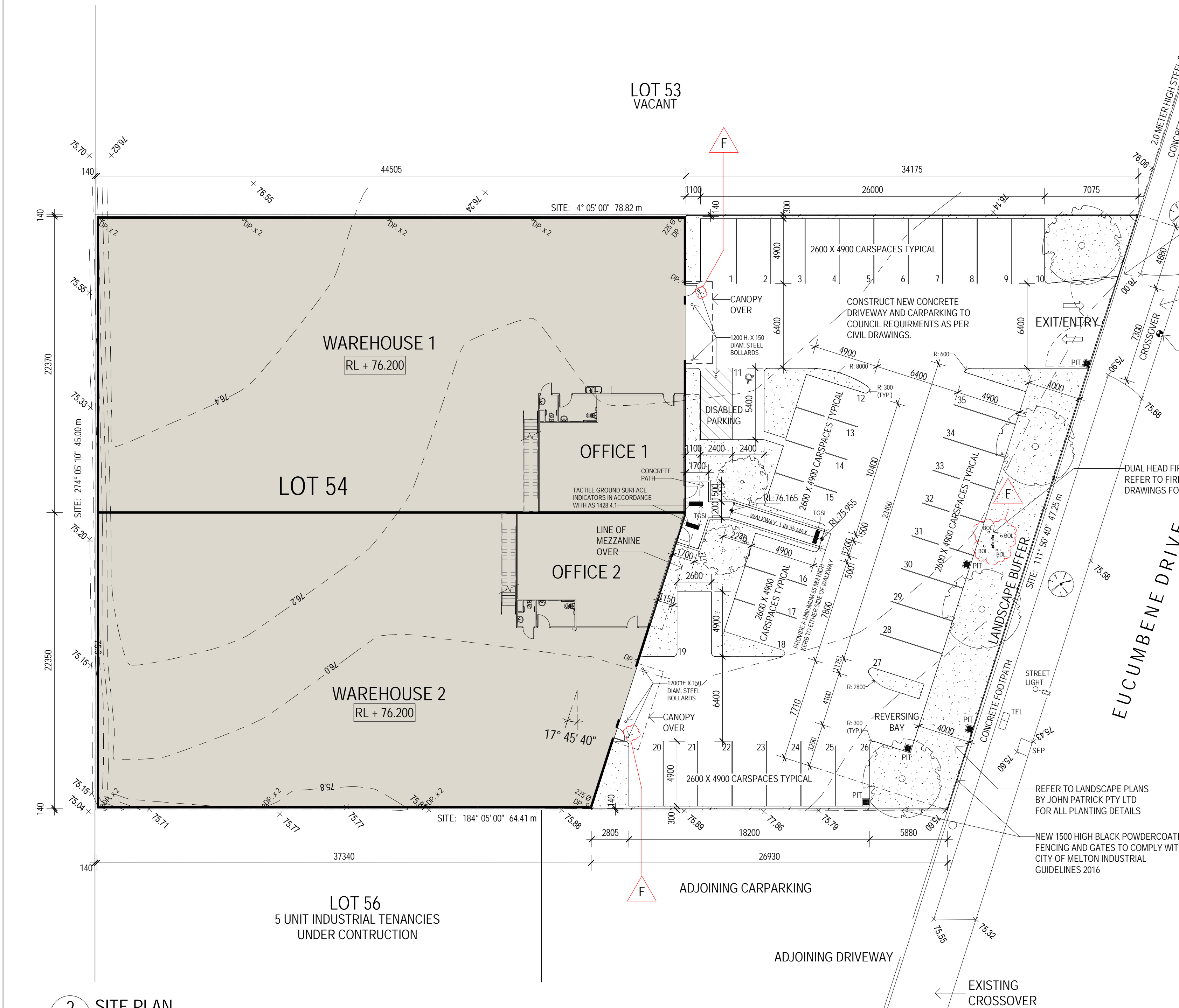
3 BOLLARD DETAIL
1:10



4 BOLLARD PLAN
1:10



1 LOCALITY PLAN
1:2000



2 SITE PLAN
1:200

NCC ANALYSIS (BUILDING CODE OF AUSTRALIA)

PART A3 CLASSIFICATION OF BUILDINGS AND STRUCTURES

A3.2 CLASSIFICATIONS

WAREHOUSE: CLASS 7b
OFFICE: CLASS 5

CLASS 7b: A BUILDING WHICH IS FOR STORAGE, OR DISPLAY OF GOODS OR PRODUCE FOR SALE BY WHOLESALE

CLASS 5: AN OFFICE BUILDING USED FOR PROFESSIONAL OR COMMERCIAL PURPOSES, EXCLUDING BUILDINGS OF CLASS 6, 7, 8 OR 9.

PART C1 FIRE RESISTANCE AND STABILITY

C1.1 TYPE OF CONSTRUCTION

FROM TABLE C1.1 TYPE OF CONSTRUCTION REQUIRED

RISE IN STOREYS	CLASS OF BUILDING	CONSTRUCTION TYPE
1	5 & 7b	C

ABBREVIATIONS

AS	ADJUSTABLE SHELF
BM	BASIN MIXER
BOL	BOLLARD
CJ	CONSTRUCTION JOINT
COL	COLUMN
CSD	CAVITY SLIDING DOOR
CT	CERAMIC TILES
DP	DOWNSPIPE
DR	DRAWER
DW	DISHWASHER
FHR	FIRE HOSE REEL
FIP	FIRE INDICATOR PANEL
FS	FIXED SHELF
FW	FLOOR WASTE
SEP	SIDE ENTRY PIT
SS SINK	STAINLESS STEEL SINK
TGSI	TACTILE GROUND SURFACE INDICATORS
TRH	TOILET ROLL HOLDER
WC	WATER CLOSET

BUILDING PERMIT ISSUE

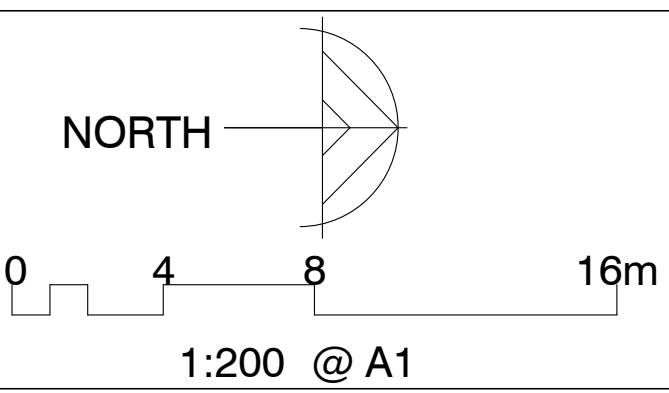
CONSTRUCTION ISSUE DRAWINGS ONLY IF APPROVED AND STAMPED BY THE RELEVANT BUILDING SURVEYOR OR STATUTORY AUTHORITY.

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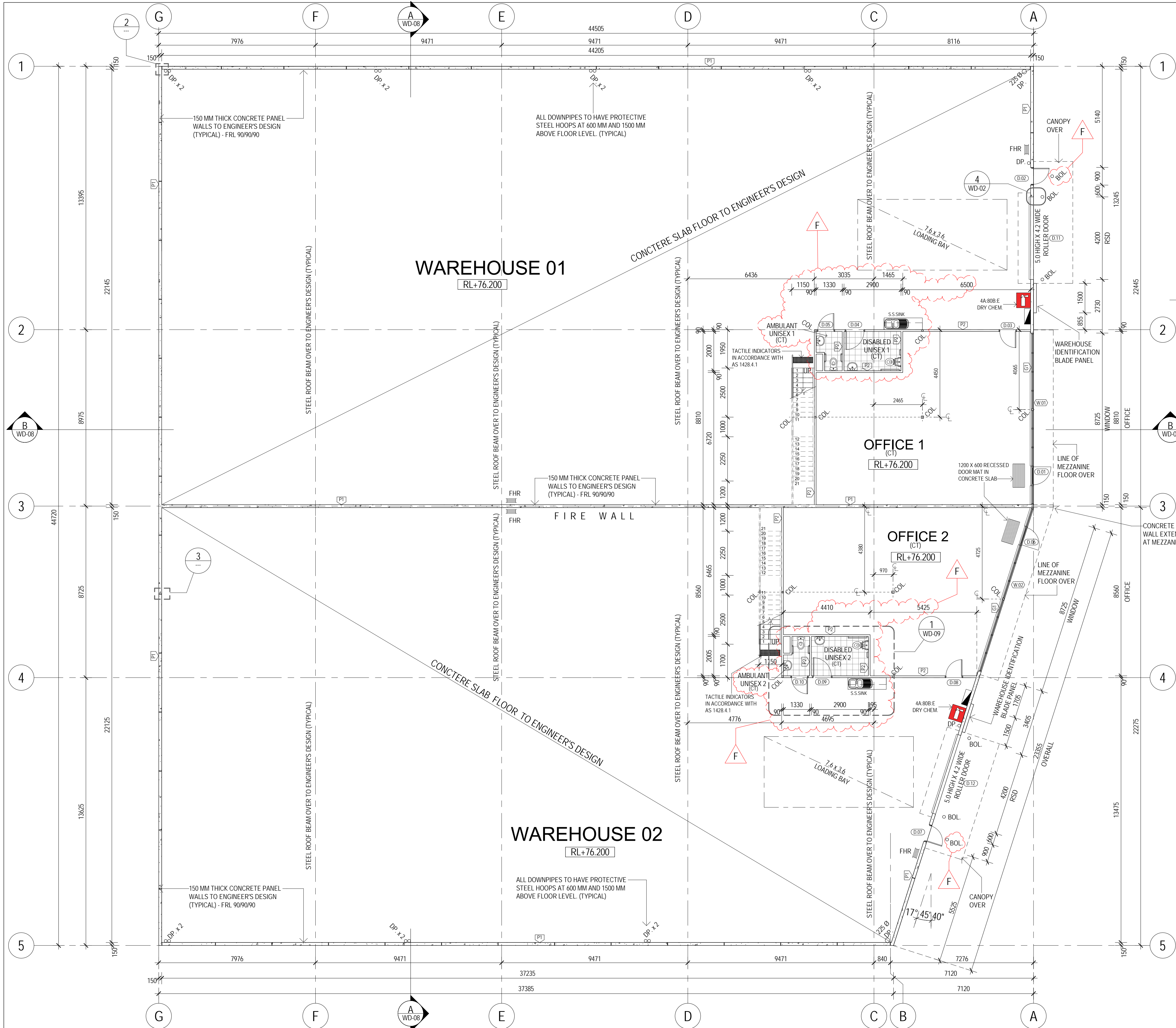
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Residential
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project: PROPOSED WAREHOUSES, OFFICES
address: LOT 54, 20-22 EUCUMBENE DR, RAVENHALL
client: MATY PTY. LTD. - BMF CONSTRUCTION
sheet title: SITE PLAN
date: MARCH 2017 job no: 4898Z
drawn: PG checked: DC
scale: As indicated@ A1 paper size
sheet no: WD-02
rev: F



ABBREVIATIONS

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COL	COLUMN
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WALL LEGEND

ADD INSULATION IF REQUIRED BY ENERGY RATING REPORT.

	150 MM THICK CONCRETE PANEL WALLS TO ENGINEER'S DESIGN - FRL 90/90/90
	90 MM TIMBER PARTITION WALLS TO OFFICE AND AMENITIES WITH 13 MM THICK PLASTERBOARD LINING TO OFFICES AND WET AREA PLASTERBOARD TO AMENITIES AREAS AS REQUIRED. PROVIDE VILLABOARD LINING TO THE EXTERNAL WALLS WITHIN THE WAREHOUSE. 100 MM HIGH ANODISED ALUMINIUM SKIRTING TO ALL WALLS.
	CAPRAL 400 SERIES COMMERCIAL SUITE WINDOW FRAME WITH SLOTTED SUB SILLS. PROVIDE CLEAR/TINTED AND COLOURED GLASS GENERALLY TOUGHENED OR LAMINATED AS REQUIRED. PROVIDE CAPRAL 200 SERIES DOORS WHERE SHOWN. GLAZING TO COMPLY WITH SECTION J REPORT BY SUSTAINABLE DEVELOPMENT CONSULTANTS PTY. LTD. DOCUMENT NO: S2928.01

GLAZING NOTES

ALL GLAZING TO COMPLY WITH AS 1288 AND 2047
GLAZING TO ALL DOORS TO COMPLY TO AS 1428.1

GOVERNMENT REGULATIONS STATE THAT ONLY APPROVED SAFETY GLASS BE USED IN DEFINED DANGER AREAS OF BUILDINGS.

MINIMUM AREAS OF GRADE "A" FRAMED GLASS AND OTHER GLAZED SAFETY GLASS AS FOLLOWS:

TOUGHENED SAFETY GLASS:	THICKNESS	AREA
	3 MM	1.0 M ²
	4 MM	2.0 M ²
	5 MM	3.0 M ²
	6 MM	4.0 M ²
	8 MM	6.0 M ²
	10 MM	8.0 M ²
	12 MM	10.0 M ²

LAMINATED SAFETY GLASS:	THICKNESS	AREA
	5.38 MM	2.0 M ²
	6.38 MM	3.0 M ²
	8.38 MM	5.0 M ²
	10.38 MM	7.0 M ²
	12.38 MM	9.0 M ²

MANIFESTATION OF GLASS

WHEN TRANSPARENT GLASS IS USED IN DOORS AND ADJACENT SIDE PANELS AS DEFINED IN SECTION 1 OF THIS PART OF THE CODE, IT IS RECOMMENDED THAT IT BE MARKED BY MEANS OF A MOTIF OR OTHER DECORATIVE TREATMENT TO INDICATE ITS PRESENCE. SUCH MARKING IS NOT A SUBSTITUTE FOR OTHER REQUIREMENTS IN THIS SECTION OF THIS PART OF THE CODE.

PART J REQUIREMENT

GLAZING TO THE EXTERNAL WINDOWS TO THE OFFICES IS REQUIRED TO HAVE THE FOLLOWING THERMAL PERFORMANCE VALUES FOR GLASS AND FRAME COMBINED:

• CLEAR WINDOWS.	U-VALUE 4.3 AND SHGC 0.57
• COLOURED WINDOWS.	U-VALUE 4.3 AND SHGC 0.33
• HINGED DOORS.	U-VALUE 6.2 AND SHGC 0.59

MECH. VENT. SCHEDULE

PROPOSED WAREHOUSE 1 AREA:

FLOOR AREA = 896 M² @ 5% = 44.80 M²
EXISTING VENTILATION (OPENINGS) = 22.67 M²
BALANCE REQUIRED = 22.13 M²

BALANCE REQUIRED IS 2.5% OF FLOOR AREA:

MECHANICAL SERVICE CONTRACTOR TO PROVIDE ADDITIONAL MEANS OF NATURAL VENTILATION VIA ROOF COWLS/FANS, LOUVRES, ETC.

PROPOSED WAREHOUSE 2 AREA:

FLOOR AREA = 816 M² @ 5% = 40.80 M²
EXISTING VENTILATION (OPENINGS) = 22.67 M²
BALANCE REQUIRED = 18.13 M²

BALANCE REQUIRED IS 2.25% OF FLOOR AREA:

MECHANICAL SERVICE CONTRACTOR TO PROVIDE ADDITIONAL MEANS OF NATURAL VENTILATION VIA ROOF COWLS/FANS, LOUVRES, ETC.

PROPOSED OFFICES:

AIR CONDITIONING TO BE PROVIDED TO OFFICE.
MECHANICAL VENTILATION TO BE PROVIDED TO AMENITIES AREAS AS DETAILED BY QUIRKEIR ENGINEERING DESIGN.

AMENITIES NOTES

DISABLED/AMBULANT FACILITY:

THE GENERAL REQUIREMENTS FOR A UNISEX SANITARY FACILITY ARE:

- TOILET FACILITIES FOR PEOPLE WITH DISABILITIES TO BE COMPLIANT WITH AS1428.1
- WC PANS SHALL BE IN ACCORDANCE WITH AS1172.1 AND SHALL BE SELECTED TO ALLOW APPROACH OF A WHEEL CHAIR WITH MINIMUM OBSTRUCTION AT FRONT AND SIDE.
- SURFACE MOUNTED CISTERN SHALL COMPLY WITH CLAUSE 10.2.9
- GRABRAIL SHALL BE TERMINATED AT EACH SIDE OF THE CISTERN AS SHOWN IN THE DIAGRAM. RAIL IS TO COMPLY WITH CLAUSE 6.2
- WC DOOR IS TO HAVE HINGED MECHANISM THAT HOLDS THE DOOR IN A CLOSED POSITION WITHOUT THE USE OF A LATCH. DOOR FURNITURE IS TO BE IN ACCORDANCE WITH CLAUSE 11.1
- WASH BASIN TAPS SHALL COMPLY WITH CLAUSE 11.3
- MECHANICAL EXHAUST FOR ALL WCs TO BE DISCHARGED EXTERNALLY OUTSIDE OF THE BUILDING.

BUILDER IS TO MAKE SURE ALL REQUIREMENTS ARE COVERED WHEN BUILDING, AS PER AS1428.1-2009 CLAUSE 10.2 ACCESSIBLE UNISEX SANITARY FACILITIES.

BASED ON DOCUMENTED SANITARY FACILITIES, A TOTAL NUMBER OF 60 PERSONS MAY BE ACCOMMODATED (30 FOR EACH WAREHOUSE)

MECHANICAL VENTILATION

ALL WORKS MUST BE SUPPLIED AND INSTALLED TO COMPLY WITH LATEST EDITIONS OF: AS/NZ1668.1, AS1668.2, NATSPEC, NCC, RELEVANT GOVERNING AUTHORITIES, ETC.

MECHANICAL VENTILATION TO SANITARY ROOMS ARE TO BE DISCHARGED DIRECTLY TO THE OUTSIDE AIR AT A MINIMUM RATE OF 25 L/S (LITRES PER SECOND).

AREA SCHEDULE

NAME	AREA
WAREHOUSE 1	895.5 m ²
WAREHOUSE 2	815.6 m ²
MEZZANINE 2	105.7 m ²
MEZZANINE 1	106.3 m ²

	1923.0 m ²
OFFICE 1	91.2 m ²
OFFICE 2	91.1 m ²

	182.4 m ²
AMENITIES 2	8.8 m ²
AMENITIES 1	8.8 m ²

	17.6 m ²
Total	2123.0 m ²
SITE AREA:	3223.0 m ²

FIRE EXTINGUISHERS

PROVIDE AND INSTALL FIRE EXTINGUISHERS AS REQUIRED BY AS 2444.2001, THE RELEVANT FIRE AUTHORITY AND AS NOTED BELOW.

DENOTES 4A:80B:E DRY CHEMICAL EXTINGUISHER LOCATED BETWEEN 2 AND 20 METRES OF ELECTRICAL SWITCHBOARD AND BETWEEN 2 AND 10 METRES FROM VEHICLE ENTRY POINT, LOADING BAY.

BUILDING PERMIT ISSUE

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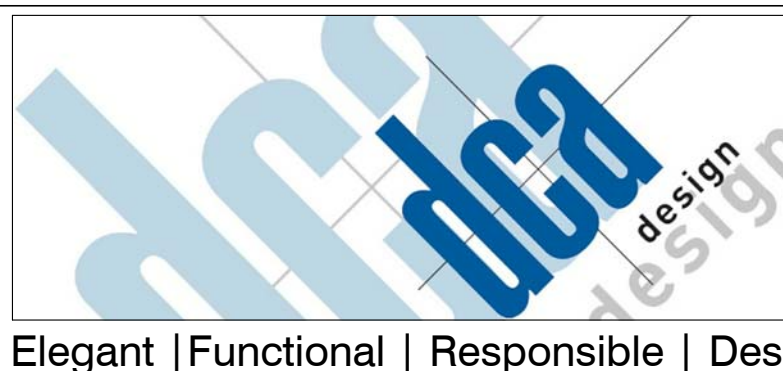
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NORTH

0 2 4 8m
1:100 @ A1

project: PROPOSED WAREHOUSES, OFFICES
address: LOT 54, 20-22 EUCUMBENE DR, RAVENHALL
client: MATY PTY. LTD. - BMF CONSTRUCTION
sheet title: GROUND FLOOR PLAN
date: MARCH 2017 job no: 4898Z
drawn: PG checked: DC
scale: As indicated @ A1 paper size
sheet no: WD-03
rev: F

WALL LEGEND

- ADD INSULATION IF REQUIRED BY ENERGY RATING REPORT.

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- [P2]** 90 MM TIMBER PARTITION WALLS TO OFFICE AND AMENITIES WITH 13 MM THICK PLASTERBOARD LINING TO OFFICES AND WET AREA PLASTERBOARD TO AMENITIES AREAS AS REQUIRED. PROVIDE VILLABOARD LINING TO THE EXTERNAL WALLS WITHIN THE WAREHOUSE. 100 MM HIGH ANODISED ALUMINIUM SKIRTING TO ALL WALLS.
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STAIR NOTES

STAIRS ARE TO COMPLY WITH CLAUSE 11 OF AS 1428.1

STEP SIZES TO BE:

- RISERS (R) 190MM MAX. AND 115MM MIN.
- GOING (G) 355MM MAX AND 250MM MIN.
- 2R + 1G = 700MM MAX AND 550MM MIN.
- 125MM MAX GAP TO OPEN TREADS.

ALL TREADS, LANDINGS AND THE LIKE TO HAVE NON-SLIP FINISH OR SUITABLE NON-SLIP STRIP NEAR EDGE OF NOSING.

PROVIDE BALUSTERS WHERE CHANGE IN LEVEL EXCEED 1000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMP AND/OR TREADS. BALUSTRADES TO BE:

- 1000MM MIN ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND
- 865MM MIN ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND
- VERTICAL WITH A 125MM MAX GAP BETWEEN, AND
- ANY HORIZONTAL ELEMENT WITH THE BALUSTRADE BETWEEN 150MM AND 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 400MM ABOVE THE SURFACE BENEATH THE LANDINGS, RAMP OR TREADS.

HANDRAILS TO BE 865MM MIN ABOVE STAIR NOSING AND 1000MM MIN ABOVE LANDINGS.

THE WIDTH OF A FLIGHT OF STAIRS (MEASURED CLEAR OF HANDRAILS AND OBSTRUCTIONS) SHALL BE 1000 MM MINIMUM AND BE CONSTANT.

TIMBER STAIRS TO INTERNAL STAIR WELLS TO HAVE A FINISHED THICKNESS OF 44MM AND AN AVERAGE DENSITY OF 800KG/M3 AT A MOISTURE CONTENT OF 12% AND NOT BE JOINED BY MEANS OF GLUE UNLESS IT HAS BEEN LAMINATED AND GLUED WITH RESORCINOL FORMALDEHYDE OR RESORCINOL PHENOL FORMALDEHYDE GLUE.

GLAZING NOTES

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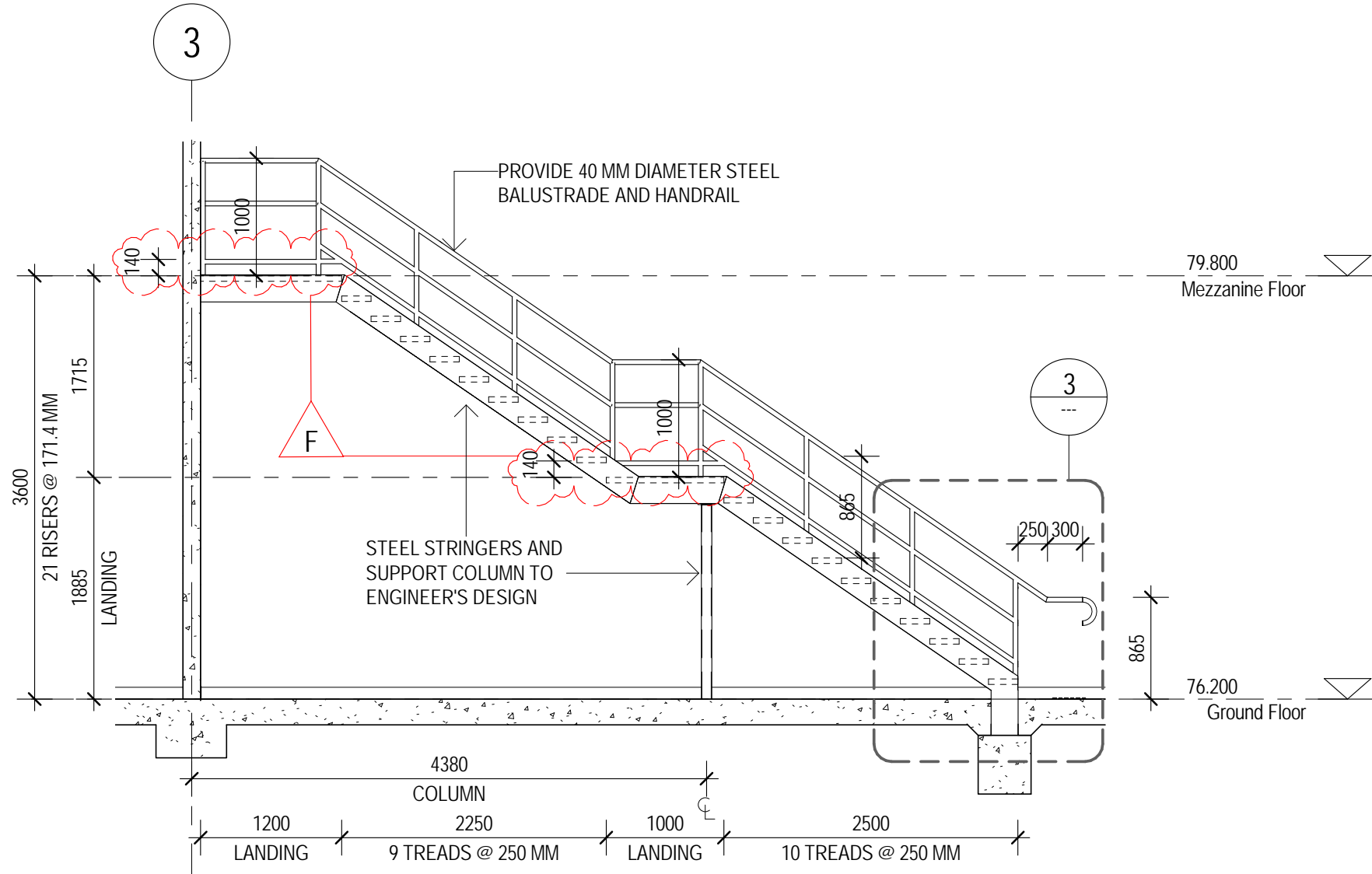
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BUILDING PERMIT ISSUE

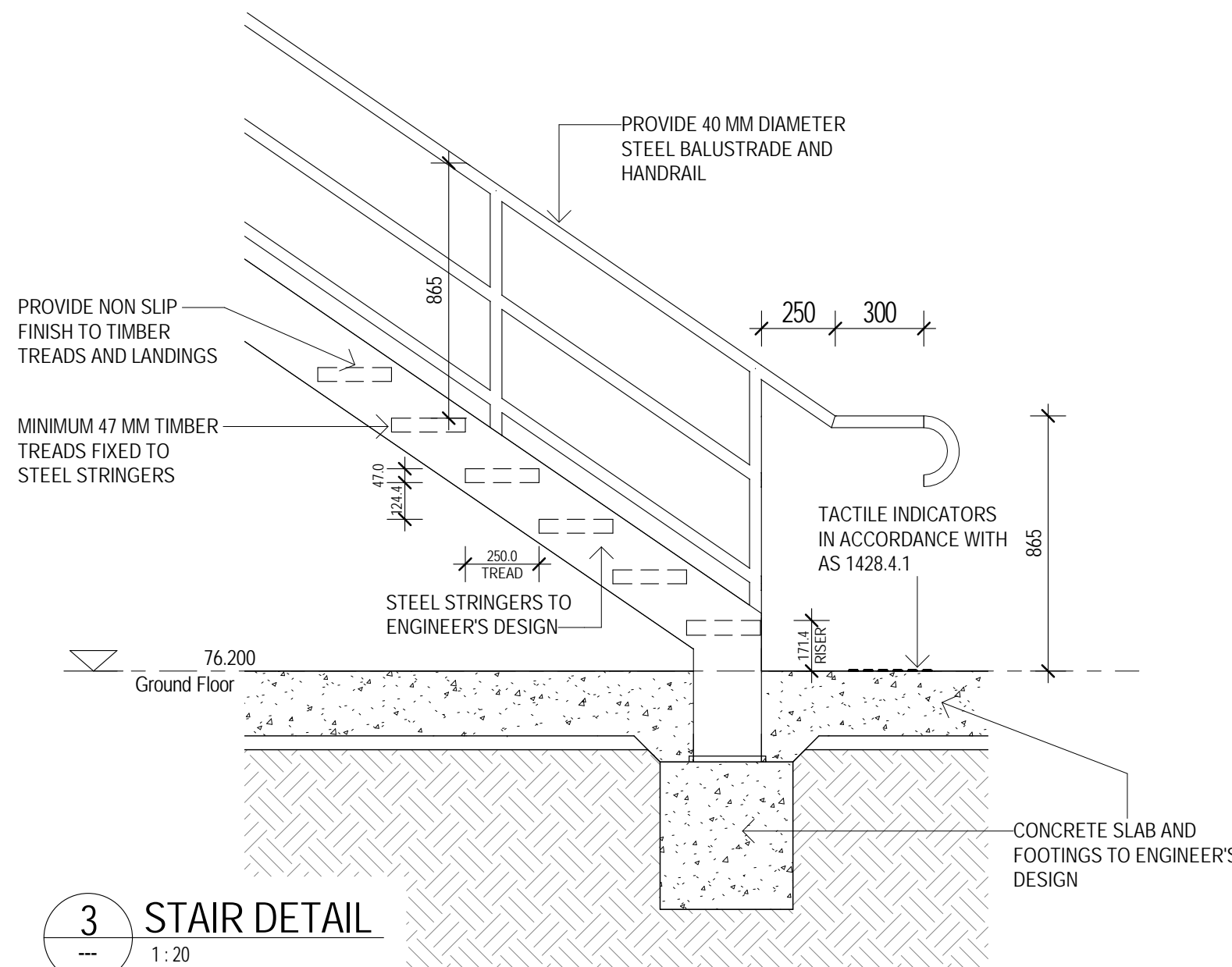
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4 STAIR ELEVATION

1:50

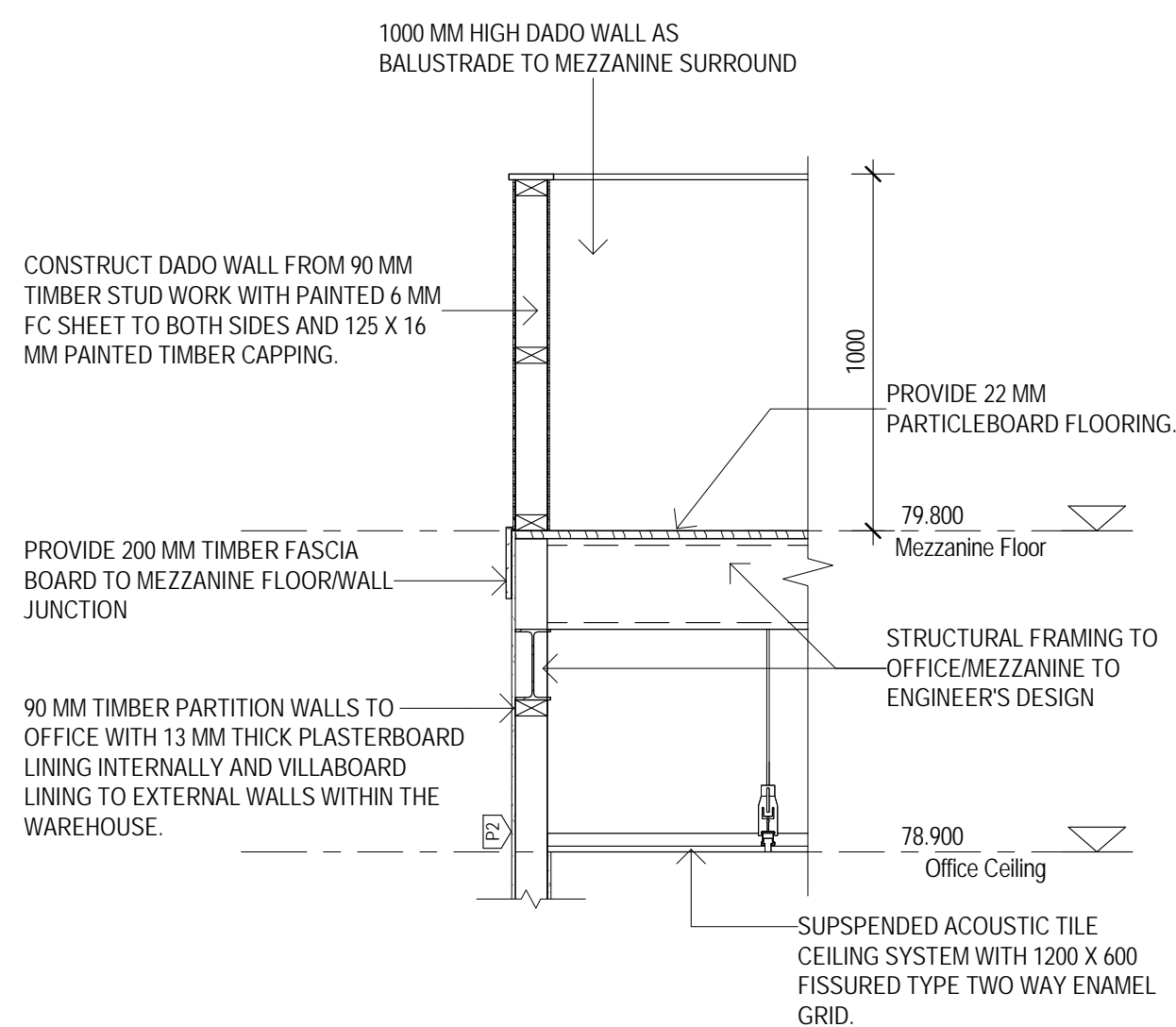
TYPICAL TO BOTH WAREHOUSES



3 STAIR DETAIL

1:20

TYPICAL TO BOTH WAREHOUSES



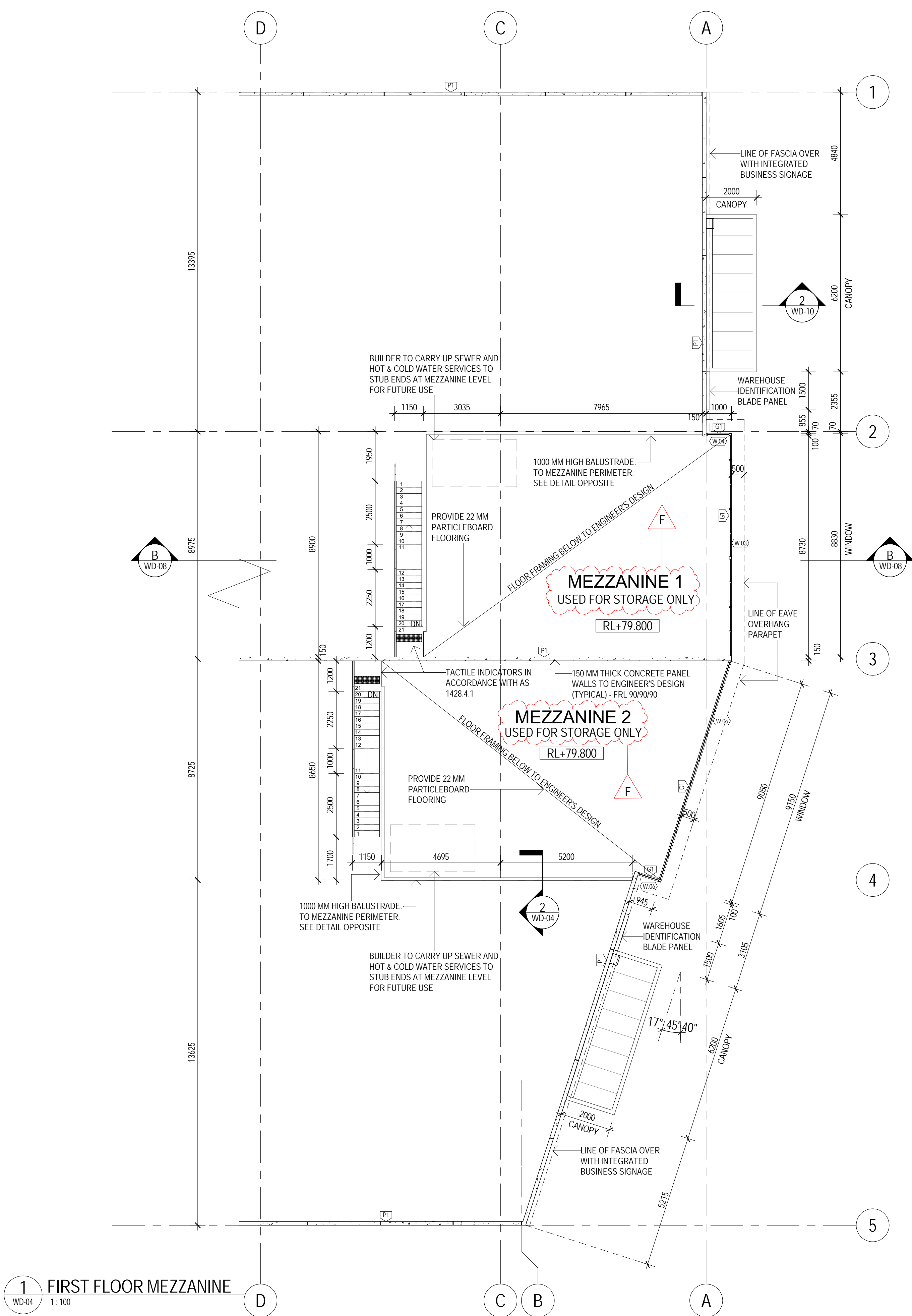
2 MEZZANINE BALUSTRADE DETAIL

1:20

TYPICAL TO BOTH WAREHOUSES

ABBREVIATIONS

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1 FIRST FLOOR MEZZANINE

WD-04

1:100

Issue - BUILDING PERMIT	No.	Revision Description	Drawn	Checked	Date
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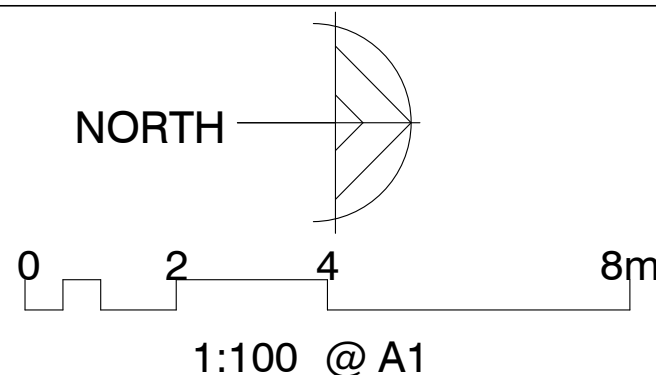
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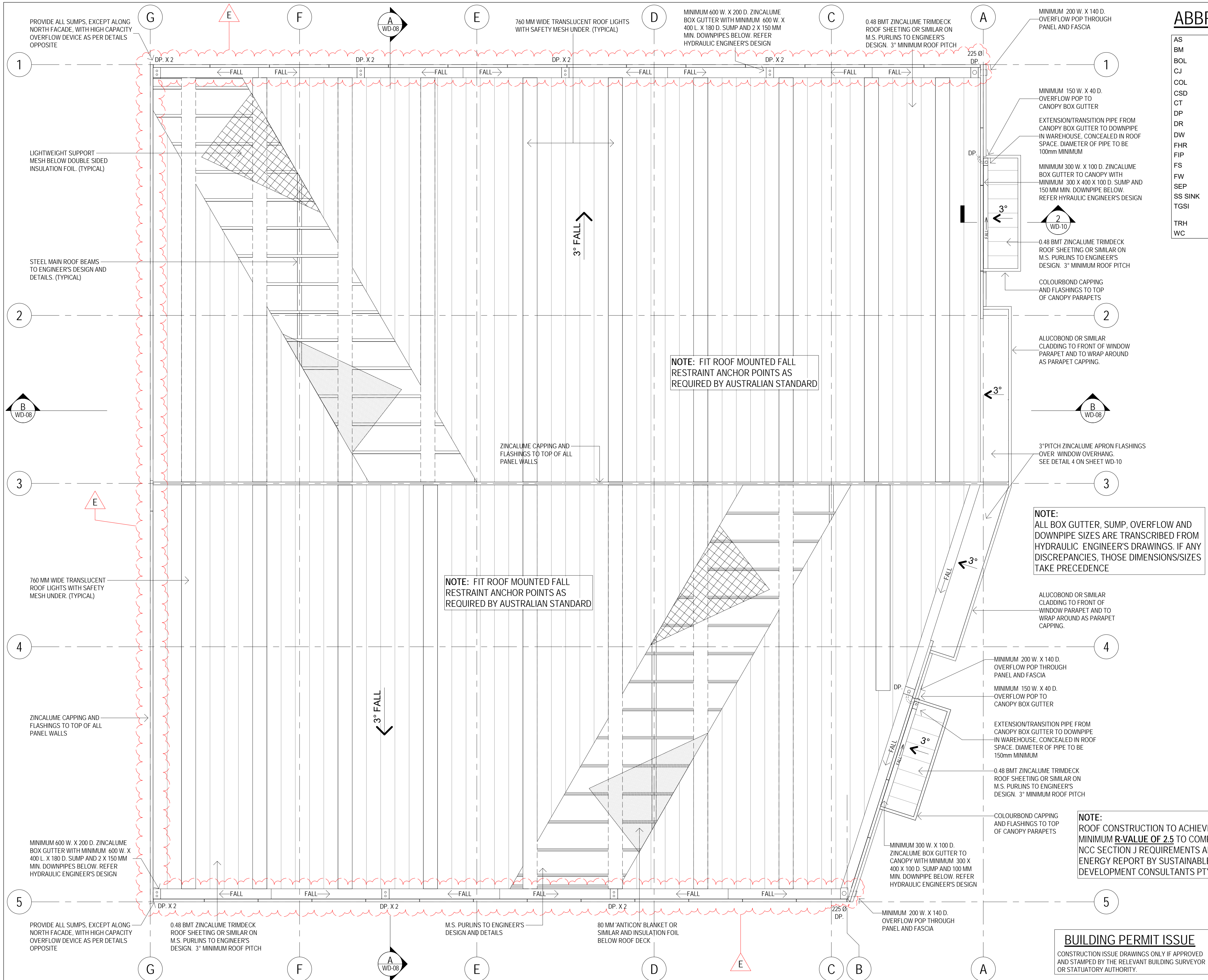


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ROOFING NOTES

- METAL ROOF SHEETING TO COMPLY WITH AS 1562.1
- PROVIDE 0.48 BMT ZINCALUME TRIMDECK ROOF SHEETING OR SIMILAR ON M.S. PURLINS TO ENGINEER'S DESIGN THROUGHOUT. 3° MINIMUM ROOF PITCH
- ROOF SHEETING TO BE FIXED AND INSTALLED AS PER MANUFACTURERS REQUIREMENTS.
- PROVIDE 3 MM ZINC COATED SAFETY MESH 150 MM X 300 MM (150 BEING THE SPACING OF LONGITUDINAL WIRES PARALLEL TO THE CORRIGATIONS) UNDER ALL ROOF SHEETING.
- USE RECOMMENDED SEALANTS BY ROOFING MANUFACTURER
- ALL DOWNPIPES TO BE 150 MM DIAMETER MINIMUM, UNLESS OTHERWISE NOTED. REFER TO HYDRAULIC ENGINEERS DRAWINGS FOR DETAILS.
- ALL PENETRATIONS IN ROOF SHEETING TO BE FLASHED WITH ZINCALUME FLASHING AS SUPPLIED BY ROOFING MANUFACTURER.
- PROVIDE WIRE MESH TO TOP OF ALL SUMPS.
- PROVIDE 300 MM SOAKER GUTTERS AS REQUIRED TO ALL ROOF MOUNTED EQUIPMENT.
- PROVIDE TO WAREHOUSE/OFFICE MINIMUM 600 W. X 200 D. ZINCALUME BOX GUTTER WITH MINIMUM 600 W. X 400 L. X 180 D. SUMP AND 2 X 150 MM MIN. DOWNPIPES BELOW. PROVIDE HIGH CAPACITY OVERFLOW IN EACH SUMP. REFER HYDRAULIC ENGINEER'S DESIGN.
- PROVIDE TO CANOPIES MINIMUM 300 W. X 100 D. ZINCALUME BOX GUTTER WITH MINIMUM 100 W. X 400 L. X 100 D. SUMP AND 100 MM MIN. DOWNPIPES BELOW. PROVIDE MINIMUM 150 W. X 40 D. OVERFLOW POP. REFER HYDRAULIC ENGINEER'S DESIGN.
- ALL GUTTERS TO BE PROVIDED WITH A MINIMUM GRADE OF 1:200

INSULATION SISALATION AND SAFETY MESH

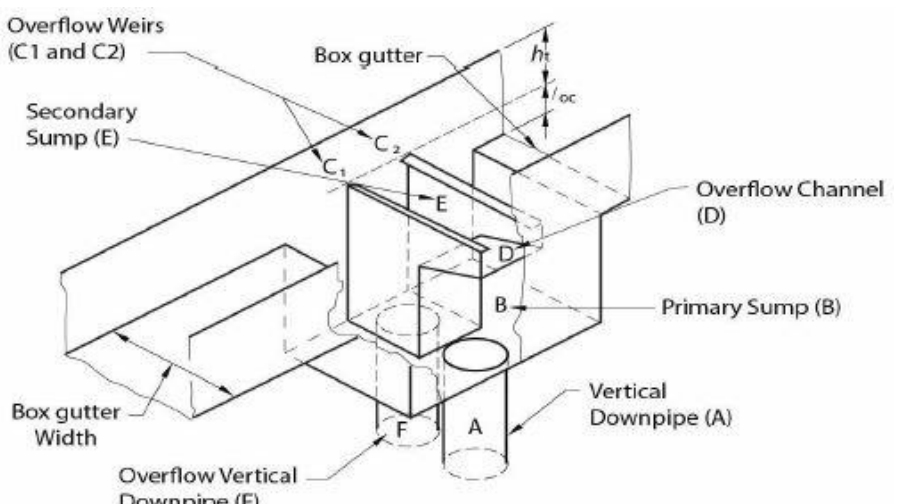
- SUPPLY AND INSTALL AS SPECIFIED INSULATION, SISALATION AND SAFETY MESH OVER MILD STEEL PURLINS PRIOR TO LAYING AND FIXING ROOF SHEETS.
- SAFETY MESH TO BE FIXED TO RIDGE PURLIN AND PULLED TIGHT IN CONTINUOUS LENGTH FOR FULL SPAN OF ROOF. LAY SISALATION AND/OR INSULATION OVER SAFETY MESH IMMEDIATELY PRIOR TO LAYING ROOF SHEETS.
- ENSURE SISALATION/INSULATION IS ADEQUATELY LAPPED WITH ADJACENT SHEETS TO PROVIDE A CONTINUOUS INSULATION BARRIER TO THE FULL EXTENT OF ROOF.
- ENSURE INSULATION IS CONTINUED UNDER BOX GUTTERS AND FIXED IN POSITION. CHECK ALL INTERNAL EXPOSED SURFACES OF INSULATION FOR CONTINUITY AND MAKE GOOD AS REQUIRED.

ROOF PENETRATIONS

- CUT ROOF PENETRATIONS AND INSTALL UNDERFLASHINGS WHERE DIRECTED OR AS SHOWN ON ARCHITECTURAL AND MECHANICAL DRAWINGS.
- ENSURE UNDERFLASHING HAS SUFFICIENT UPTURN TO ALLOW OVERFLASHINGS TO BE SECURELY FIXED INTO FINAL POSITION.
- USE A SUFFICIENT AMOUNT OF SILICON SEALANT TO ENSURE UNDERFLASHING PROVIDES A WATERPROOF SEAL.

HIGH CAPACITY OVERFLOW

WHERE HIGH CAPACITY OVERFLOWS ARE FITTED, IN THE EVENT OF A BLOCKAGE IN THE NORMAL VERTICAL DOWNPIPE (A), THE WATER LEVEL IN THE PRIMARY SUMP (B) WILL RISE TO AND OVERTOP THE OVERFLOW WEIRS C1 AND C2 (EACH WEIR LENGTH IS EQUAL TO THE WIDTH OF THE ADJACENT BOX GUTTER). IT WILL FLOW EITHER DIRECTLY OR INDIRECTLY VIA THE OVERFLOW CHANNEL (D) TO THE SECONDARY SUMP (E) AND THEN TO THE OVERFLOW VERTICAL DOWNPIPE (F).



- NOTES:
- THE LAYOUT OF A SUMP / SIDE OVERFLOW DEVICE MAY HAVE TO BE VARIED DUE TO BUILDING CONSTRAINTS.
 - WHERE DESIRED, THE SIDES OF THE SUMP / HIGH-CAPACITY OVERFLOW DEVICE MAY BE PERFORMED TO FLUSH THE OVERFLOW DOWNPIPE (F).
 - THE NORMAL VERTICAL DOWNPIPE OUTLET (A) MAY BE MOVED LONGITUDINALLY TO CLEAR THE OVERFLOW CHANNEL TO ENABLE BETTER INSPECTION AND MAINTENANCE ACCESS.

NOTE:
ROOF CONSTRUCTION TO ACHIEVE A TOTAL MINIMUM R-VALUE OF 2.5 TO COMPLY WITH NCC SECTION J REQUIREMENTS AND ENERGY REPORT BY SUSTAINABLE DEVELOPMENT CONSULTANTS PTY. LTD.

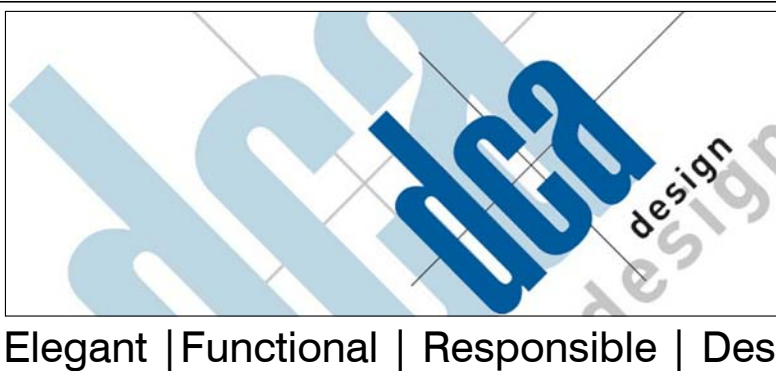
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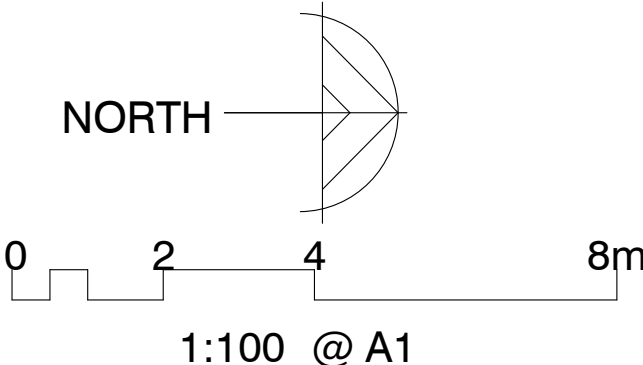
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	D	BUILDING PERMIT ISSUE	PG		24 AUG 2017
	E	PANEL WALLS OFFSET 140 MM FROM BOUNDARIES	PG		



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project: PROPOSED WAREHOUSES, OFFICES
address: LOT 54, 20-22 EUCUMBENE DR, RAVENHALL
client: **MATY PTY. LTD. - BMF CONSTRUCTION**
sheet title: **ROOF PLAN**
date: MARCH 2017 job no: 4898Z
drawn: PG checked: DC
scale: As indicated @ A1 paper size
sheet no: **WD-05**
rev: E

ARTIFICIAL LIGHTING

COMPLIANCE WITH NCC - PART J6 AND READ IN CONJUNCTION
ENERGY REPORT BY SUSTAINABLE DEVELOPMENT
CONSULTANTS PTY. LTD. DOCUMENT NO: S2928.01

WAREHOUSE 1 - 10 W/M²
TOTAL AREA (INCL. MEZZANINE) : 1011.1 M²
MAXIMUM WATTS POSSIBLE : 10111.0 W
TYPE OF GLOBE/LAMP USED : 250 W METAL HALIDE HI-BAY
QUANTITY OF GLOBE/LAMP USED : 10 HI-BAYS
NOTE:
WITH 10 GLOBES BEING USED A MAXIMUM OF 2500W IS USED

OFFICE 1 - 9 W/M²
TOTAL AREA : 91.2 M²
MAXIMUM WATTS POSSIBLE : 820.8 W
TYPE OF GLOBE/LAMP USED : 2 X 28 W FLUOROS
QUANTITY OF GLOBE/LAMP USED : 14 LED FLUOROS
NOTE:
WITH 14 GLOBES BEING USED A MAXIMUM OF 784W IS USED

AMENITIES 1 - 6 W/M²
TOTAL AREA : 8.8 M²
MAXIMUM WATTS POSSIBLE : 52.8 W
TYPE OF GLOBE/LAMP USED : 11 W LED DOWNLIGHT
QUANTITY OF GLOBE/LAMP USED : 3 LED DOWNLIGHTS
NOTE:
WITH 3 GLOBES BEING USED A MAXIMUM OF 33 W IS USED

WAREHOUSE 2 - 10 W/M²
TOTAL AREA (INCL. MEZZANINE) : 929.7 M²
MAXIMUM WATTS POSSIBLE : 9297.0 W
TYPE OF GLOBE/LAMP USED : 250 W METAL HALIDE HI-BAY
QUANTITY OF GLOBE/LAMP USED : 9 HI-BAYS
NOTE:
WITH 9 GLOBES BEING USED A MAXIMUM OF 2250 W IS USED

OFFICE 2 - 9 W/M²
TOTAL AREA : 91.1 M²
MAXIMUM WATTS POSSIBLE : 810.9 W
TYPE OF GLOBE/LAMP USED : 24 W LED FLUORO
QUANTITY OF GLOBE/LAMP USED : 14 LED FLUOROS
NOTE:
WITH 14 GLOBES BEING USED A MAXIMUM OF 336 W IS USED

AMENITIES 2 - 6 W/M²
TOTAL AREA : 8.8 M²
MAXIMUM WATTS POSSIBLE : 52.8 W
TYPE OF GLOBE/LAMP USED : 11W LED DOWNLIGHT
QUANTITY OF GLOBE/LAMP USED : 3 LED DOWNLIGHTS
NOTE:
WITH 3 GLOBES BEING USED A MAXIMUM OF 33W IS USED

ELECTRICAL LEGEND

EMERGENCY LIGHTING -

☒ E "CLEVERTRONICS" LP™ PREMIUM LED LIFELIGHT™
OR SIMILAR APPROVED 1.0 WATT RECESSED
EMERGENCY LUMINAIRES NON-MAINTAINED
WITH "CLEVERTEST™" PART. NO.: CLIFE-CT
2.70 METER MOUNTING HEIGHT
C₀ : D40 = 18.0 METERS / C₉₀ : D40 = 18.0 METERS

☒ E "CLEVERTRONICS" LP™ PREMIUM LED SABRE OR
SIMILAR APPROVED SURFACE MOUNTED T8 840
LED TUBE WIRE GUARDED PROFESSIONAL
BATTEN EMERGENCY LUMINAIRES
NON-MAINTAINED WITH "CLEVERTEST™"
PART. NO.: CBS1L2S-WG-CT
8.0 METER MOUNTING HEIGHT
C₀ : D40 = 23.0 METERS / C₉₀ : D40 = 23.0 METERS
(EMERGENCY LIGHTING SHALL BE WIRED SO AS
TO BE OPERABLE AT ALL TIMES)

EXIT "CLEVERTRONICS" LP™ PREMIUM LED CLEVERFIT
OR SIMILAR APPROVED 2.7 WATT CEILING MOUNTED
EXIT SIGN MAINTAINED WITH "CLEVERTEST™"
PART. NO.: CCFLD-CT
2.70 METER MOUNTING HEIGHT
C₀ : E2 = 5.4 METERS / C₉₀ : E2 = 5.4 METERS

EXIT "CLEVERTRONICS" LP™ PREMIUM LED CLEVERFIT
OR SIMILAR APPROVED 2.7 WATT WALL MOUNTED
EXIT SIGN MAINTAINED WITH "CLEVERTEST™"
PART. NO.: CCFLD-CT
2.40 METER MOUNTING HEIGHT
C₀ : E2 = 5.2 METERS / C₉₀ : E2 = 5.2 METERS

LIGHT -

☒ "VERSALUX HANGAR HIGH BAY" 250 WATT METAL HALIDE
LIGHT FITTING OR SIMILAR TO WAREHOUSE (160 LUX)
MODEL NO.: HANGARMH0250
8.0 METER MOUNTING HEIGHT

☒ 2 X 28 WATT 1200 X 300 FLUORO OR SIMILAR
RECESSED PANEL LIGHT FITTING WITH ACRYLIC
DIFFUSER TO OFFICE CEILING GRID (360 LUX)
2.70 METER MOUNTING HEIGHT

○ "VERSALUX THE PAD" 10W LED RECESSED DOWNLIGHT
WITH IP44 REGRESSED GLASS OR SIMILAR (160 LUX)
MODEL No.: THEPAD103WG.1
2.40 METER MOUNTING HEIGHT

☒ "VERSALUX FASTLED AS" 270W LED FLOODLIGHT OR
SIMILAR (160 LUX) WITH DAYLIGHT SENSOR CONTROL
MODEL No.: FASTLEDAS270
5.00 METER MOUNTING HEIGHT

☒ "BUNKER" STYLE EXTERNAL VANDAL PROOF WALL
MOUNTED ABOVE WAREHOUSE EXIT DOORS 20W LED
LIGHT FITTING OR SIMILAR (100 LUX)
2.40 METER MOUNTING HEIGHT

NOTES -

- ALL WIRING SHALL BE IN ACCORDANCE WITH
A.S. 3000 WIRING REGULATIONS.
- ALL MULTIPLE LIGHT FITTINGS SHALL BE
JOINTLY SWITCHED.
- MECHANICAL VENTILATION UNITS SHALL BE
WIRED DIRECT TO SWITCHBOARD AND MAINS
SIZED ACCORDINGLY.
- CONTRACTOR SHALL CONFIRM THE MACHINERY
ELECTRICAL LOAD AND LOCATIONS PRIOR TO
RUNNING ANY WIRING. SEE BUILDING USER FOR
DETAILS.

ABBREVIATIONS

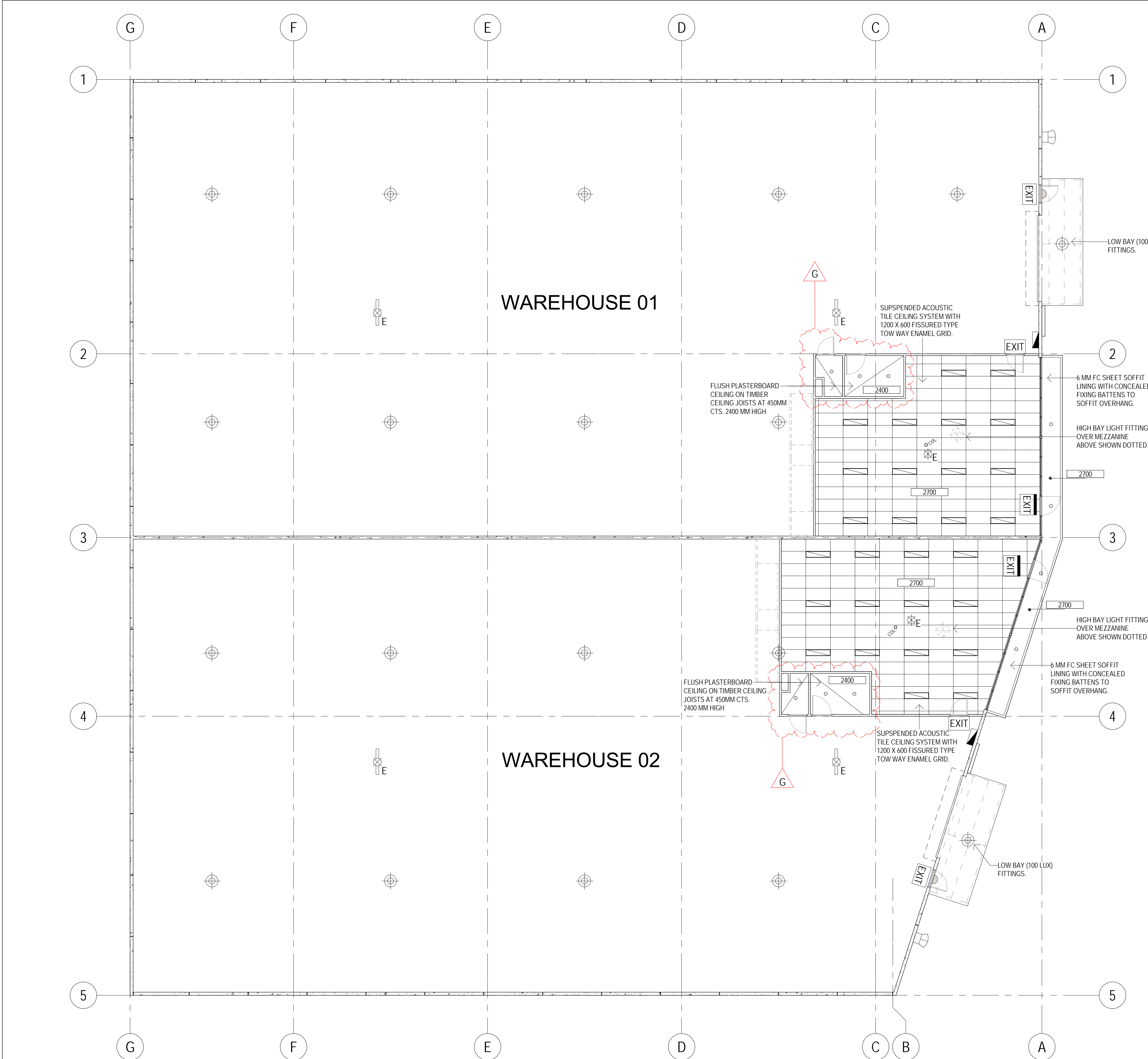
AS	ADJUSTABLE SHELF
BM	BASIN MIXER
BOL	BOLLARD
CJ	CONSTRUCTION JOINT
COL	COLUMN
CSD	CAVITY SLIDING DOOR
CT	CERAMIC TILES
DP	DOWNPIPE
DR	DRAWER
DW	DISHWASHER
FHR	FIRE HOSE REEL
FIP	FIRE INDICATOR PANEL
FS	FIXED SHELF
FW	FLOOR WASTE
SEP	SIDE ENTRY PIT
SS SINK	STAINLESS STEEL SINK
TGSI	TACTILE GROUND SURFACE INDICATORS
TRH	TOILET ROLL HOLDER
WC	WATER CLOSET

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WAREHOUSE 01

WAREHOUSE 02



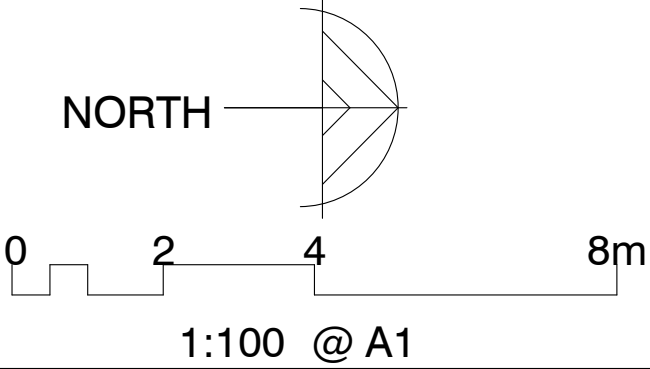
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	D	BUILDING PERMIT ISSUE	PG	DC	27 JUNE 2017
	E	ELECTRICAL LIGHT FITTINGS CHANGED	PG		24 AUG 2017
	F	PANEL WALLS OFFSET 140 MM FROM BOUNDARIES	PG		31 AUG 2017
	G	BUILDING PERMIT QUERIES	PG		



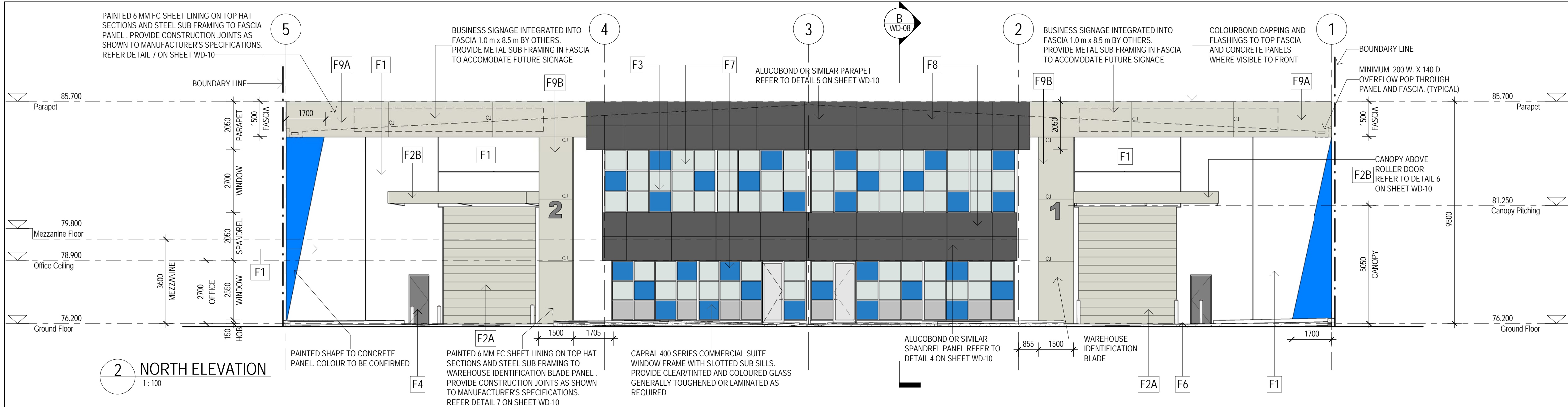
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project: PROPOSED WAREHOUSES, OFFICES
address: LOT 54, 20-22 EUCUMBENE DR, RAVENHALL
client: **MATY PTY. LTD. - BMF CONSTRUCTION**
sheet title: **REFLECTED CEILING - LIGHTING PLAN**
date: MARCH 2017 job no: 4898Z
drawn: PG checked: DC sheet no: **WD-06**
scale: 1 : 100 @ A1 paper size rev: G

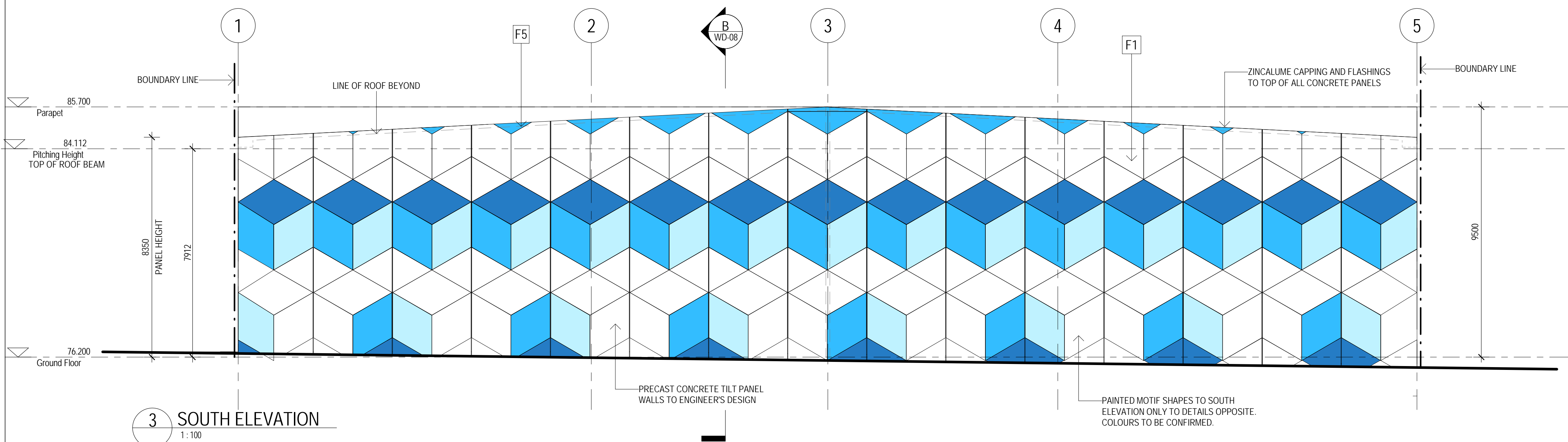
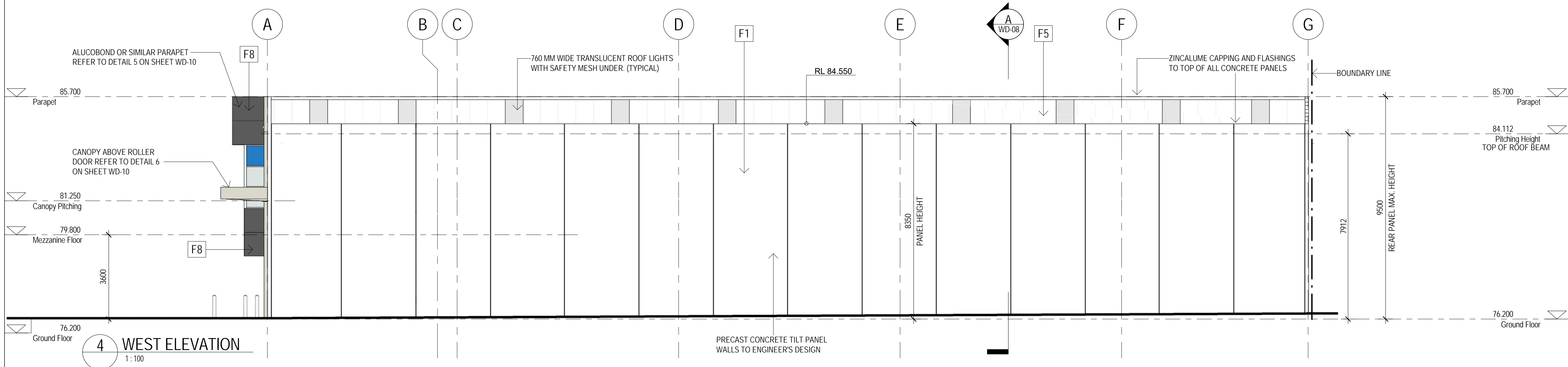
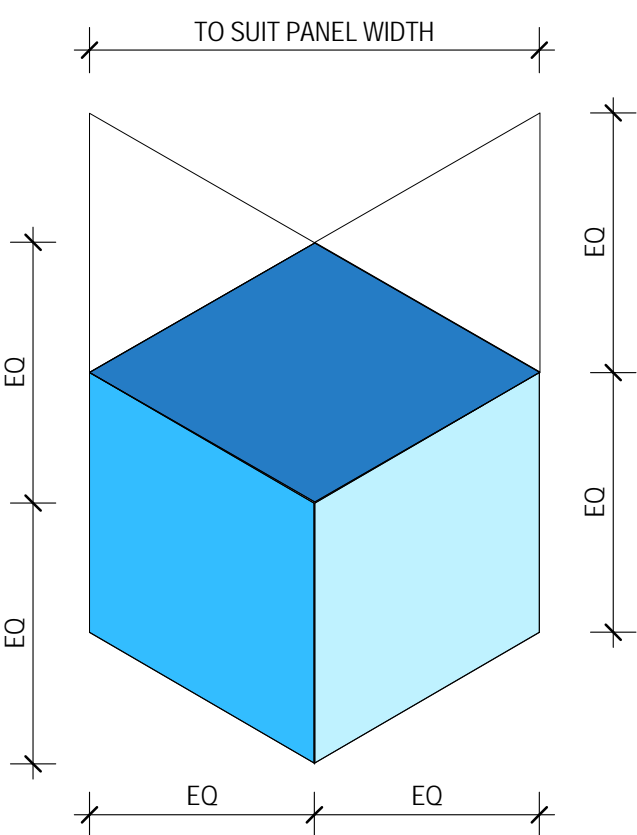


ABBREVIATIONS

AS	ADJUSTABLE SHELF
BM	BASIN MIXER
BOL	BOLLARD
CJ	CONSTRUCTION JOINT
COL	COLUMN
CSD	CAVITY SLIDING DOOR
CT	CERAMIC TILES
DP	DOWNSPIPE
DR	DRAWER
DW	DISHWASHER
FHR	FIRE HOSE REEL
FIP	FIRE INDICATOR PANEL
FS	FIXED SHELF
FW	FLOOR WASTE
SEP	SIDE ENTRY PIT
SS SINK	STAINLESS STEEL SINK
TGSI	TACTILE GROUND SURFACE INDICATORS
TRH	TOILET ROLL HOLDER
WC	WATER CLOSET

BUILDING PERMIT ISSUE

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EXTERNAL FINISHES & MATERIALS SCHEDULE

MATERIAL:	FINISH:	
F1 CONCRETE PANEL WALL	NATURAL GREY COLOUR SMOOTH FINISH	
F2A ROLLER DOOR F2B ROLLER DOOR CANOPY	COLOURBOND (SURFIMIST) COLOURBOND (SURFIMIST)	
F3 ALUMINIUM WINDOW FRAME	NATURAL ANODISED	
F4 EXTERNAL DOOR PANEL FINISH	PAINTED FINISH (SURFIMIST)	
F5 ROOF SHEETING	ZINCALUME METAL	
F6 DRIVEWAY	CONCRETE. NATURAL COLOUR	
F7 WINDOW GLAZING	CLEAR GLASS & COLOURED GLASS	
F8 PARAPET AND WINDOW SPANDREL	ALUCOBOND OR SIMILAR CLADDING (MOUSE GREY)	
F9A FC SHEET FASCIA F9B VERTICAL BUILDING I.D. PANEL	PAINTED FINISH (SURFIMIST) PAINTED FINISH (SURFIMIST)	

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	D	BUILDING PERMIT ISSUE	PG	DC	22 JUNE 2017
	E	PANEL WALLS OFFSET 140 MM FROM BOUNDARIES	PG		24 AUG 2017



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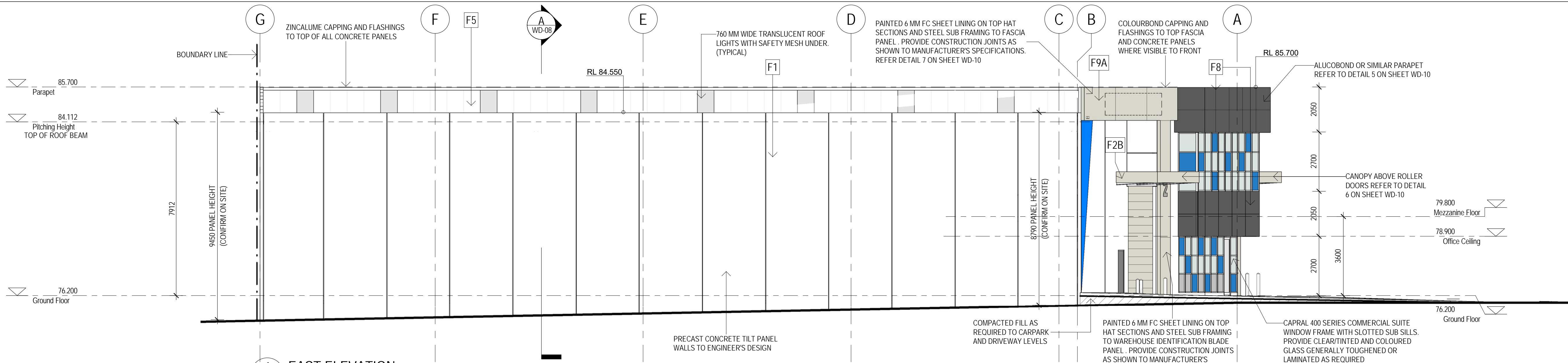
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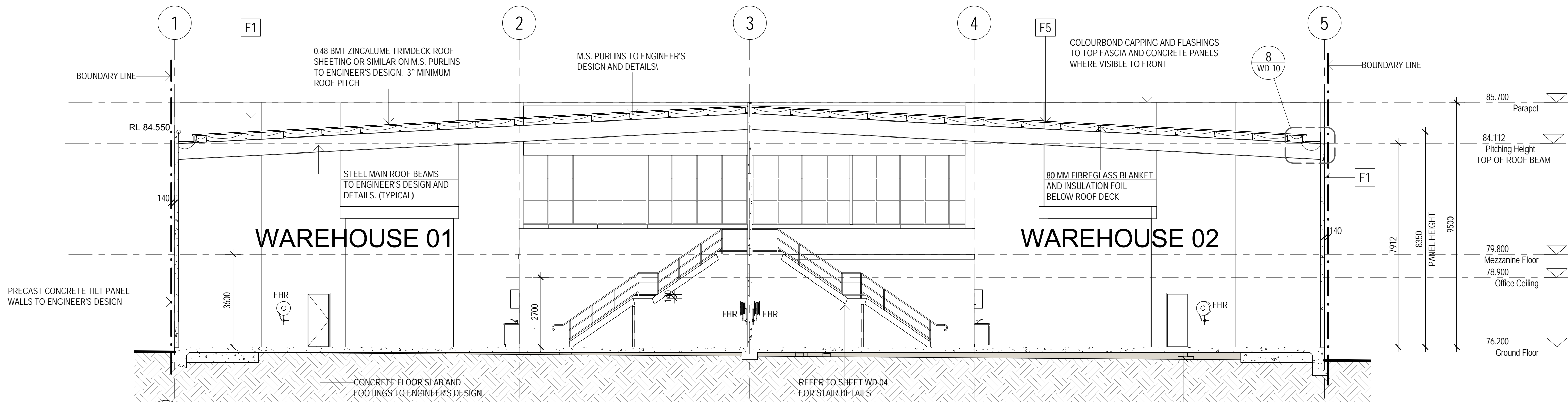
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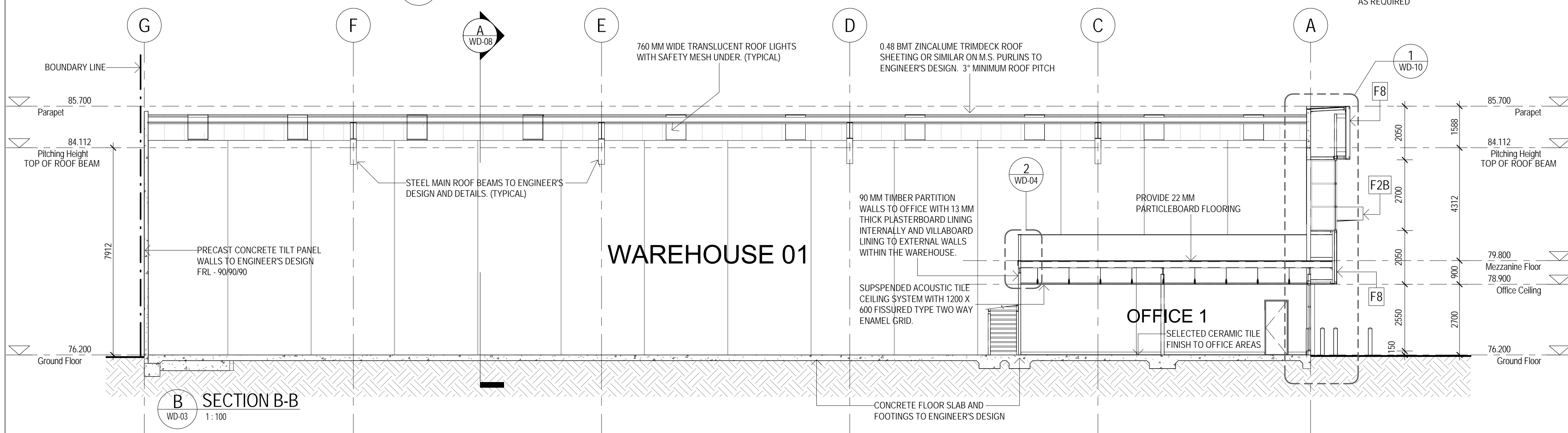
project: PROPOSED WAREHOUSES, OFFICES
address: LOT 54, 20-22 EUCUMBENE DR, RAVENHALL
client: **MATY PTY. LTD. - BMF CONSTRUCTION**
sheet title: **ELEVATIONS**
date: MARCH 2017 job no: 4898Z
drawn: PG checked: DC
scale: As indicated@ A1 paper size
sheet no: **WD-07** rev: E



1 EAST ELEVATION
1:100



A SECTION A-A
WD-03 1:100



B SECTION B-B
WD-03 1:100

ABBREVIATIONS

AS	ADJUSTABLE SHELF
BM	BASIN MIXER
BOL	BOLLARD
CJ	CONSTRUCTION JOINT
COL	COLUMN
CSD	CAVITY SLIDING DOOR
CT	CERAMIC TILES
DP	DOWNSPIPE
DR	DRAWER
DW	DISHWASHER
FHR	FIRE HOSE REEL
FIP	FIRE INDICATOR PANEL
FS	FIXED SHELF
FW	FLOOR WASTE
SEP	SIDE ENTRY PIT
SS SINK	STAINLESS STEEL SINK
TGSI	TACTILE GROUND SURFACE INDICATORS
TRH	TOILET ROLL HOLDER
WC	WATER CLOSET

BUILDING PERMIT ISSUE

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EXTERNAL FINISHES & MATERIALS SCHEDULE

MATERIAL:		FINISH:	
F1	CONCRETE PANEL WALL	NATURAL GREY COLOUR SMOOTH FINISH	
F2A	ROLLER DOOR	COLOURBOND (SURFMIST)	
F2B	ROLLER DOOR CANOPY	COLOURBOND (SURFMIST)	
F3	ALUMINIUM WINDOW FRAME	NATURAL ANODISED	
F4	EXTERNAL DOOR PANEL FINISH	PAINTED FINISH (SURFMIST)	
F5	ROOF SHEETING	ZINCALUME METAL	
F6	DRIVEWAY	CONCRETE. NATURAL COLOUR	
F7	WINDOW GLAZING	CLEAR GLASS & COLOURED GLASS	
F8	PARAPET AND WINDOW SPANDREL	ALUCOBOND OR SIMILAR CLADDING (MOUSE GREY)	
F9A	FC SHEET FASCIA	PAINTED FINISH (SURFMIST)	
F9B	VERTICAL BUILDING I.D. PANEL	PAINTED FINISH (SURFMIST)	

Issue - BUILDING PERMIT				
No.	Revision Description	Drawn	Checked	Date
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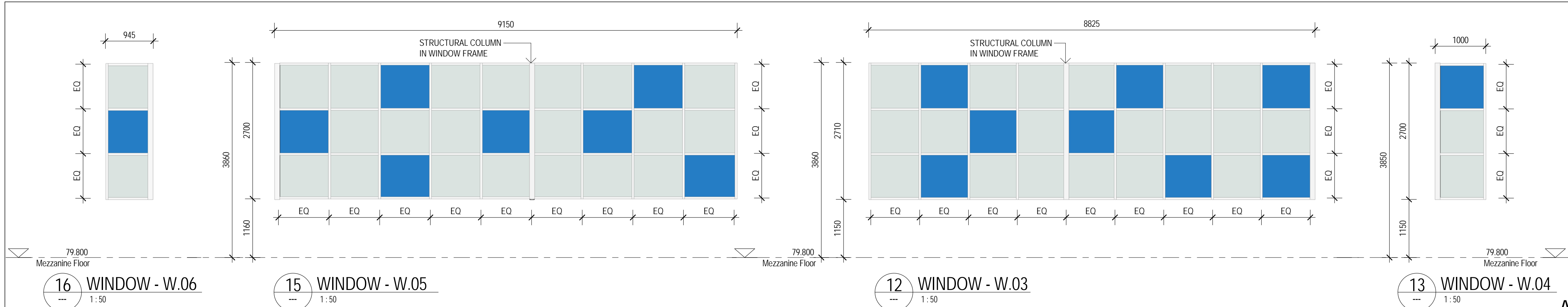
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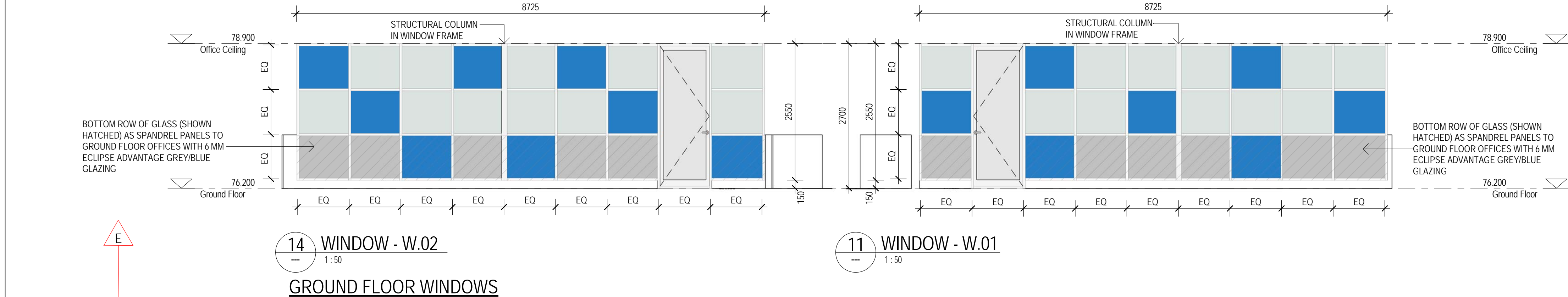
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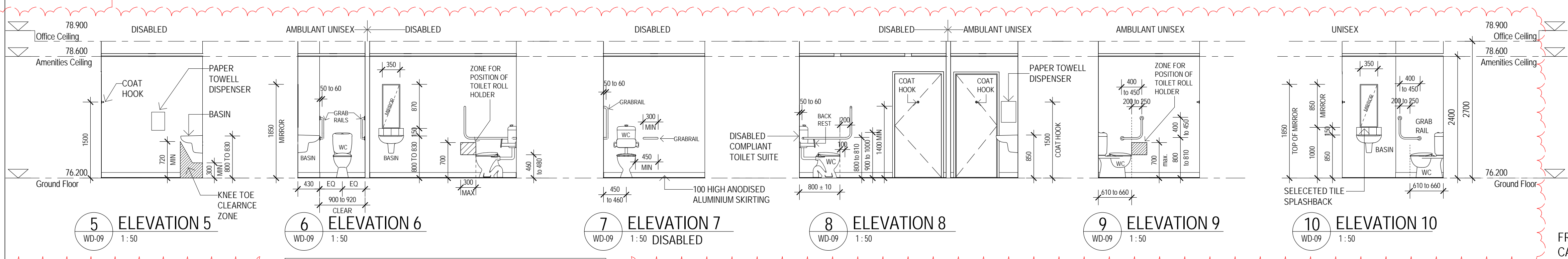
project: PROPOSED WAREHOUSES, OFFICES
address: LOT 54, 20-22 EUCUMBENE DR, RAVENHALL
client: MATY PTY. LTD. - BMF CONSTRUCTION
sheet title: ELEVATIONS - SECTIONS
date: MARCH 2017 job no: 4898Z
drawn: PG checked: DC
scale: 1:100 @ A1 paper size
sheet no: WD-08
rev: E



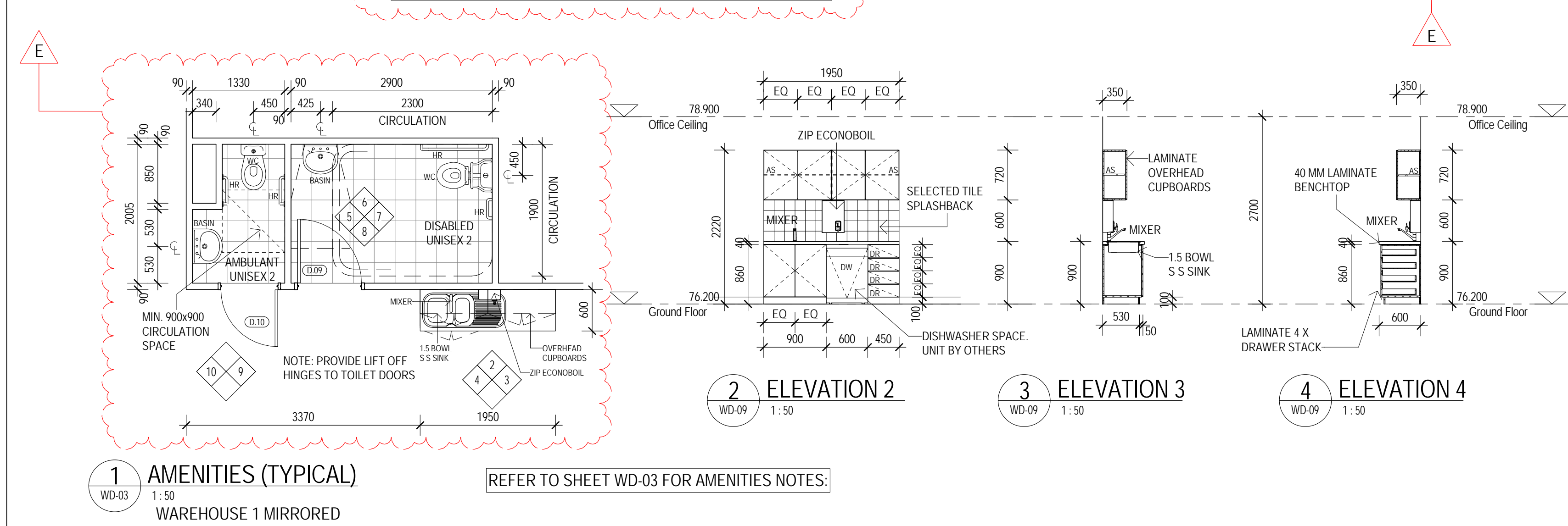
FIRST FLOOR WINDOWS



GROUND FLOOR WINDOWS



MIRROR TO ACCESSIBLE SANITARY COMPARTMENT TO START NO LOWER THAN 900 MM ABOVE FINISHED FLOOR LEVEL



WINDOW SCHEDULE				
WINDOW NO.	HEIGHT	WIDTH	CONSTRUCTION	COMMENTS
W.01	2550	8725	CAPRAL 400 SERIES FRAME	NATURAL ANODISED
W.02	2550	8725	CAPRAL 400 SERIES FRAME	NATURAL ANODISED
W.03	2700	8825	CAPRAL 400 SERIES FRAME	NATURAL ANODISED
W.04	2700	1000	CAPRAL 400 SERIES FRAME	NATURAL ANODISED
W.05	2700	9145	CAPRAL 400 SERIES FRAME	NATURAL ANODISED
W.06	2700	9 45	CAPRAL 400 SERIES FRAME	NATURAL ANODISED

GLAZING NOTES

ALL GLAZING TO COMPLY WITH AS 1288 AND 2047
GLAZING TO ALL DOORS TO COMPLY TO AS 1428.1

GOVERNMENT REGULATIONS STATE THAT ONLY APPROVED SAFETY GLASS BE USED IN DEFINED DANGER AREAS OF BUILDINGS.

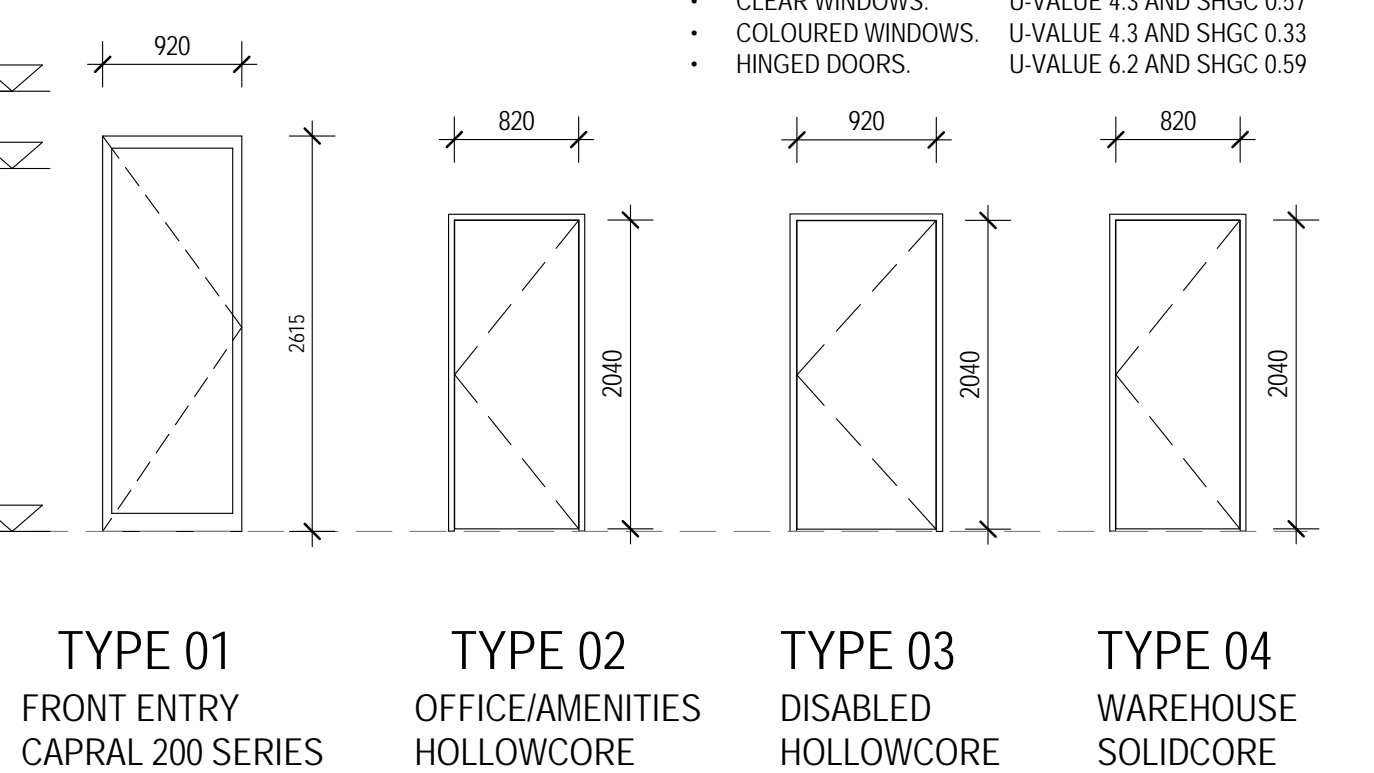
MINIMUM AREAS OF GRADE "A" FRAMED GLASS AND OTHER GLAZED SAFETY GLASS AS FOLLOWS:

TOUGHENED SAFETY GLASS:	THICKNESS	AREA
	3 MM	1.0 M ²
	4 MM	2.0 M ²
	5 MM	3.0 M ²
	6 MM	4.0 M ²
	8 MM	6.0 M ²
	10 MM	8.0 M ²
	12 MM	10.0 M ²

LAMINATED SAFETY GLASS:	THICKNESS	AREA
	5.38 MM	2.0 M ²
	6.38 MM	3.0 M ²
	8.38 MM	5.0 M ²
	10.38 MM	7.0 M ²
	12.38 MM	9.0 M ²

MANIFESTATION OF GLASS
WHEN TRANSPARENT GLASS IS USED IN DOORS AND ADJACENT SIDE PANELS AS DEFINED IN SECTION 1 OF THIS PART OF THE CODE, IT IS RECOMMENDED THAT IT BE MARKED BY MEANS OF A MOTIF OR OTHER DECORATIVE TREATMENT TO INDICATE ITS PRESENCE. SUCH MARKING IS NOT A SUBSTITUTE FOR OTHER REQUIREMENTS IN THIS SECTION OF THIS PART OF THE CODE.

PART J REQUIREMENT
GLAZING TO THE EXTERNAL WINDOWS TO THE OFFICES IS REQUIRED TO HAVE THE FOLLOWING THERMAL PERFORMANCE VALUES FOR GLASS AND FRAME COMBINED:
• CLEAR WINDOWS. U-VALUE 4.3 AND SHGC 0.57
• COLOURED WINDOWS. U-VALUE 4.3 AND SHGC 0.33
• HINGED DOORS. U-VALUE 6.2 AND SHGC 0.59



DOOR SCHEDULE						
DOOR NO.	HEIGHT	WIDTH	DOOR TYPE	CONSTRUCTION	COMMENTS	ROOM NAME
D.01	2615	920	01	CAPRAL 200 SERIES IN SERIES 400 FRAME	NATURAL ANODISED ALUMINIUM INTEGRATED WITH WINDOW	OFFICE 1
D.02	2040	820	04	SOLID CORE DOOR CLAD WITH 1.2 MM TH. ZINC-ANNEAL STEEL SHEETING	DOUBLE REBATE 1.4 MM TH. ZINC-ANNEAL STEEL DOOR FRAME	WAREHOUSE 01
D.03	2040	820	02	HOLLOW CORE FLUSH PANEL	TIMBER FRAME AND ARCHITRAVES	WAREHOUSE 01
D.04	2040	920	03	HOLLOW CORE FLUSH PANEL	TIMBER FRAME AND ARCHITRAVES	DISABLED UNISEX 1
D.05	2040	820	02	HOLLOW CORE FLUSH PANEL	TIMBER FRAME AND ARCHITRAVES	AMBULANT UNISEX 1
D.06	2615	920	01	CAPRAL 200 SERIES IN SERIES 400 FRAME	NATURAL ANODISED ALUMINIUM INTEGRATED WITH WINDOW	OFFICE 2
D.07	2040	820	04	SOLID CORE DOOR CLAD WITH 1.2 MM TH. ZINC-ANNEAL STEEL SHEETING	DOUBLE REBATE 1.4 MM TH. ZINC-ANNEAL STEEL DOOR FRAME	WAREHOUSE 02
D.08	2040	820	02	HOLLOW CORE FLUSH PANEL	TIMBER FRAME AND ARCHITRAVES	WAREHOUSE 02
D.09	2040	920	03	HOLLOW CORE FLUSH PANEL	TIMBER FRAME AND ARCHITRAVES	DISABLED UNISEX 2
D.10	2040	820	02	HOLLOW CORE FLUSH PANEL	TIMBER FRAME AND ARCHITRAVES	AMBULANT UNISEX 2
D.11	5000	4200		COLOURBOND ROLLER DOOR		WAREHOUSE 01
D.12	5000	4200		COLOURBOND ROLLER DOOR		WAREHOUSE 02

DOOR 'D.01' 'D.06' AND 'D.07' ARE REQUIRED TO BE MANUALLY OPENABLE WITHOUT A KEY, FROM THE INSIDE, BY A SINGLE HAND DOWNWARD ACTION DEVICE (LEVER OR THE LIKE) LOCATED BETWEEN 900MM AND 1100MM AS PER NCC D2.21.

BUILDING PERMIT ISSUE

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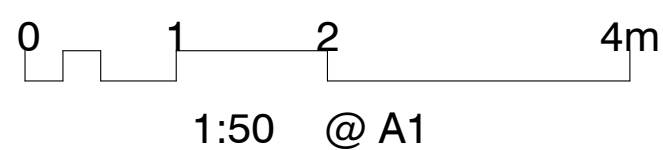
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	D	BUILDING PERMIT ISSUE	PG		31 AUG 2017
	E	BUILDING PERMIT QUERIES	PG		



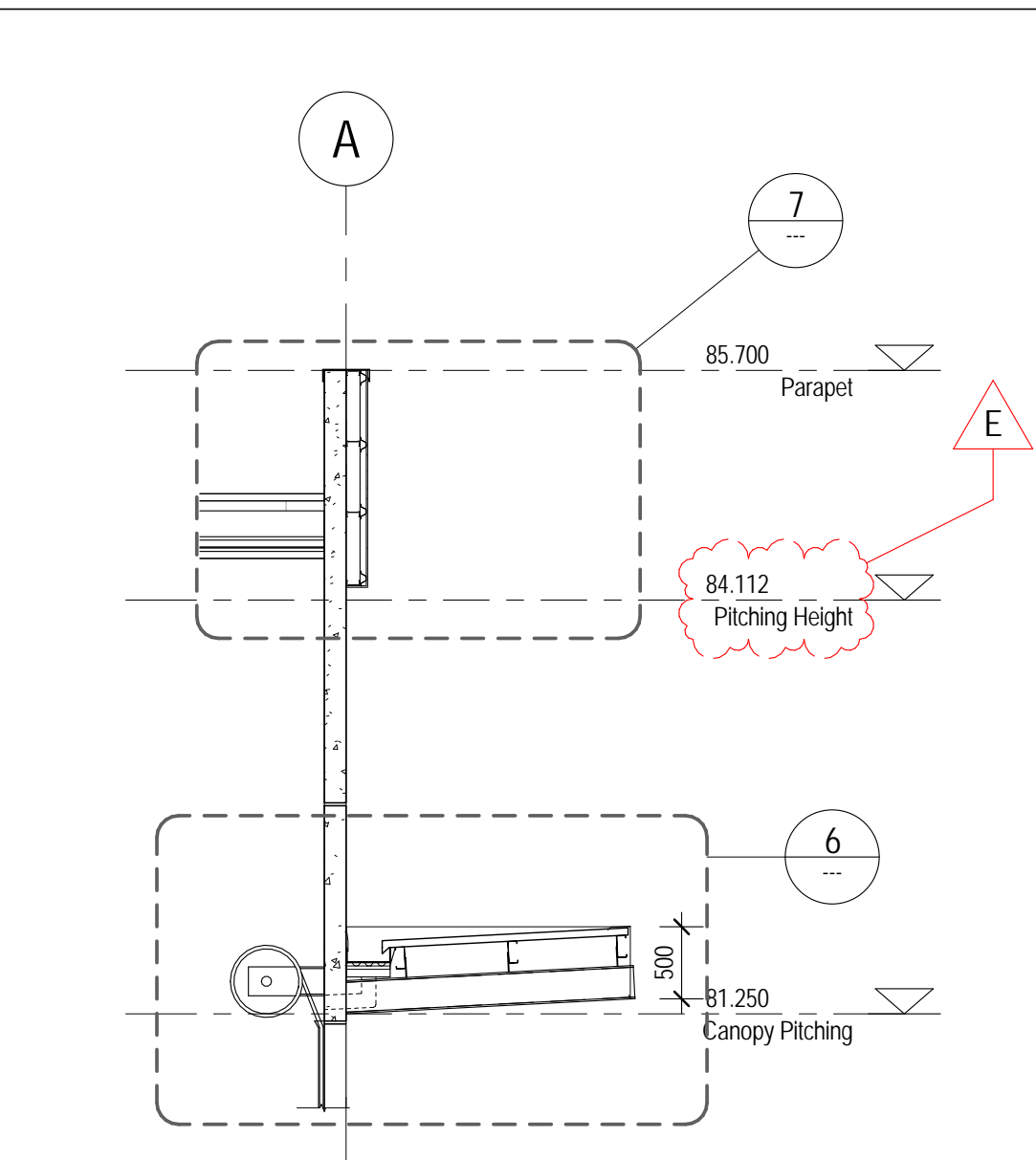
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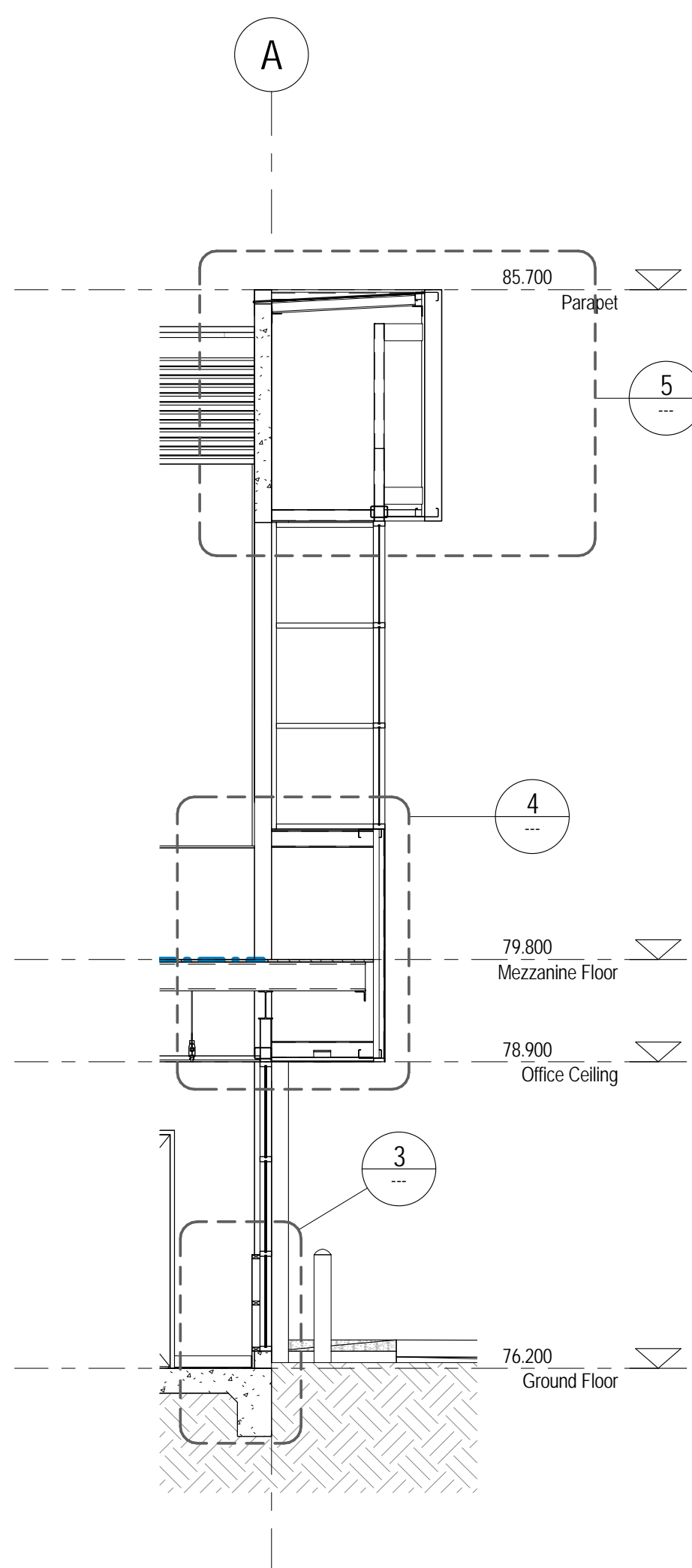
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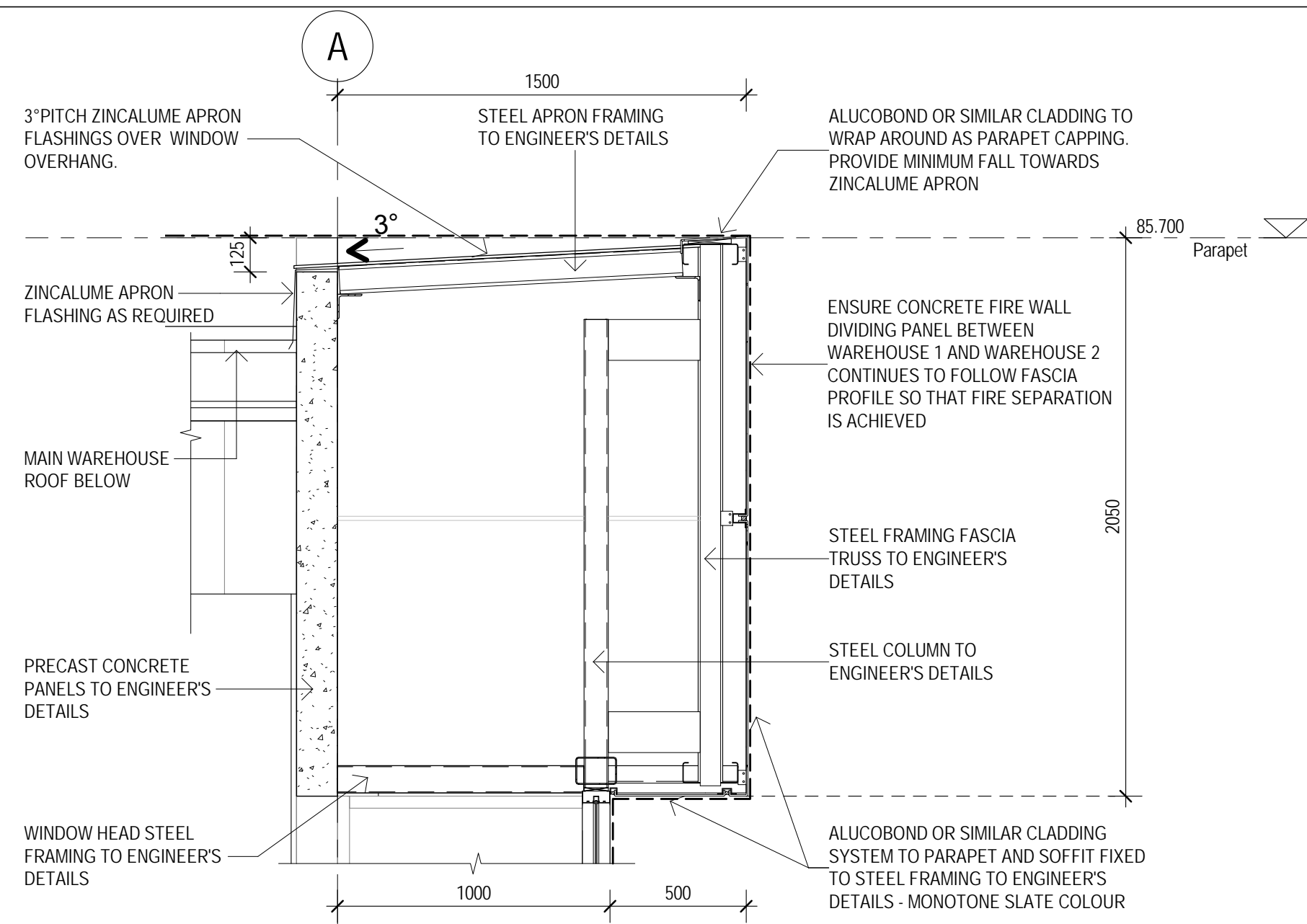
project: PROPOSED WAREHOUSES, OFFICES
address: LOT 54, 20-22 EUCUMBENE DR, RAVENHALL
client: **MATY PTY. LTD. - BMF CONSTRUCTION**
sheet title: **AMENITIES / WINDOWS - DOORS**
date: MARCH 2017 job no: 4898Z
drawn: PG checked: DC
scale: As indicated@ A1 paper size
sheet no: **WD-09**
rev: E



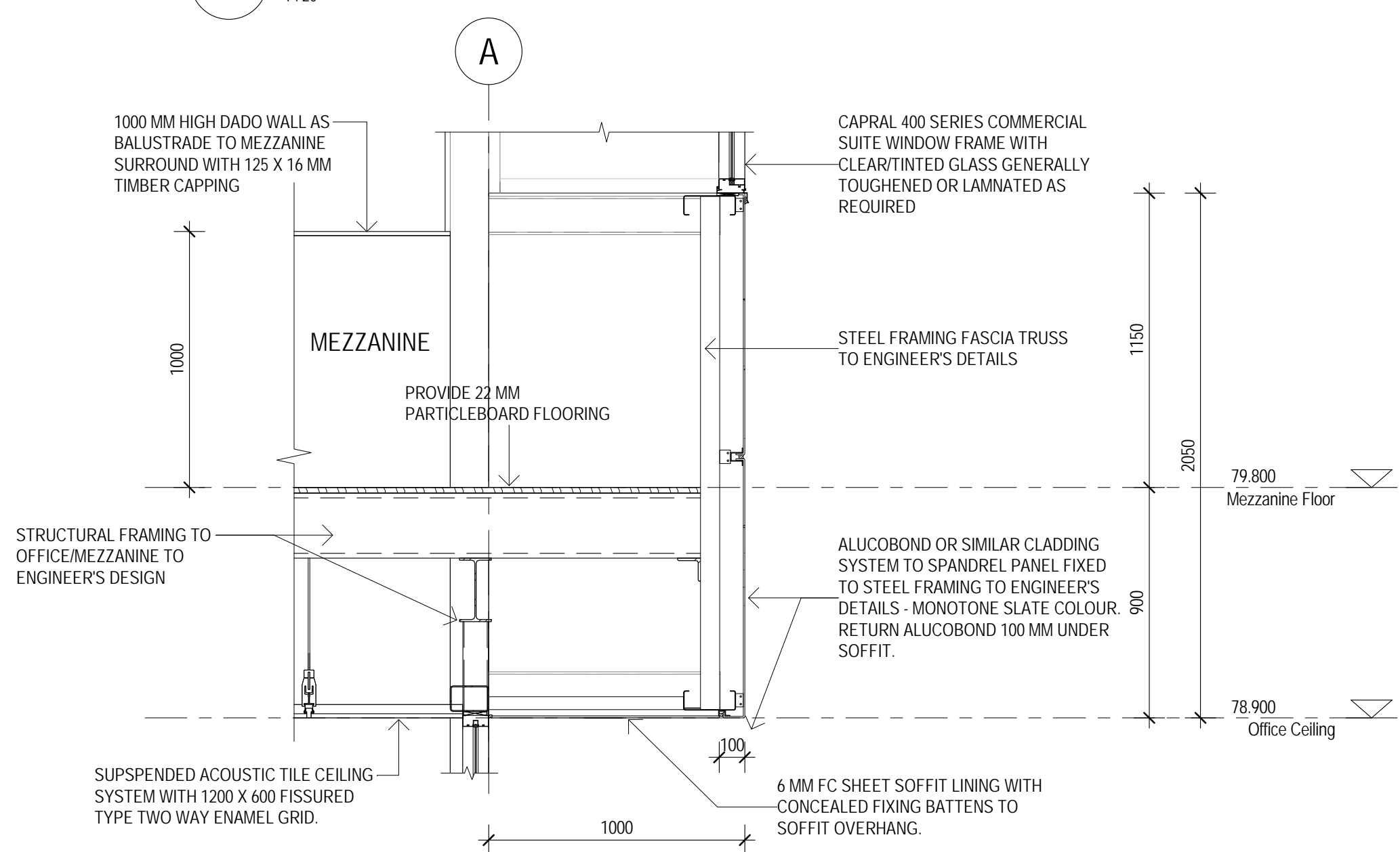
2 CANOPY- FASCIA SECTION
1:50



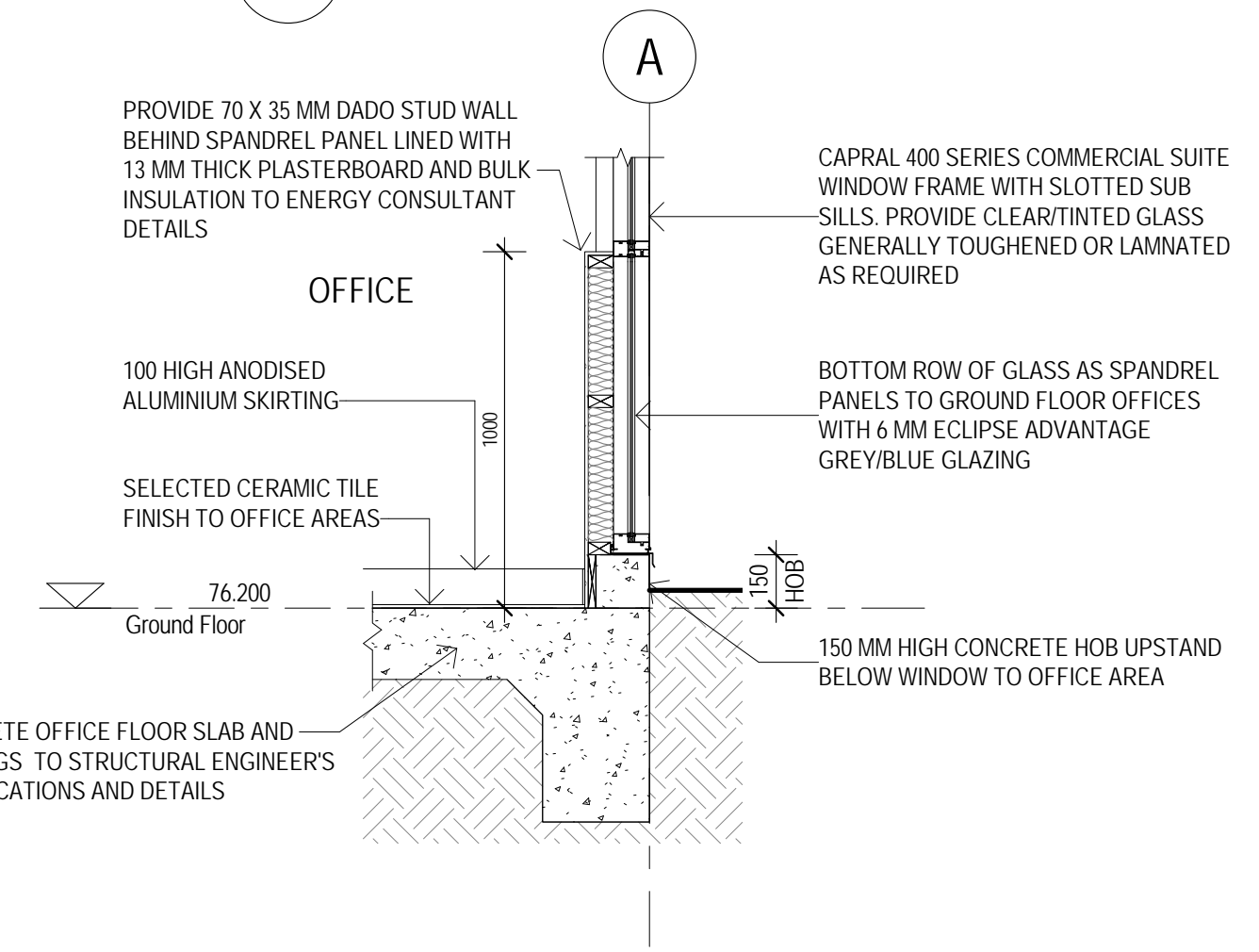
1 OFFICE - MEZZANINE SECTION
1:50



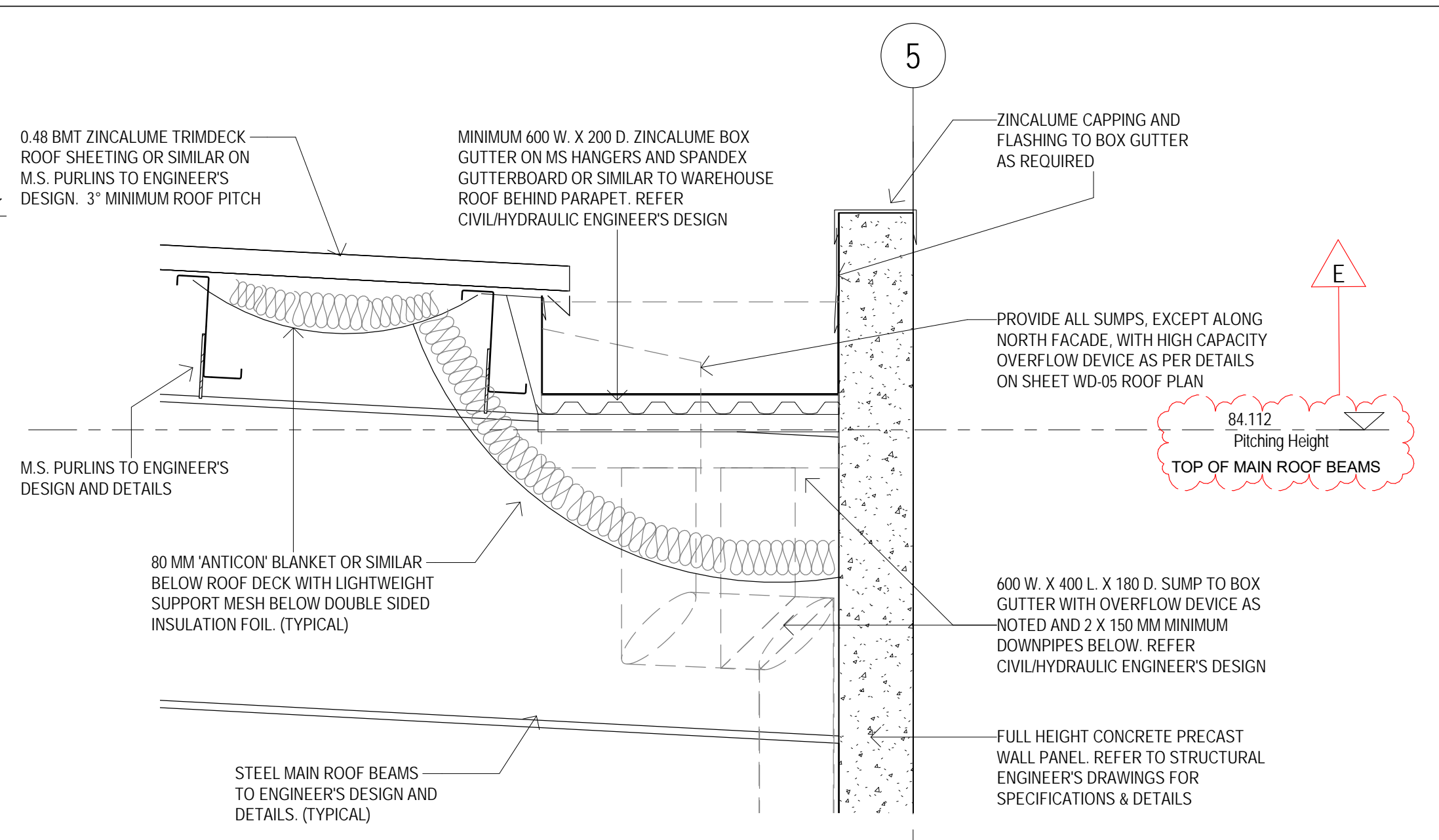
5 OFFICE/MEZZANINE FRONT PARAPET DETAIL
1:20



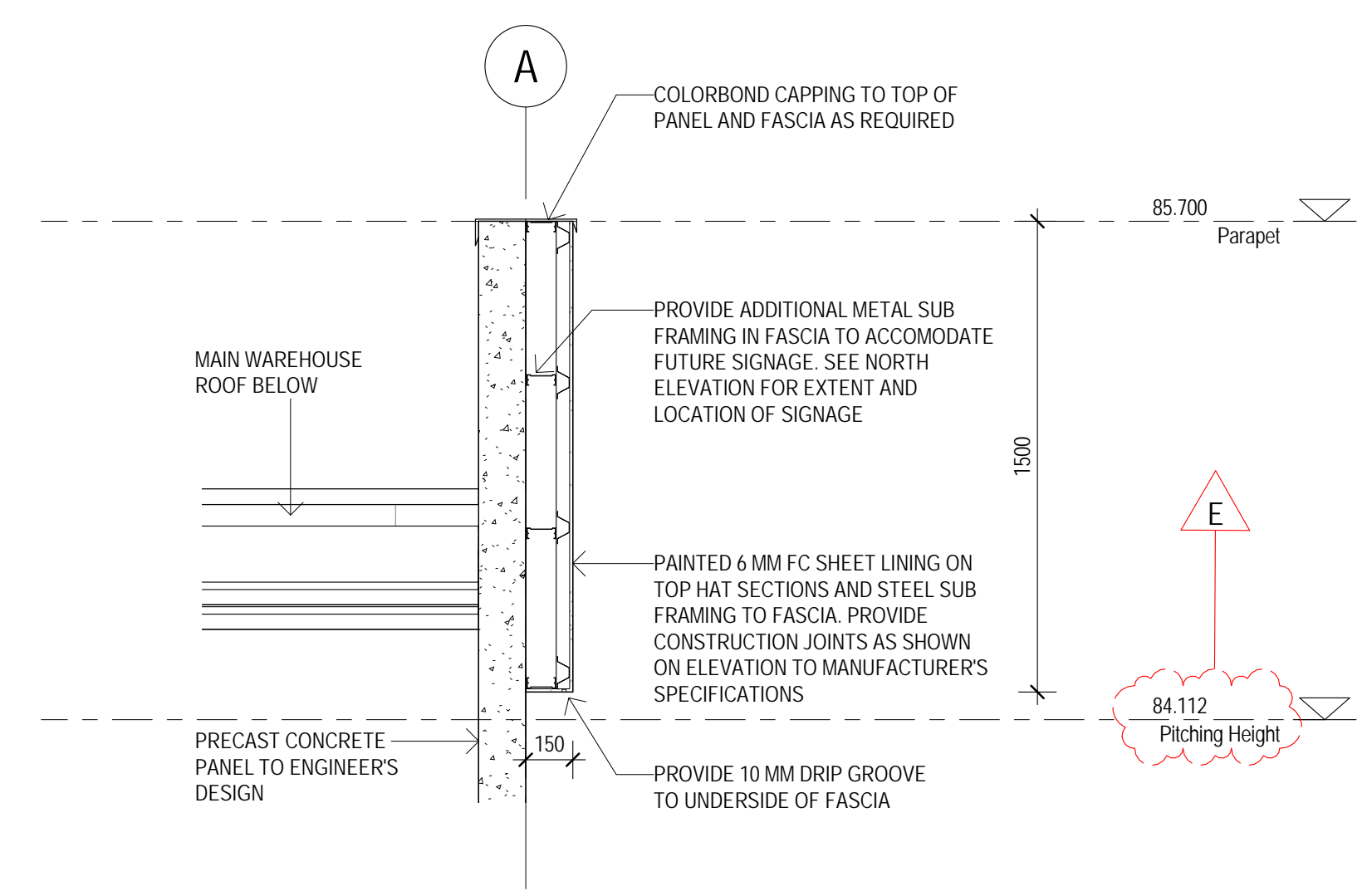
4 OFFICE/MEZZANINE FRONT SPANDREL DETAIL
1:20



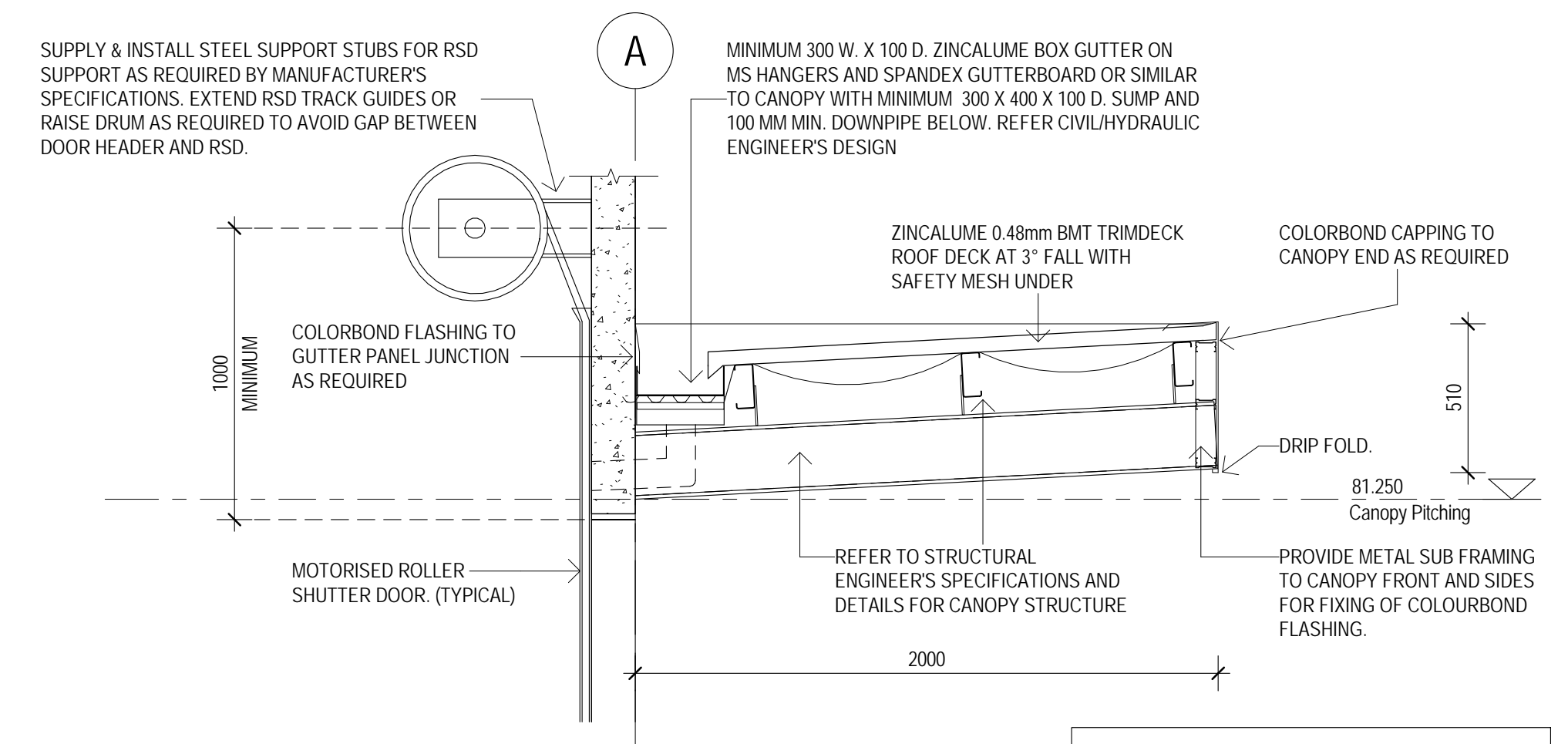
3 OFFICE WINDOW/FOOTING DETAIL
1:20



8 WAREHOUSE BOX GUTTER DETAIL
WD-08 1:10



7 FASCIA SECTION DETAIL
1:20



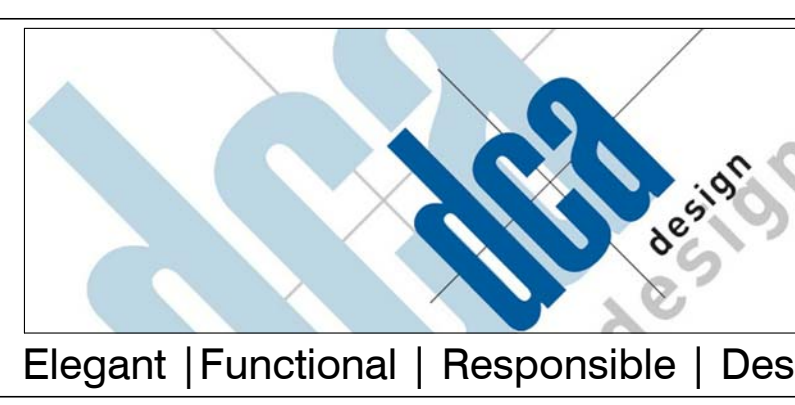
6 CANOPY SECTION DETAIL
1:20

BUILDING PERMIT ISSUE
CONSTRUCTION ISSUE DRAWINGS ONLY IF APPROVED AND STAMPED BY THE RELEVANT BUILDING SURVEYOR OR STATUTORY AUTHORITY.

Issue - BUILDING PERMIT	No.	Revision Description	Drawn	Checked	Date
DCA Design authorize the use of this drawing only for the purpose described by the status stamp shown above. This drawing should be read in conjunction with all relevant contracts, specifications, reports & drawings. DCA Design. ©	A	PRELIM. WORKING DRAWINGS - CONSULTANT ISSUE	PG		15 JUNE 2017
	B	ISSUED FOR APPROVAL	PG		20 JUNE 2017
	C	ENERGY CONSULTANT DETAILS ADDED	PG		22 JUNE 2017
	D	BUILDING PERMIT ISSUE	PG	DC	24 AUG 2017
	E	PANEL WALLS OFFSET 140 MM FROM BOUNDARIES	PG		



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- Offices/Industrial/Retail/Institutional
Environmental Design
Project Planning
Contract Admin
Registered Building Practitioners DP-AD 1040

0 400 800 1600mm
1:20 @ A1

project: PROPOSED WAREHOUSES, OFFICES
address: LOT 54, 20-22 EUCUMBENE DR, RAVENHALL
client: **MATY PTY. LTD. - BMF CONSTRUCTION**
sheet title: **DETAILS**
date: MARCH 2017 job no: 4898Z
drawn: PG checked: DC
scale: As indicated@ A1 paper size
sheet no: **WD-10** rev: E