

**GOOD IS  
EFFICIENT  
DESIGN**

signage

signage

**GREAT IS  
WHAT YOU DO  
FROM HERE**

**REDBANK MOTORWAY ESTATE**  
36 Weedman Street, Redbank, QLD

MAKING  
SPACE  
FOR  
GREATNESS





**We don't believe in good. Or good enough.**

We don't believe in the short-term or taking short-cuts. We don't believe in putting business before people. Or anything before quality. We believe in great. Although we don't believe we're quite there yet. We believe in the importance of location and sustained growth and doing it right the first time. We believe in having integrity, always. We believe that knowledge is everything and perfection is in the details. That it is the little things that add up to make the biggest difference. That's why there's a plus in our logo. It's a reminder to keep going above and beyond for our customers, our partners and our staff. To be the best, we believe, relies on every single one of us working together. To this end, we believe we can be better than good. **We believe we can be great.**

# OVERVIEW

Redbank Motorway Estate is the leading industrial hub in southwest Brisbane, situated adjacent to the Ipswich Motorway.

AREA SCHEDULE	SQM
Warehouse	4,044
Office	419
<b>Total building area</b>	<b>4,423</b>

## Property features

- + Unique opportunity to secure a bespoke 4,423 sqm, stand-alone warehouse and office
- + 1,677 sqm exclusive hardstand with 15m awning
- + Striking office area with contemporary facade.

## Sustainability features

- + Water reticulation for re-use in landscaping and amenities
- + Targeting a 5 Star Green Star rating for design and construction
- + LED lighting throughout
- + 100kW rooftop solar system
- + 4 dedicated EV car parking spaces.



# VIEW FROM ABOVE



# PERSPECTIVE



36 Weedman Street

signage

signage

# IN GOOD COMPANY

Customers who call Redbank Motorway Estate home



Coles has relocated to a 66,000 sqm state-of-the-art automated facility at Redbank Motorway Estate as part of their supply chain modernisation strategy.



The world's largest air express network and fourth largest logistics company, Fedex relocated their 28,000 sqm regional head office and distribution centre to Redbank. Their fully automated warehouse is capable of sorting up to 15,000 parcels per hour.



DB Schenker relocated from Brisbane Airport to their new 47,000 sqm Queensland distribution centre, saving 1 hour on overnight Sydney to Brisbane shuttle. The facility receives over 5,000 containers per annum.

**Officeworks (via DB Schenker)**

Order any one of 17,000 products online stored at Redbank before 11.30am for same day delivery in Brisbane Metro or Gold Coast areas.



L'Oréal has moved into a new 14,533 sqm distribution centre optimised to help meet rising delivery and service expectations for its 30 beauty brands.



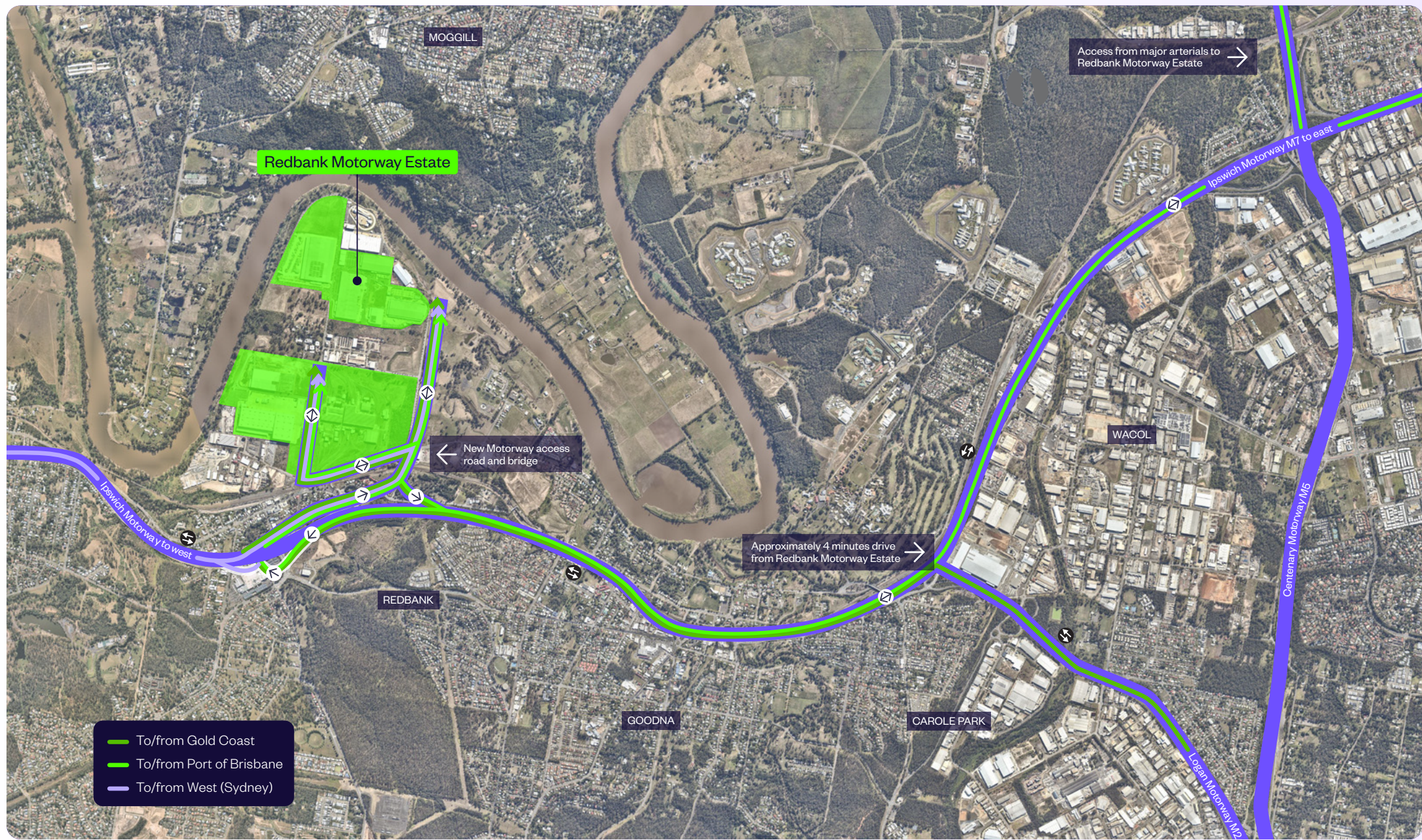
Australia Post moved to Redbank into a new purpose-built 49,000 sqm facility which is their largest parcel and distribution centre in Australia. Significant expenditure on the latest automation and robotics allows Australia Post to sort up to 35,000 parcels per hour, delivering more efficiently and faster to consumers.



The Bapcor Distribution Centre is a 44,000 sqm purpose-built, sustainable space at Redbank Motorway Estate that consolidates the Autobarn, Autopro, Truckline, Midas and Burson Auto Parts businesses.



# ACCESS



# LOCATION



Artist's impression

**1KM**  
to Ipswich  
Motorway

**1.5KM**  
to Redbank  
train station

**2KM**  
to Redbank  
Plaza

**28KM**  
to Brisbane  
CBD

Redbank Motorway Estate is ideally located in the thriving South East location of Ipswich, benefiting from excellent road, rail and public transport connectivity.



As an A-double and B-double approved estate, businesses relocating to Redbank Motorway Estate can enjoy a range of additional cost savings that A-double access can bring to your bottom line.

A-double vehicles permit the transportation of 2 x 40 foot containers on one truck, allowing you to move larger loads using fewer trucks.

With A-doubles you can save on fuel, drivers, insurance, reduce carbon footprint and maintenance costs.

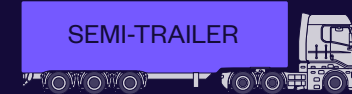
#### REDBANK MOTORWAY ESTATE

A-DOUBLE



#### MAJORITY OF ESTATES

SEMI-TRAILER



#### SOME ESTATES

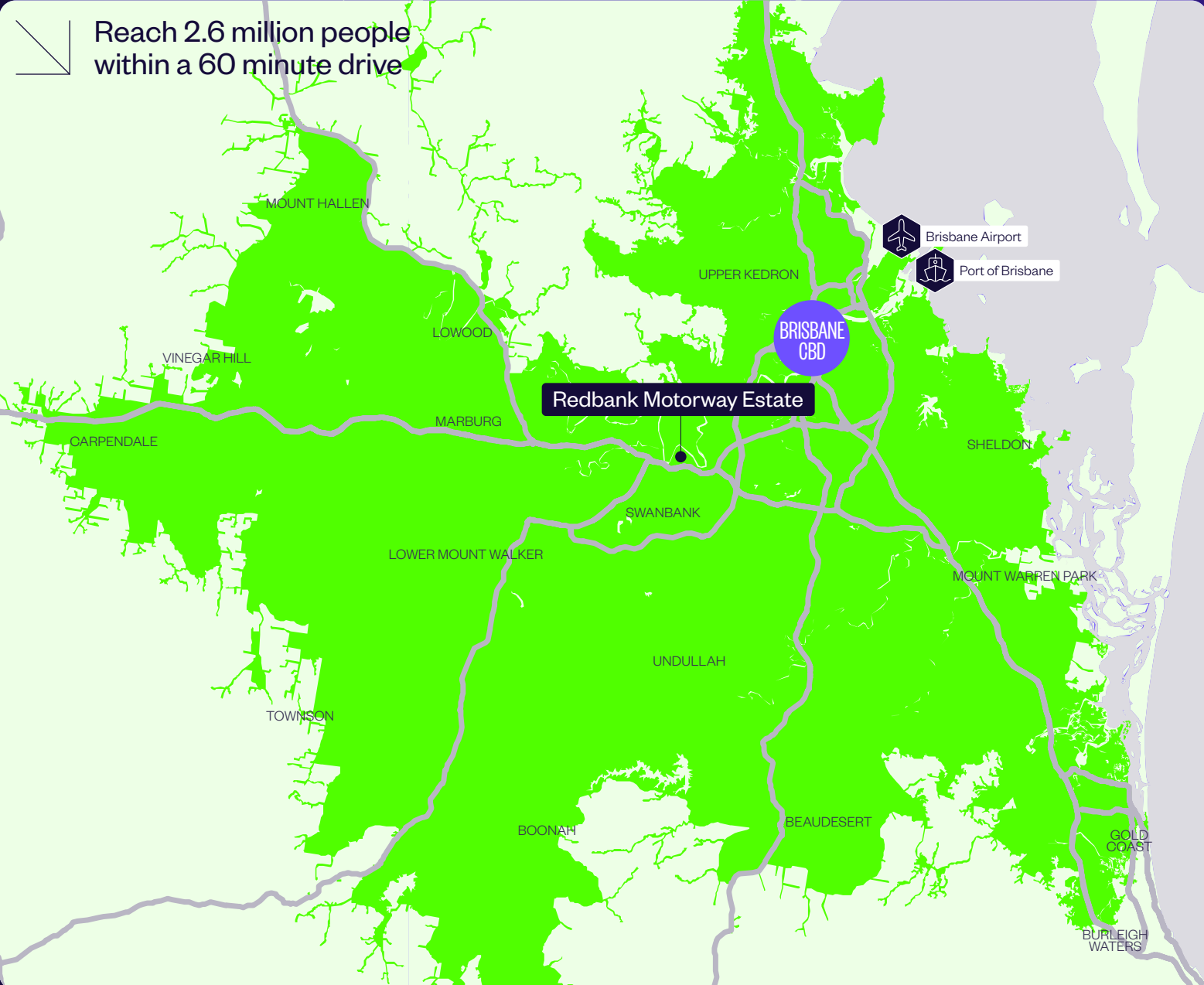
B-DOUBLE



# ACCESS ADVANTAGE

# SPEED TO MARKET

WITHIN 60 MINUTE  
DRIVE-TIME



### KEY AREA STATISTICS

 **2.6M**  
Total population

 **909,947**  
Total households

 **\$144.9BN**  
Total purchasing power

### TOTAL SPEND ON

 **\$4.4BN**  
Clothing

 **\$14.3BN**  
Food + beverage

 **\$3.5BN**  
Personal care

 **\$702.3M**  
Online shopping

# AMENITY AND SERVICES

Click on interactive links for more information on nearby services



↘  
[On-site café](#)



↘  
[Redbank Plaza](#)



↘  
[Town square Redbank Plains](#)



↘  
[Montessori Pathways](#)

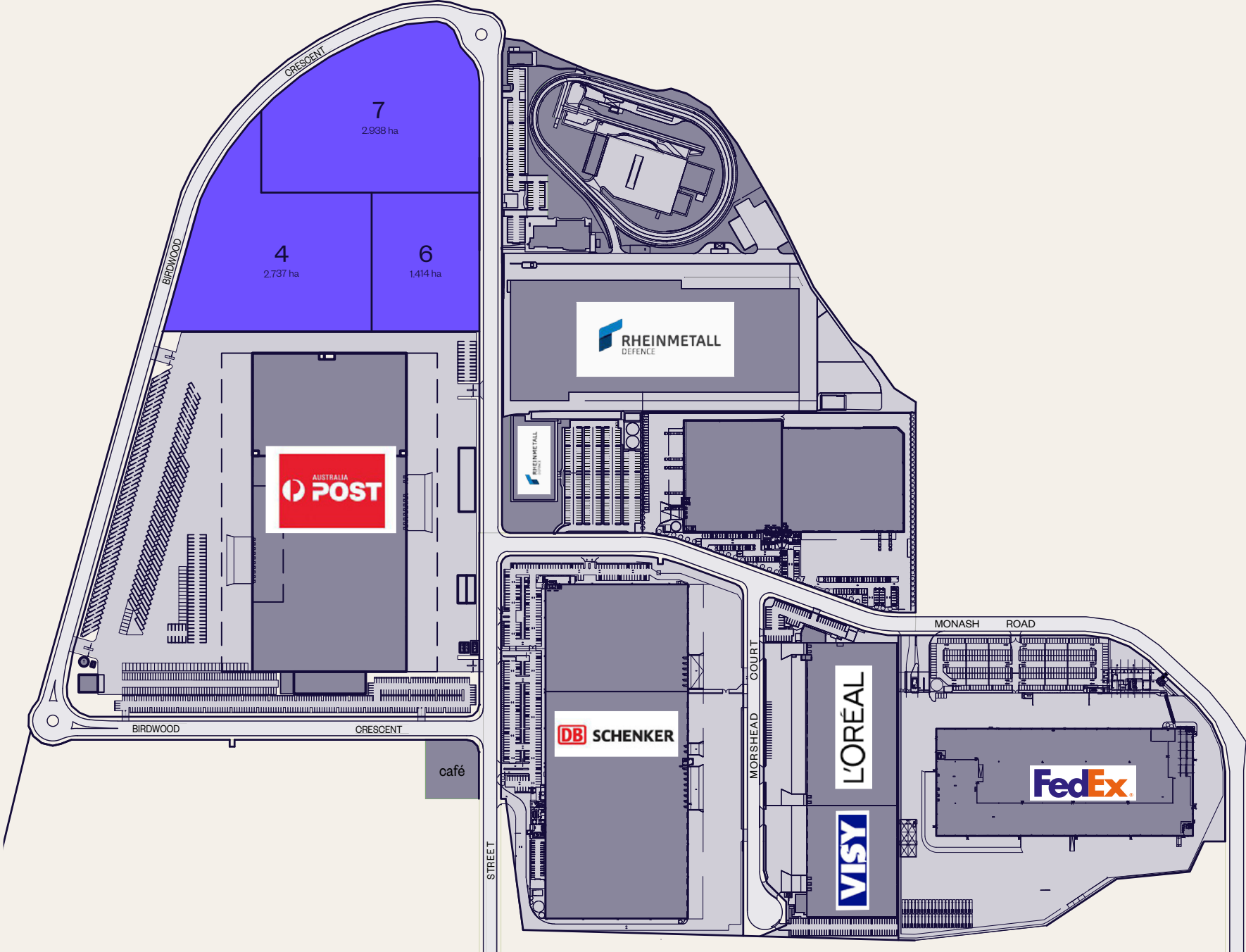


↘  
[Anytime Fitness](#)



↘  
[Orion Springfield Central](#)

# MASTERPLAN NORTH SECTION



■ PRE-LEASE

# MASTERPLAN SOUTH SECTION



■ FOR LEASE - 36 WEEDMAN STREET  
■ PRE-LEASE

# WAREHOUSE PLAN

36 Weedman Street,  
Redbank Motorway Estate

AREA SCHEDULE	SQM
Warehouse	4,004
Office & amenities	419
<b>Total GLA</b>	<b>4,423</b>
Car parking	54 spaces

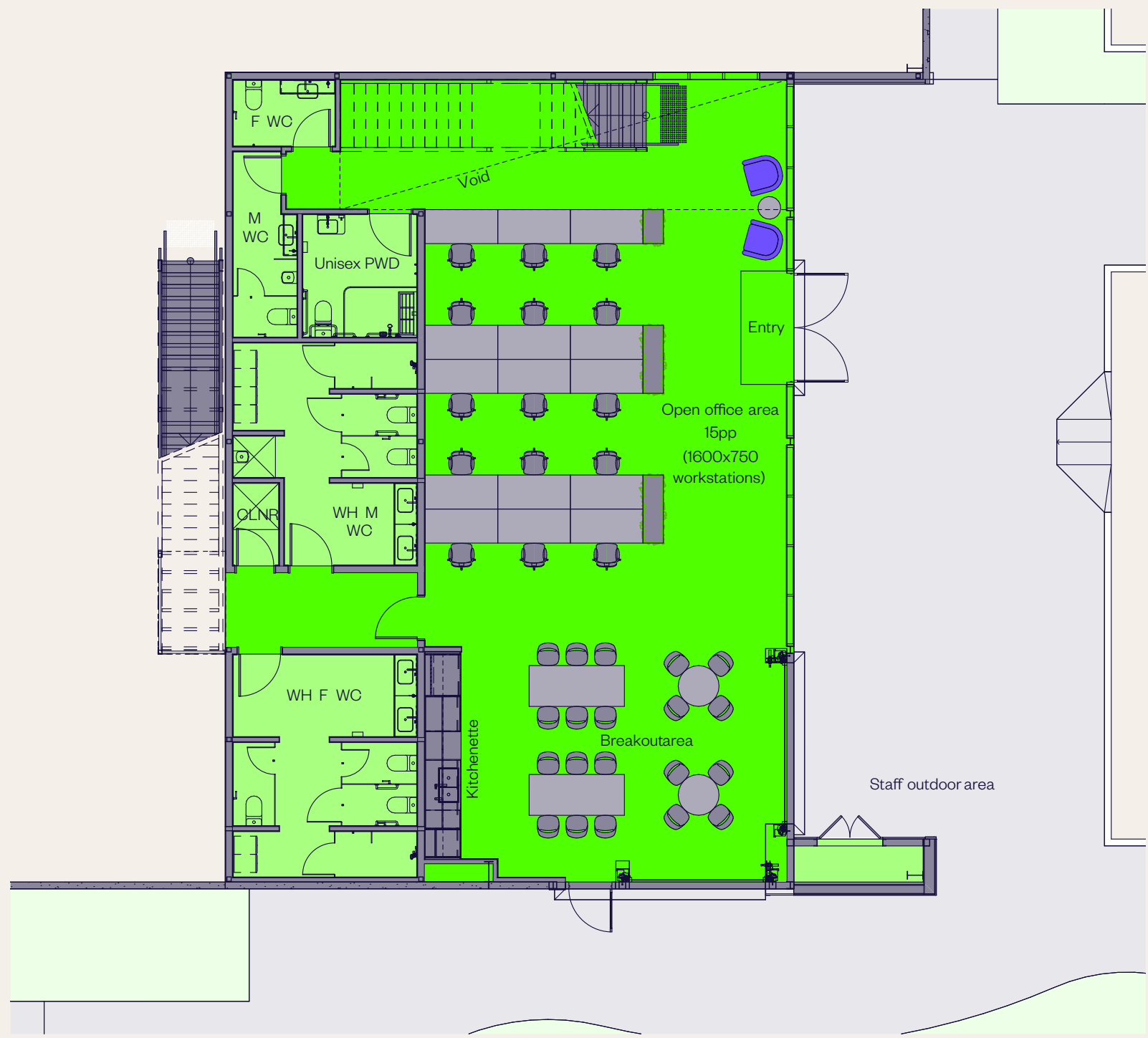


# INDICATIVE HIGH DENSITY FITOUT PLAN GROUND FLOOR

36 Weedman Street,  
Redbank Motorway Estate

## AREA SCHEDULE

Workstations	15
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# INDICATIVE LOW DENSITY FITOUT PLAN GROUND FLOOR

36 Weedman Street,  
Redbank Motorway Estate

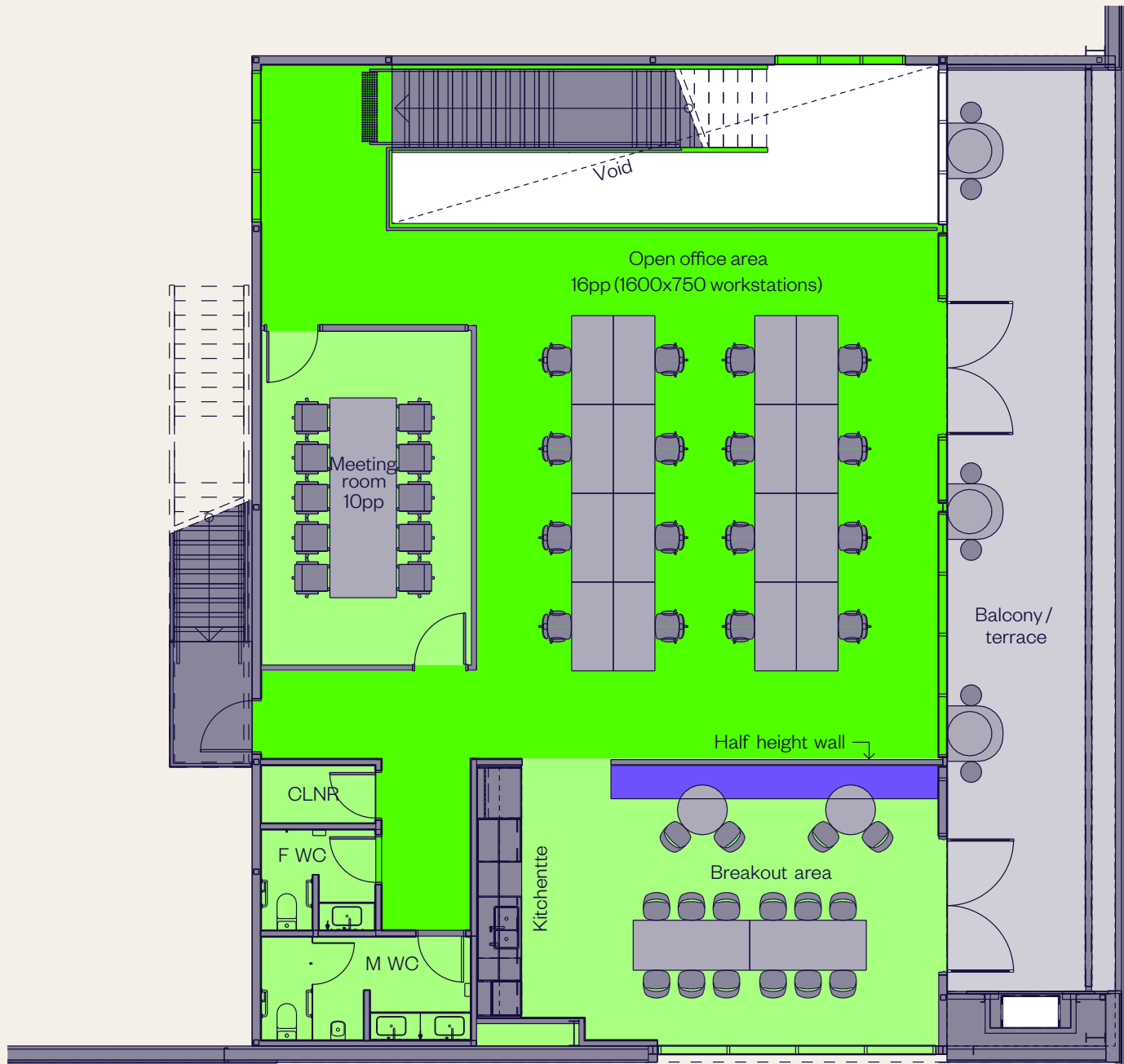
AREA SCHEDULE	SQM
Workstations	6



# INDICATIVE HIGH DENSITY FITOUT PLAN FIRST FLOOR

36 Weedman Street,  
Redbank Motorway Estate

AREA SCHEDULE	SQM
Workstations	16



# INDICATIVE LOW DENSITY FITOUT PLAN FIRST FLOOR

36 Weedman Street,  
Redbank Motorway Estate

AREA SCHEDULE	SQM
Workstations	14



# REDBANK MOTORWAY ESTATE PROVEN TRACK RECORD

## AUSTRALIA POST

- + Largest parcel facility and delivery centre for Australia Post in Australia, capable of sorting 700,000 parcels per day
- + Build time: 11 months.

[VIEW ARTICLE →](#)



# 49,260 SQM

REDBANK MOTORWAY ESTATE  
PROVEN TRACK RECORD



## COLES

- + Air-conditioned warehouse up to 36m high to accommodate Coles's 30m high Automated Storage and Retrieval System
- + Dedicated dangerous goods storage
- + 8MVA dedicated power supply with dual feeds
- + 3.5MW rooftop solar PV system
- + 180,000 litres of rainwater collection with UV filtration system for amenity and irrigation
- + Dual fire rated communications rooms with gas fire suppression system.

[VIEW CASE STUDY →](#)

66,067 SQM

## BAPCOR

- + 1.8MW solar array system
- + 14.6m ridge height
- + 26m wide awning.

[VIEW CASE STUDY →](#)

71,070 SQM



**REDBANK MOTORWAY ESTATE  
PROVEN TRACK RECORD**



## CHEP

- + 7,667 sqm
- + 450kw solar array
- + 4 EV charging points
- + 26,147 sqm hardstand capable to store 150,000 pallets
- + Targeting carbon neutral certification
- + Fully automated pallet repair centre.



## DB SCHENKER

- + 46,005 sqm
- + Tapa security standard compliant facility
- + Back up power generator
- + Flexible inter-tenancy wall to provide for future growth.



## FEDEX

- + 26,422 sqm
- + Fully automated sortation system integrated with base building
- + Maintenance, truck wash and refuelling facilities on-site
- + Customer collections facility
- + Permanent back up generator.

**REDBANK MOTORWAY ESTATE  
PROVEN TRACK RECORD**



# LAWRENCE AND HANSON

- + 300kw solar array
- + 8 EV charging points
- + Targeting carbon neutral certification.



# QUANTUM SYSTEMS

- + 50kw solar array
- + Exposed ground floor ceilings and feature lighting
- + 4 EV charging points
- + Targeting carbon neutral certification.



# L'ORÉAL

- + 14,533 sqm
- + Dedicated 365kw solar array system
- + Targeting a 4 Star Green Star Equivalent rating
- + Dangerous Goods Storage.

# GOODMAN GLOBAL OVERVIEW

We invest in business parks, office parks, industrial estates, warehouses and distribution centres, residential and data centres. We offer a range of listed and unlisted property funds, giving investors access to our specialist services and property.

As at 31 December 2025

\$87.4BN

Total portfolio

27.8M

Sqm of business space  
(approx.)

1,700+

Customer base  
(approx.)

445

Number of properties

15

Total number of countries  
operating in



1,000

Dedicated property  
professionals  
(approx.)



26

Offices worldwide

# Goodman Foundation



## Doing good in the world

[CLICK TO LEARN MORE →](#)

### Areas of focus

+ The Goodman Foundation is committed to making a sustained and tangible difference. We partner with organisations that support people with the knowledge, tools and resources they need to navigate and overcome adversity. Together we're cultivating resilient and vibrant communities through four key areas of focus:

#### FOCUS 01

### Meeting essential needs



+ We provide support for community organisations who are enabling food and housing security, including the supply of household goods and clothing to those in need.

#### FOCUS 02

### Promoting social and mental wellbeing



+ We focus on initiatives that improve psychosocial wellbeing and create space for people to flourish. Our support includes providing mental health services, social support systems, safe spaces, and activities that draw local communities together. Importantly we prioritise the prevention of violence against women and mental health challenges for young people.

#### FOCUS 03

### Enabling education and employment



+ We work with organisations that offer education and employment pathways that lead to self-sufficiency and resilience. Finishing high school is the first step to becoming more employable. It can also lead to further training in a career where a person can develop and grow.

#### FOCUS 04

### Providing disaster relief



+ We support communities to prepare for disasters and then to respond and initiate recovery as soon as they happen. We work with partners equipped to deliver immediate response and sustained disaster and humanitarian relief.

# ABOUT GOODMAN



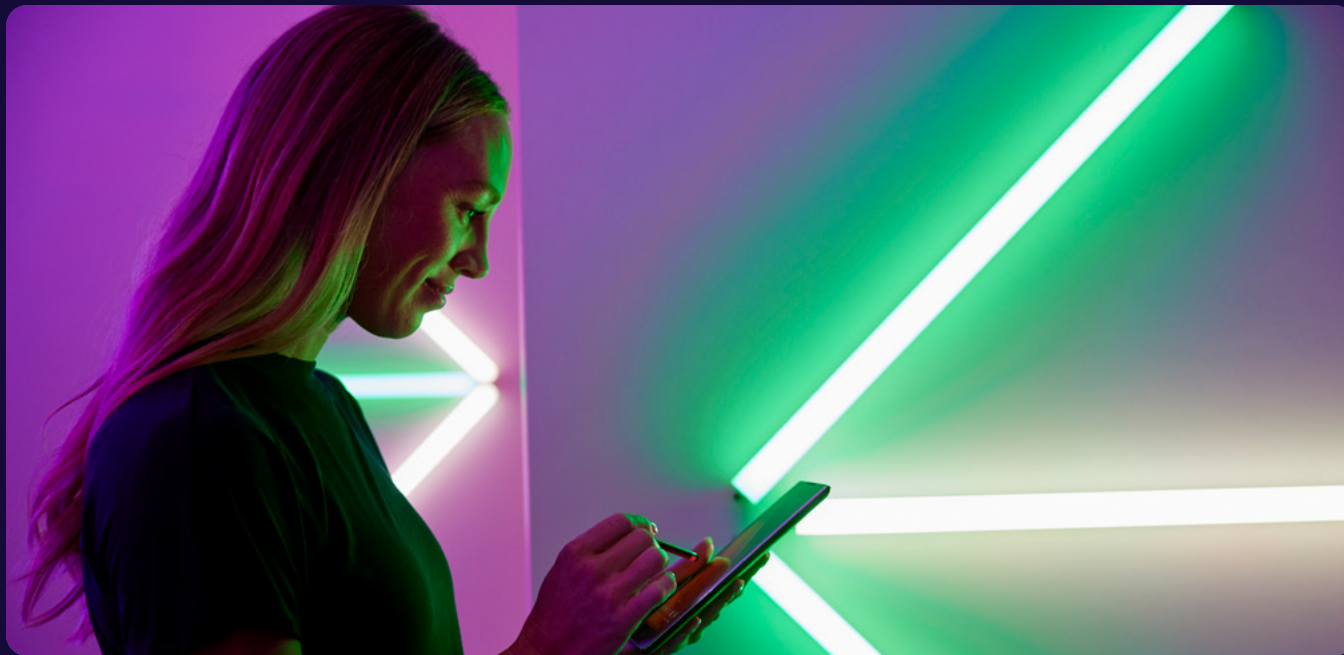
**Our sustainability strategy**  
See how we're working to create a more sustainable future



**First Nations Engagement**  
Read about our Reconciliation Action Plan



**Goodman Foundation**  
This is how we do good in the world



We own, develop and manage high-quality, sustainable properties globally that are close to consumers and provide essential infrastructure for the digital economy.

In Australia, Goodman is the largest industrial property developer. From concept to delivery, we work side-by-side with our customers to design and develop facilities that meet specific needs and expectations.

LEARN MORE



# CONTACT US



Daniel Brekan  
General Manager, Queensland Development

T. 07 3040 3302  
M.0414 787 072  
[daniel.brekan@goodman.com](mailto:daniel.brekan@goodman.com)

James Lynch  
Development Manager

T. 07 3040 3304  
M.0423 532 755  
[james.lynch@goodman.com](mailto:james.lynch@goodman.com)

Grace Ruffle  
Project Manager

T. 07 3999 8930  
M.0422 099 919  
[grace.ruffle@goodman.com](mailto:grace.ruffle@goodman.com)

**Goodman**  
Brisbane Gate Industrial Park  
Unit 7  
370 Nudgee Road  
Hendra QLD 4011  
T. 07 3040 3300

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[goodman.com/au](https://www.goodman.com/au)

