

BATHURST
REGIONAL COUNCIL

Development Application
2018/487

Development Approval
has been granted
subject to conditions
imposed by Council's
Notices of
Determination.

NOTE:
Read conditions of
Approval before
commencing work.

4 March 2019
Per: JM

drawing register

drawing No.	drawing name	revision
0000	cover page	A
0001	site analysis	A
0100	site/roof plan	A
0101	subdivision plan	A
0102	landscape & erosion sediment control plan	A
1100	ground floor plan	A
1101	mezzanine floor plan	A
2000	elevations	A
3000	sections	A
9900	notification plan	A

finishes schedule

location	material / finish	sample
roof	metal roof sheeting colorbond shale grey or similar	<div></div>
walls	tilt up concrete panels	<div></div>
walls	timber look cladding	<div></div>
window frames	clear anodised aluminium frame or similar	<div></div>
gutters & downpipes	colorbond shale grey or similar	<div></div>

3D imagery

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penrith | 02 4732 4430
sydney | 02 9764 6100

general notes

1. figured dimensions take precedence over scaled drawings

2. contractors to check and verify all levels datum and dimensions on site

3. all materials and workmanship to be in accordance with current written manufacturers instructions local regulations and SAA codes

4. conflicting information to be brought to notice of the architect and clarification sought before proceeding with any works

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title

new commercial development

8 Stockland Pty Ltd |

8 stockland drive KELSO

lot no | 4

dp no | 1034958

site area | 6457sqm

cover page

project ref: TAI18064

drawn: sf | kk

checked: 1:1, 1:200, IDG

scale: 1:1000 @ a3

DA
0000

issue

A



BATHURST REGIONAL COUNCIL
Development Application
2018/487

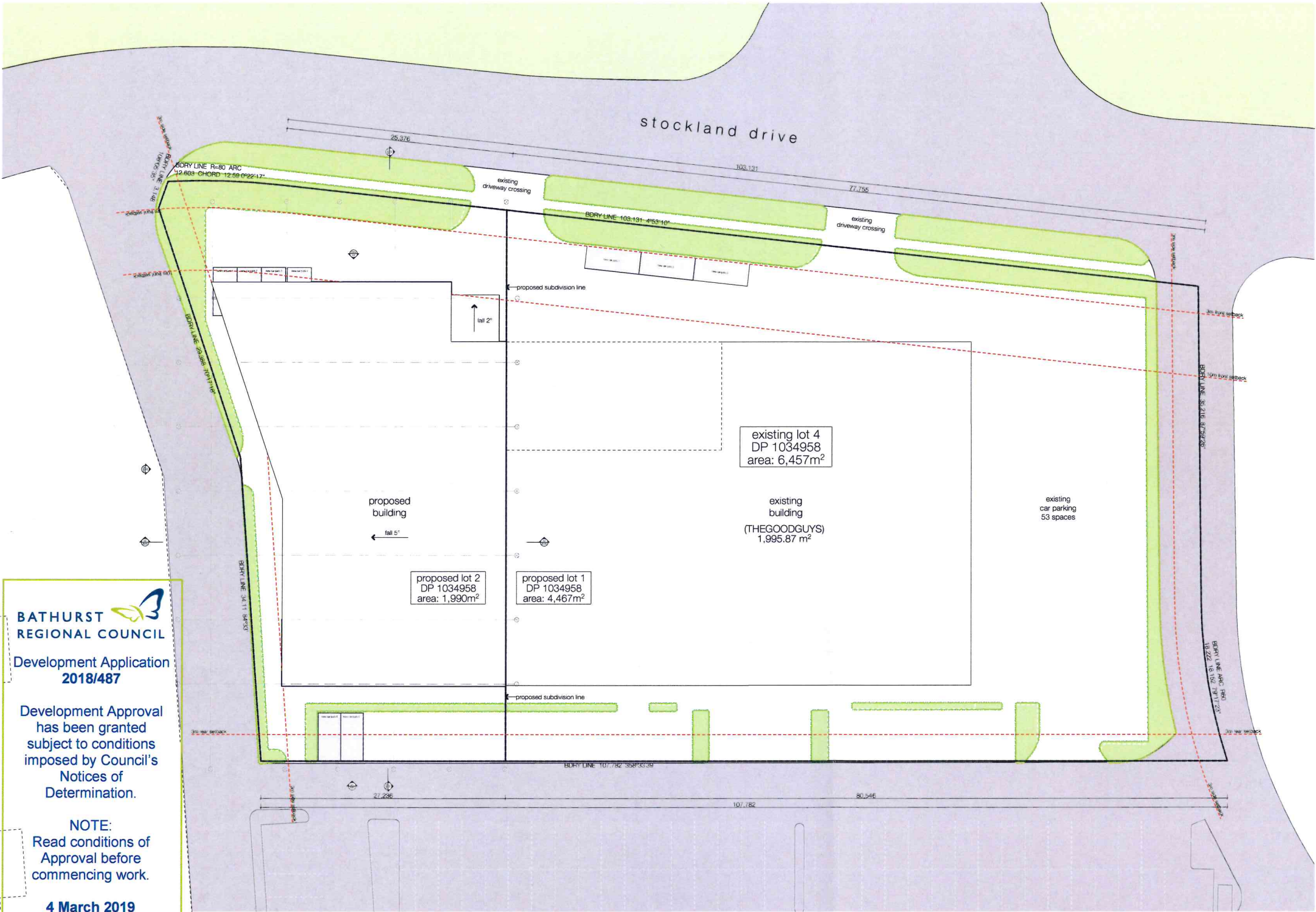
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architect	general notes	finishes	fixtures	date	issue	amendment	title
<div><div><div>integrated DESIGN group</div><div>architects bathurst penrith sydney</div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div></div><div></div><div></div></div><div><div></div><div></div><div></div></div></div><div><div>Member of Australian Institute of Architects</div></div></div><div><div>copyright integratedDESIGNgroup p/l abn 84 115 006 329</div><div><div>nominated architects tony mcburney reg#5273 simon thorne reg#7093</div><div><div>bathurst 02 6332 6206 penrith 02 4732 4430 sydney 02 9764 6100</div><div><div>info@idgarchitects.com.au www.idgarchitects.com.au</div></div></div></div></div></div></div></div>	<div><div>1. figured dimensions take precedence over scaled drawings</div><div>2. contractors to check and verify all levels datum and dimensions on site</div><div>3. all materials and workmanship to be in accordance with current written manufacturers instructions local regulations and SAA codes</div><div>4. conflicting information to be brought to notice of the architect and clarification sought before proceeding with any works</div><div>5. all drawings are not for construction and are subject to further design development, consultant input, council and legislative requirements.</div></div>	<div><div>BDRY boundary brick on edge</div><div>BOE bagged paint brickwork</div><div>BPB corrugated steel roof</div><div>CCR colorbond fascia</div><div>CF comp. fibre cement</div><div>CFC concrete</div><div>CONC control joint</div><div>CJ ceramic tile</div><div>CT carpet</div><div>CPT concrete roof tile</div><div>CQG colorbond quad gutter</div><div>DP downpipe</div><div>DP&S downpipe & spreader</div><div>EGL existing ground line</div><div>EMB electrical meterboard</div><div>FB face brick</div><div>FC fibre cement</div><div>FFL finished floor level</div><div>F fixed glass</div><div>FGL finished ground line</div><div>GM gas meter</div><div>HWS hot water service</div><div>PB plasterboard</div><div>PCR painted cement render</div><div>PFB painted face brick</div><div>PFC painted fibre cement</div><div>PWB painted weatherboard</div><div>SC soldier course</div><div>TFB timber floor boards</div><div>TRC terracotta roof tiles</div><div>WM water meter</div></div>	<div><div>b basin</div><div>b/head bulkhead</div><div>cs cavity sliding door</div><div>dry dryer</div><div>dw dishwasher</div><div>exh exhaust fan</div><div>fr freezer</div><div>fw floor waste</div><div>hc hollow core door</div><div>hr handrail</div><div>lb letterbox</div><div>m mirror</div><div>mw microwave</div><div>o/h overhead</div><div>p pantry</div><div>ref refrigerator</div><div>rh rangehood</div><div>sc solid core door</div><div>sh soap holder</div><div>ss stainless steel sink</div><div>st stove</div><div>shwr shower</div><div>t tub</div><div>tr towel rail</div><div>trh toilet roll holder</div><div>typ. typical</div><div>wc water closet</div><div>wm washing machine</div><div>v vinyl</div><div>vp vent pipe</div><div>uo under bench oven</div><div>wo wall oven</div></div>	<div><div>19/12/2018</div><div>issue</div><div>A</div><div>Issue for development application</div></div>	<div><div>site analysis</div><div>new commercial development</div><div>8 Stockland Pty Ltd 8 stockland drive KELSO</div><div>project ref: TAI18064</div><div>drawn: sf kk</div><div>checked: IDG</div><div>scale: 1:1000 @ a3</div></div>		




site info	
lot:	4
DP:	1034958
site area:	6,457m ²
zone:	B5 - business development

setbacks		
	required	proposed
front:	10m	10m
side:	3m	3m
rear:	3m	8m

existing building	
existing building footprint:	1,996m ²
retail industrial area:	1,705m ²
warehouse area:	291m ²
car parks required:	35

proposed building	
existing building footprint:	1,130m ²
retail industrial area:	1,230m ²
warehouse area:	100m ²
car parks required:	26

car parking	
	required
existing building:	35
proposed building:	26
total:	61 car parks
existing car parks:	53
proposed car parks:	9
total:	62 car parks



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finishes

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BOE	brick on edge	FC	fibre cement
BPB	bagged paint brickwork	FFL	finished floor level
OCR	corrugated steel roof	F	fixed glass
CF	comp. fibre cement	FGL	finished ground line
CFC	concrete	GM	gas meter
CONC	control joint	HWS	hot water service
CJ	ceramic tile	PB	plasterboard
CT	carpet	PCR	painted cement render
CPT	concrete roof tile	PFB	painted face brick
CQG	colorbond quad gutter	PFC	painted fibre cement
DP	downpipe & spreader	PWB	painted weatherboard
DRS	existing ground line	SC	solder course
EGL	electrical meterboard	TFB	timber floor boards
EMB		TRC	terracotta roof tiles
		WM	water meter

fixtures

b	basin	rh	rangehood
b/head	bulkhead	sc	solid core door
cs	cavity sliding door	sh	soap holder
dry	dryer	ss	stainless steel sink
dish	dishwasher	st	stove
exh	exhaust fan	shwr	shower
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hr	handrail	typ.	typical
lb	letterbox	wc	water closet
m	mirror	wm	washing machine
mw	microwave	v	vent pipe
o/h	overhead	vp	vent pipe
p	pantry	uo	under bench oven
ref	refrigerator	wo	wall oven

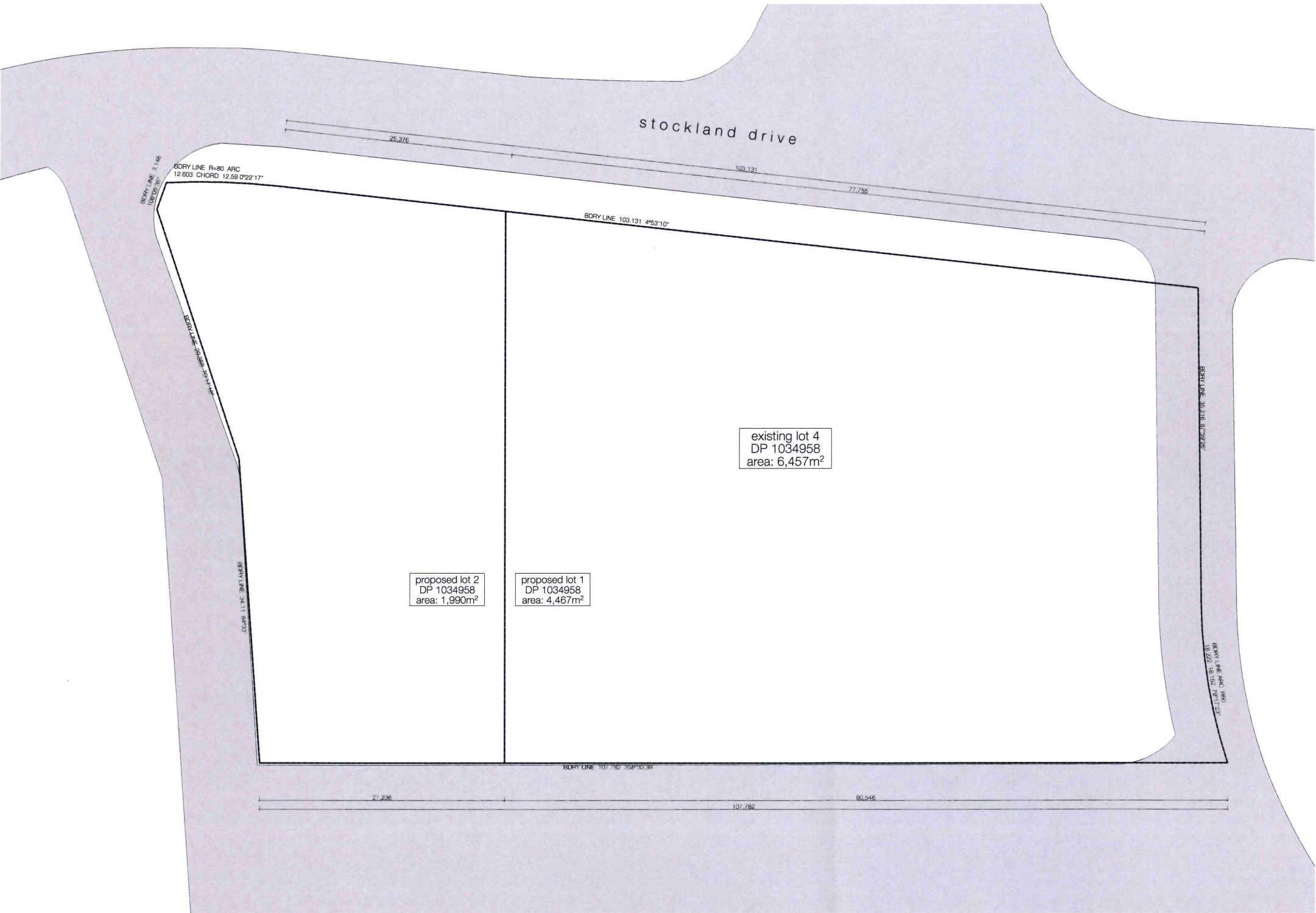
date	issue	amendment	title
19/12/2018	A	Issue for development application	site/roof plan

new commercial development
8 Stockland Pty Ltd | 8 stockland drive KELSO

project ref: TAI18064
drawn: sf | kk
checked: IDG
scale: 1:500 @ a3



issue
A



existing

lot: 4
DP: 1034958
site area: 6,457m²

proposed

lot: 1
DP: 1034958
site area: 4,467m²

lot: 2
DP: 1034958
site area: 1,990m²



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DP&S	downpipe & spreader	TRB	timber floor boards
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EMB	electrical meterboard	WM	water meter

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fr	freezer	t	tub
fw	floor waste	tr	towel rail
hc	hollow core door	trh	toilet roll holder
hr	handrail	typ.	typical
lb	letterbox	wc	water closet
m	mirror	wm	washing machine
mw	microwave	v	vinyl
o/h	overhead	vp	vent pipe
p	pantry	uo	under bench oven
ref	refrigerator	wo	wall oven


date issue amendment

19/12/2018	A	Issue for development application

title

subdivision plan
new commercial development
8 Stockland Pty Ltd | 8 stockland drive KELSO
project ref: TAI18064
drawn: sf | kk
checked: IDG
scale: 1:500 @ a3





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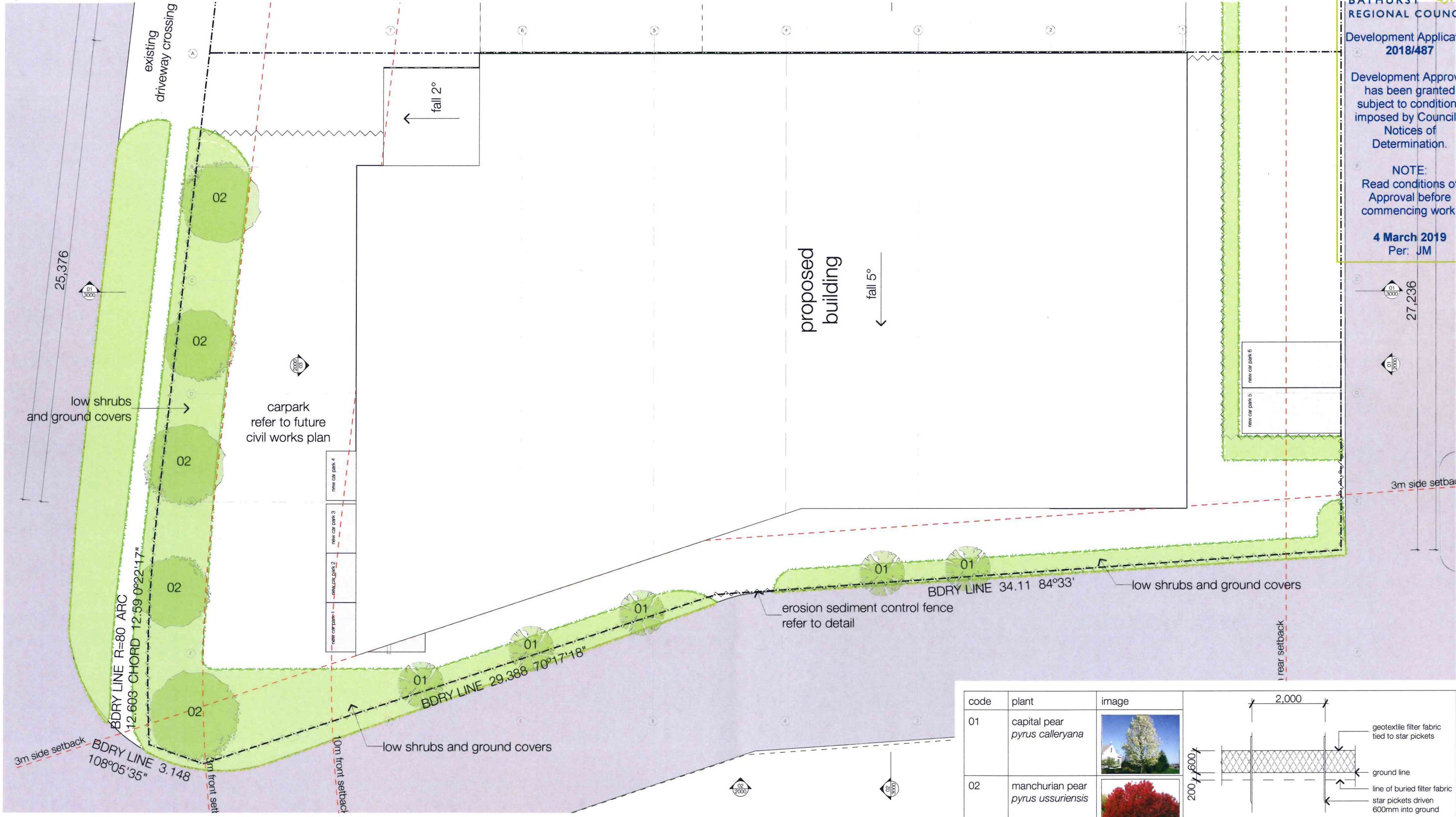
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finishes

BDRY boundary

BOE brick on edge

BPB bagged paint brickwork

OCR corrugated steel roof

CF colorbond fascia

CFC comp. fibre cement

CONC concrete

CJ control joint

CT ceramic tile

CPT carpet

CRT concrete roof tile

CQG colorbond quad gutter

DP downpipe

DR&S downpipe & spreader

EGL existing ground line

EMB electrical meterboard

FB face brick

FC fibre cement

FFL finished floor level

FGL fixed glass

GM finished ground line

GM gas meter

HWS hot water service

PB plasterboard

PCR painted cement render

PFB painted face brick

PFC painted fibre cement

PWB painted weatherboard

SC soldier course

TFB timber floor boards

TRC terracotta roof tiles

WM water meter

fixtures

b basin

b/head bulkhead

cs cavity sliding door

dry dryer

dw dishwasher

exh exhaust fan

fr freezer

fw floor waste

hc hollow core door

hr handrail

lb letterbox

m mirror

mw microwave

o/h overhead

p pantry

ref refrigerator

rh rangehood

sc solid core door

sh soap holder

ss stainless steel sink

st stove

shwr shower

t tub

tr towel rail

trh toilet roll holder

typ. typical

wc water closet

wm washing machine

v vinyl

vp vent pipe

uo under bench oven

wo wall oven

date

19/12/2018

issue

A

amendment

Issue for development application

title

landscape & erosion sediment control plan

new commercial development

8 Stockland Pty Ltd | 8 stockland drive KELSO

project ref:

TAI18064

drawn:

sf | kk

checked:

IDG

scale:

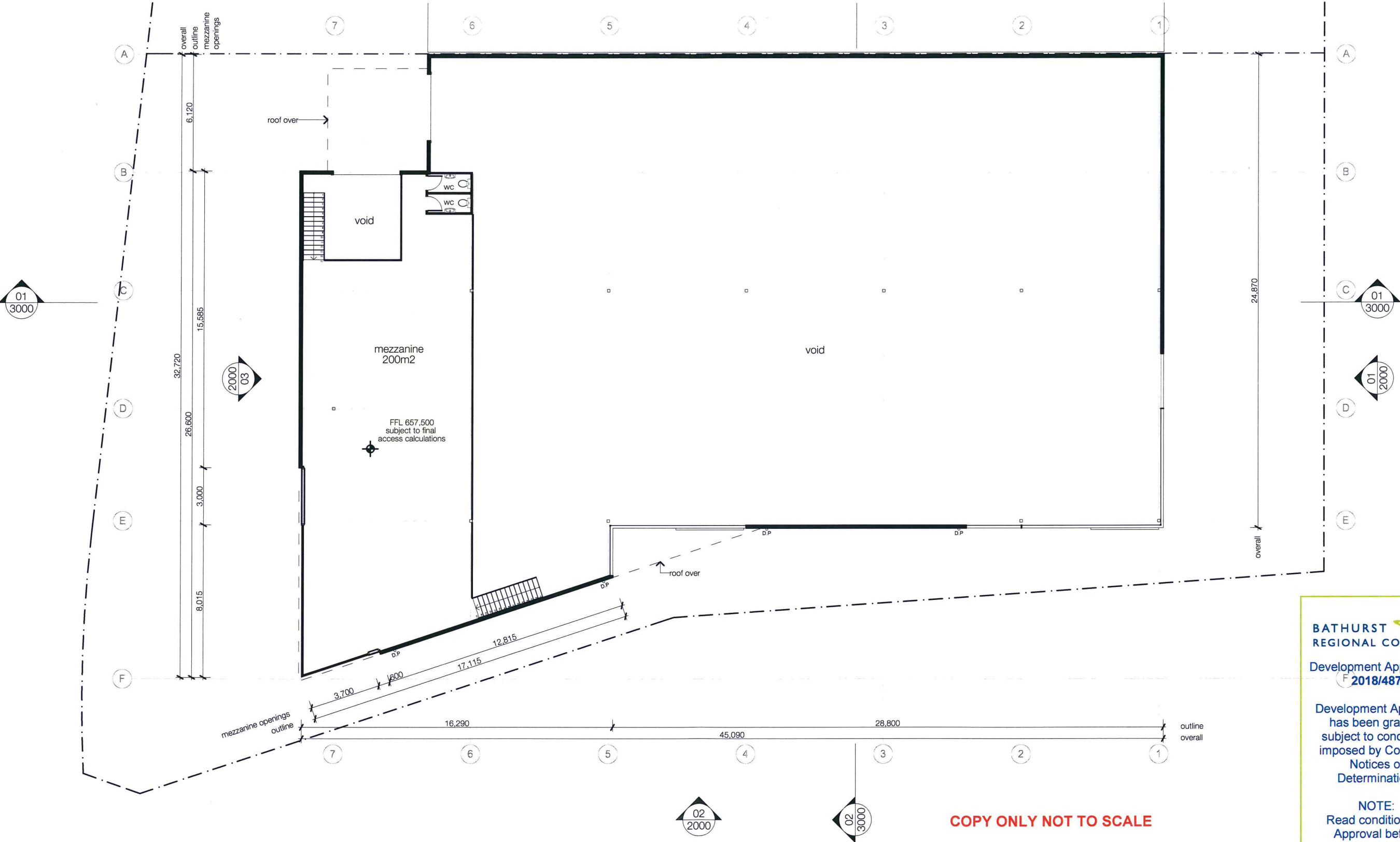
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DA

0102

issue

A



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- finishes
- | | | | |
|------|------------------------|-----|-----------------------|
| BDRY | boundary | FB | face brick |
| BOE | brick on edge | FC | fibre cement |
| BPB | bagged paint brickwork | FFL | finished floor level |
| CCR | corrugated steel roof | F | fixed glass |
| CF | colorbond fascia | FGL | finished ground line |
| CFC | comp. fibre cement | GM | gas meter |
| CONC | concrete | HWS | hot water service |
| CJ | control joint | PB | plasterboard |
| CT | ceramic tile | PCR | painted cement render |
| CPT | carpet | PFB | painted face brick |
| CRT | concrete roof tile | PFC | painted fibre cement |
| CQG | colorbond quad gutter | PWB | painted weatherboard |
| DP | downpipe | SC | solder course |
| DP&S | downpipe & spreader | TFB | timber floor boards |
| EGL | existing ground line | TRC | terracotta roof tiles |
| EMB | electrical meterboard | WM | water meter |

- fixtures
- | | | | |
|--------|---------------------|------|----------------------|
| b | basin | rh | rangehood |
| b/head | bulkhead | sc | solid core door |
| cs | cavity sliding door | sh | soap holder |
| dry | dryer | ss | stainless steel sink |
| dw | dishwasher | st | stove |
| exh | exhaust fan | shwr | shower |
| fr | freezer | t | tub |
| fw | floor waste | tr | towel rail |
| hc | hollow core door | trh | toilet roll holder |
| hr | handrail | typ. | typical |
| lb | letterbox | wc | water closet |
| m | mirror | wm | washing machine |
| mw | microwave | v | vinyl |
| o/h | overhead | vp | vent pipe |
| p | pantry | uo | under bench oven |
| ref | refrigerator | wo | wall oven |

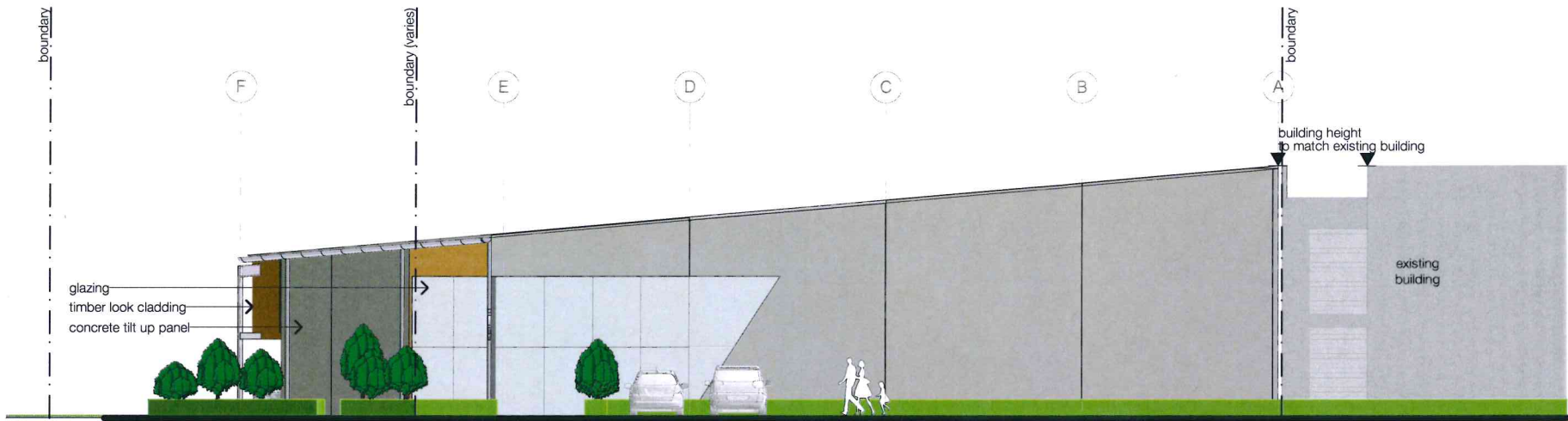
date	issue	amendment	title
19/12/2018	A	Issue for development application	mezzanine floor plan

new commercial development
8 Stockland Pty Ltd | 8 stockland drive KELSO
project ref: TAI18064
drawn: sf | kk
checked: IDG
scale: 1:200 @ a3

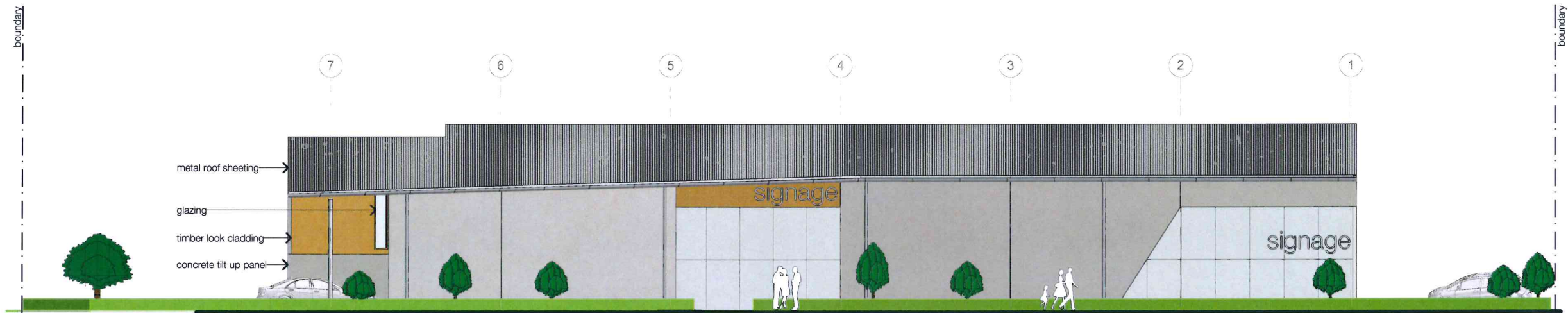


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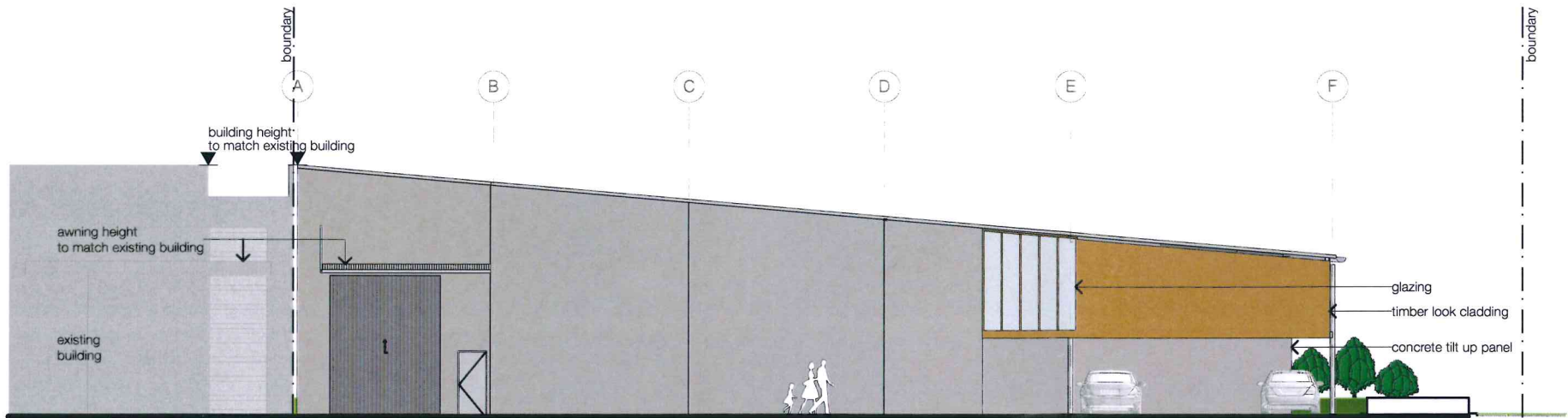
issue
A



01 | east elevation
1:200



02 | south elevation
1:200



03 | west elevation
1:200

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date

19/12/2018 A Issue for development application

issue

A

amendment

application

title

elevations

new commercial development
8 Stockland Pty Ltd | 8 stockland drive KELSO

project ref: TAI18064
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checked: IDG
scale: 1:200 @ a3

BATHURST REGIONAL COUNCIL

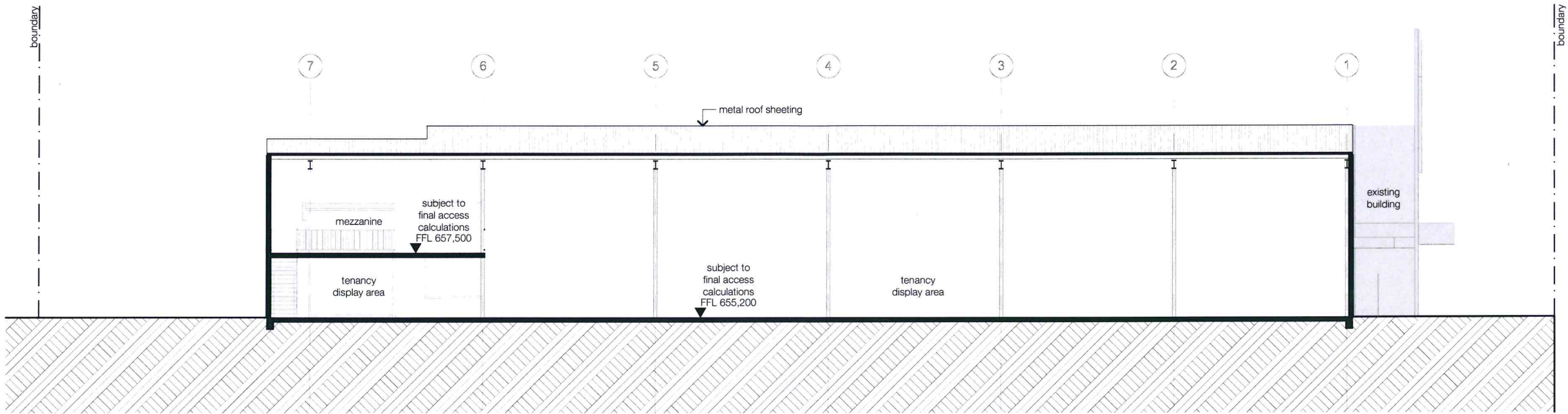
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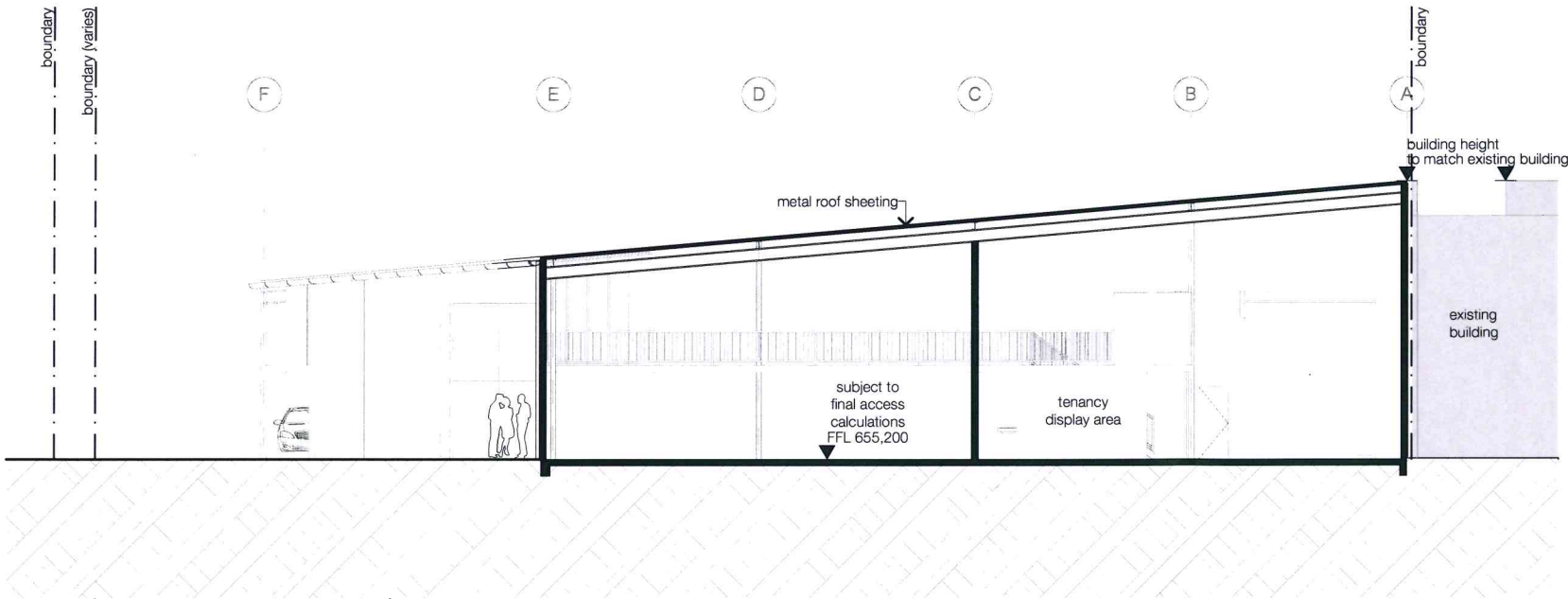
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01 section a-a
1:200



02 section b-b
1:200

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date

date	issue	amendment	title
19/12/2018	A	Issue for development application	

title

sections

new commercial development
8 Stockland Pty Ltd | 8 stockland drive KELSO

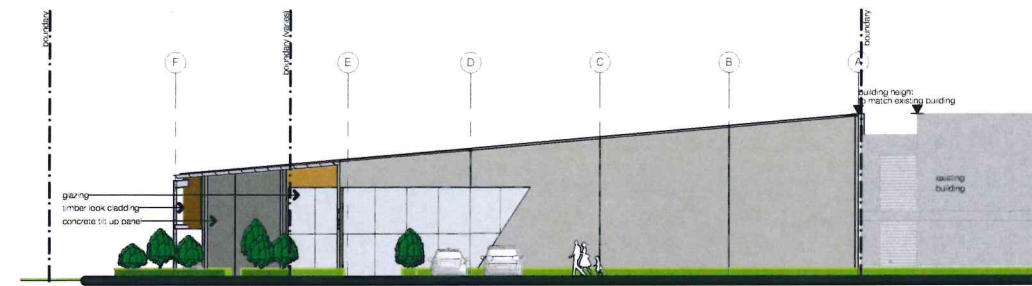
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drawn: sf | kk
checked: IDG
scale: 1:200 @ a3

DA 3000

issue A



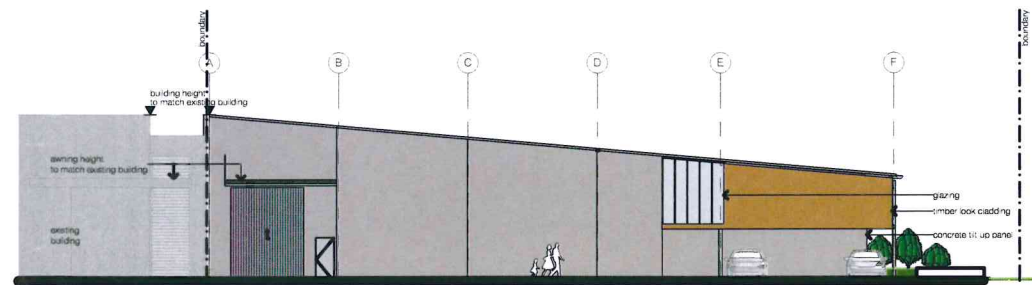
01 | site plan
1:1000



02 | east elevation
1:500



03 | south elevation
1:500



04 | west elevation
1:500

COPY ONLY NOT TO SCALE

notification plan

new commercial development
TAI18064 | 8 Stockland Pty Ltd | 8 stockland drive KELSO

all drawings are not for construction and are subject to further design
development, consultant input, council and legislative requirements.

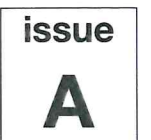
integrated **DESIGN** group
architects | bathurst penrith sydney



true north



1:1000,
1:500 @ a4



current issue
19/12/2018

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nominated architects tony mcburney reg. no. 5273 | simon thorne reg. no. 7093