

SUBDIVISION PLAN
SCALE 1:200



N

No.	Description	Date
Amendments		
Scale:	AS NOTED @ A3	Drawn: J.B.
Date:	31/08/2023	

Project.	PROPOSED NEW RESIENCE AT LOT 1 PLOUGHMANS ESTATE ORANGE NSW 2800
Title.	SUB-DIVISION PLAN
Client.	CONTEMPORARY HOMES

Job No.	23-044
Dwg No.	01
Issue.	
Drawings in set:	06
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COMPLIANCE ASSESSMENT DETAILS

	FIXTURES (MIN.)
1.00	1.00
2.00	2.00
3.00	3.00
4.00	4.00
5.00	5.00
6.00	6.00
7.00	7.00
8.00	8.00
9.00	9.00
10.00	10.00
11.00	11.00
12.00	12.00
13.00	13.00
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89.00	89.00
90.00	90.00
91.00	91.00
92.00	92.00
93.00	93.00
94.00	94.00
95.00	95.00
96.00	96.00
97.00	97.00
98.00	98.00
99.00	99.00
100.00	100.00

SHOWER HEAD RATING	= 3 STAR
TOILET RATING	= 3 STAR
KITCHEN TAPS RATING	= 3 STAR
BATHROOM BASIN TAPS RATING	= 3 STAR

ALTERNATIVE WATER

RAINWATER TANK SIZE =
% OF ROOF AREA DIVERTED TO TANK =

THERMAL COMFORT

FLOOR
CONCRETE SLAB ON GROUND

EXTERNAL WALL
BRICK VENEER
ADDITIONAL INSULATION: R2.26 (OR 2.8 INCLUDING
CONSTRUCTION)

FRAMED (WEATHERBOARD CLAD)
ADDITIONAL INSULATION: R2.4 (OR 2.8 INCLUDING
CONSTRUCTION)

INTERNAL WALL SHARED WITH GARAGE
ADDITIONAL INSULATION: R1.14 (OR 1.5 INCLUDING
CONSTRUCTION)

CEILING & ROOF
FLAT CEILING / PITCHED ROOF
CEILING: R2.2 (UP); ROOF: FOIL BACKED BLANKET (55MM)
UNVENTILATED; LIGHT (SA>0.475)

GLAZING
ALUMINIUM FRAME, DOUBLE GLAZED (AIR), CLEAR

ENERGY

HOT WATER
GAS INSTANANEOUS - 3 STAR (MIN.)

HEATING AND COOLING
SINGLE PHASE A/C 2.5 - 3.0 EER (MIN.)

HEATING AND COOLING SYSTEM TO BE DAY / NIGHT ZONED,
BETWEEN LIVING AND BEDROOM AREAS.

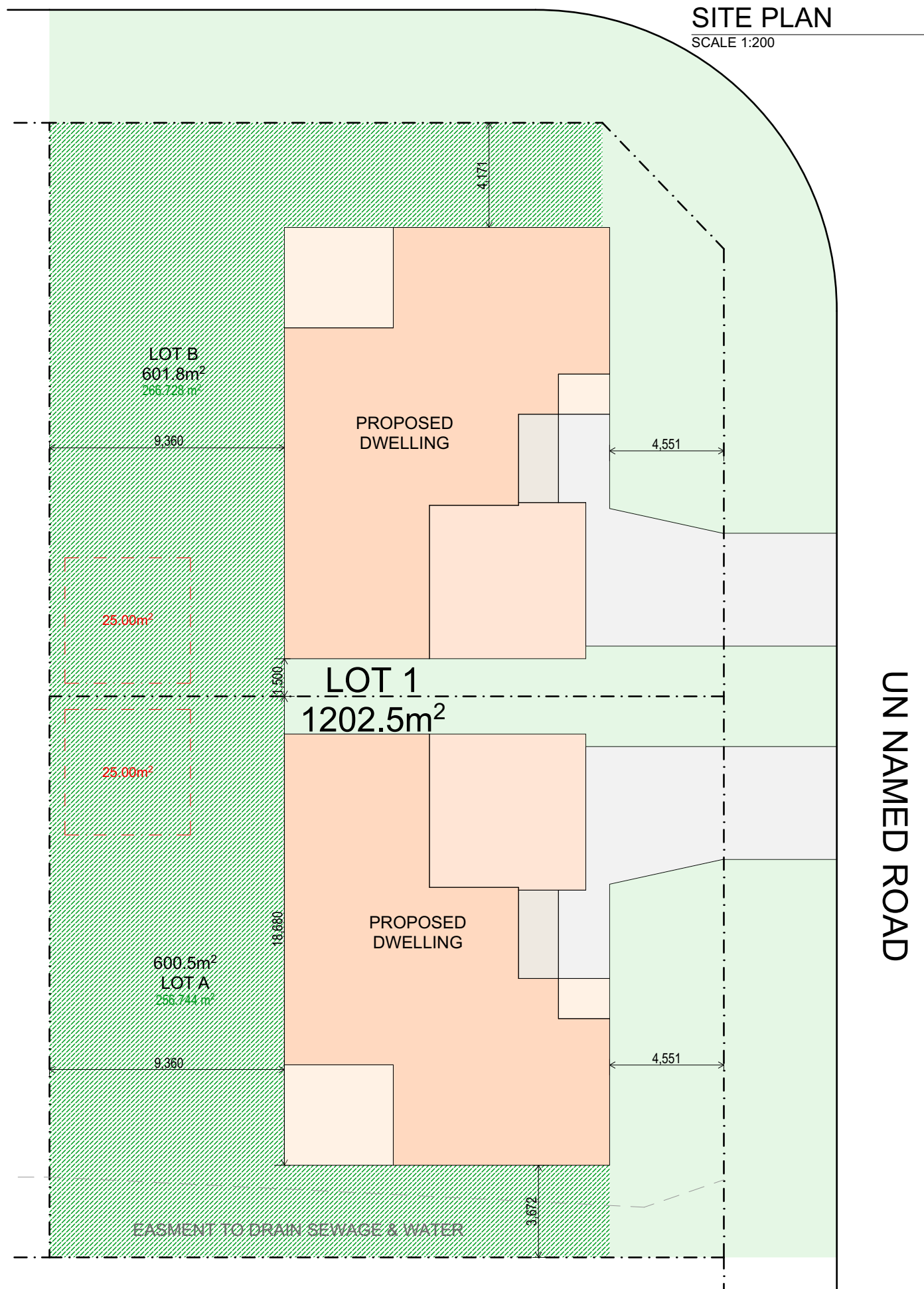
VENTILATION
THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT:
KITCHEN & AT LEAST 1 BATHROOM - INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF

ALTERNATIVE ENERGY
THE APPLICANT MUST ENSURE THAT THE PRIMARY TYPE OF ARTIFICIAL LIGHTING IS FLUORESCENT OF LED IN EACH OF THE FOLLOWING ROOMS: AT LEAST 5 BEDROOMS/STUDY; AT LEAST 3 LIVING/DINING ROOMS; THE KITCHEN; THE LAUNDRY; ALL HALLWAYS

OTHER
THE APPLICANT MUST INSTALL A GAS COOKTOP AND
ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING

THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT

SCALE 1:200

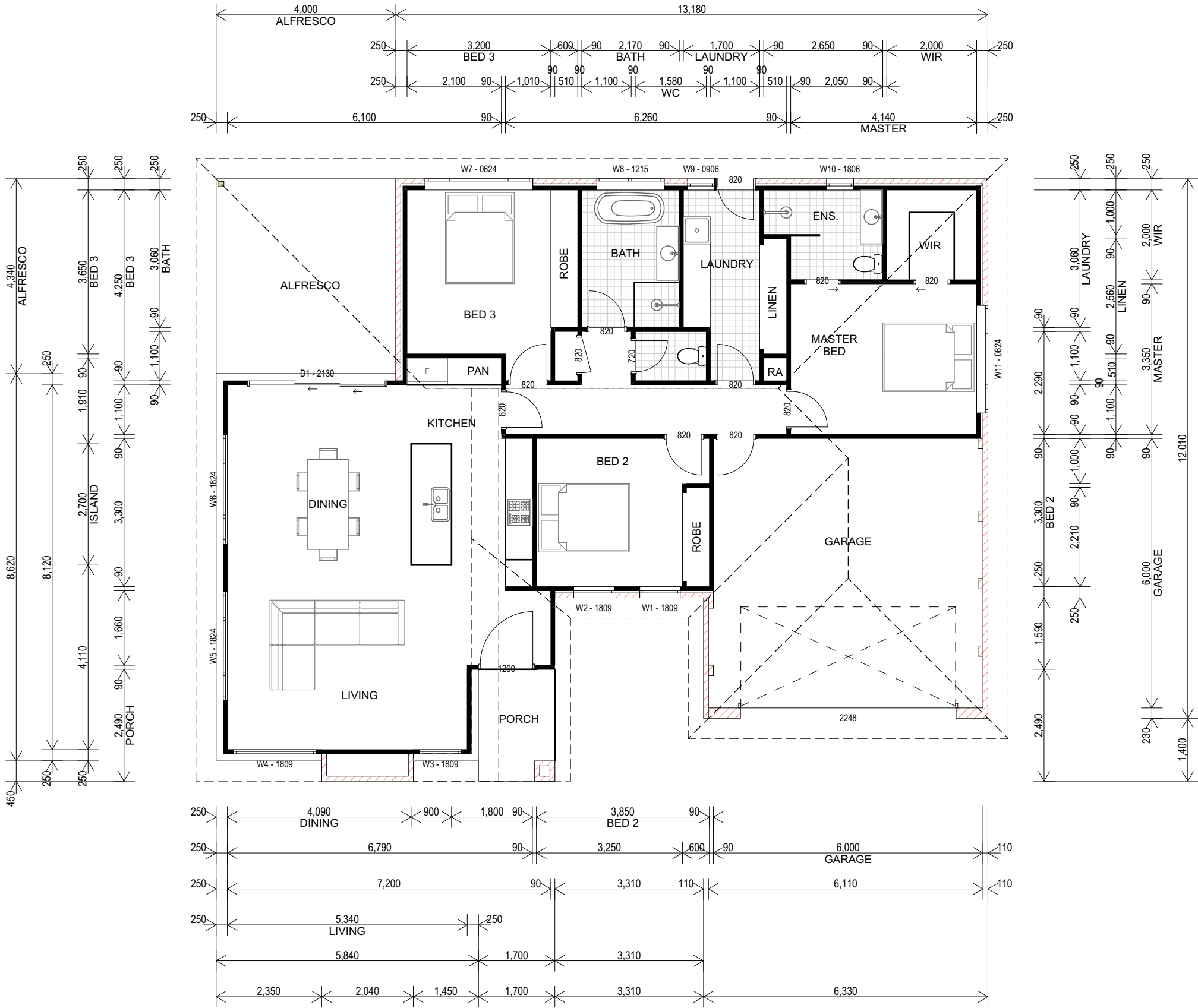


UN NAMED ROAD



					Project. PROPOSED NEW RESIENCE AT LOT 1 PLOUGHMANS ESTATE ORANGE NSW 2800	Job No. 23-044	
						Dwg No. 02	Issue.
No.	Description			Date		Title. SITE PLAN	Drawings in set: 06
Amendments							
Scale: AS NOTED @ A3.	Drawn: J.B.	Date: 31/08/2023	Client. CONTEMPORARY HOMES			© - Bassmann Drafting Services	

AREAS	
FLOOR AREA:	145.0m ² (15.6sq)
GARAGE:	38.4m ² (4.1sq)
ALFRESCO:	17.4m ² (1.9sq)
PORCH:	3.3m ² (0.4sq)
TOTAL:	204.1m ² (22.0sq)



FLOOR PLAN - LOT A
SCALE 1:100

MECHANICAL VENTILATION:
A MECHANICAL VENTILATION SYSTEM
COMPLYING WITH AS 1688.2 & AS / NZS 3666.1
MUST BE INSTALLED TO ANY HABITABLE ROOM
WHICH DOES NOT HAVE NATURAL
VENTILATION COMPLYING WITH PART H4P5 OF
THE NCC

WC DOOR NOTE:
INWARD SWINGING WC DOORS TO BE READILY
REMOVABLE FROM THE OUTSIDE OF THE
SANITARY COMPARTMENT IN ACCORDANCE
WITH PART F4D8 OF THE BCA

STAIR NOTE:
NEW STAIRS BUILT IN ACCORDANCE WITH THE
REQUIREMENTS OF PART D3 OF THE NCC
2022.

RISERS = MAX.-190mm
MIN.- 115mm
GOING = MAX.- 355mm
MIN.- 250mm
2R + G = MAX.- 700mm
MIN.- 550mm



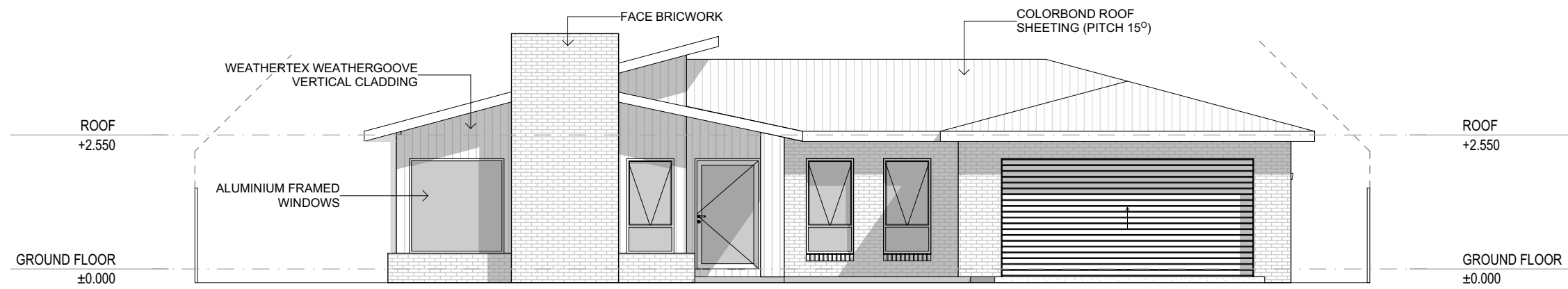
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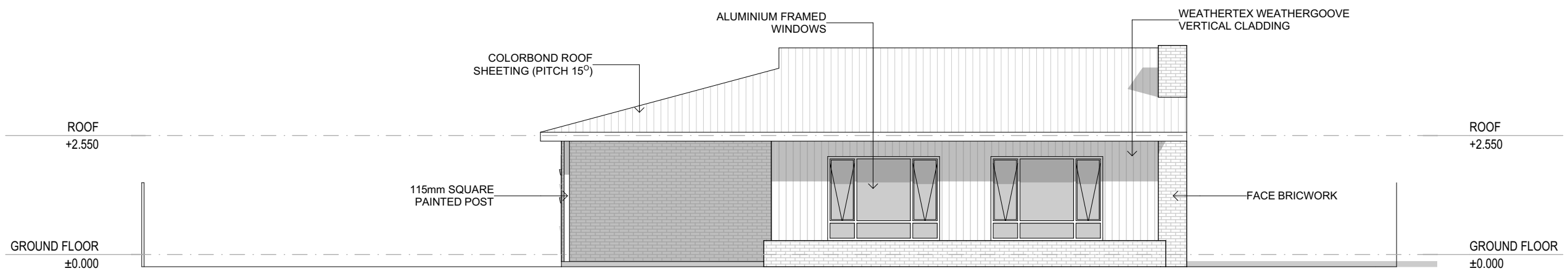
No.	Description	Date
Amendments		
Scale:	AS NOTED @ A3.	Drawn: J.B. Date: 31/08/2023

Project:	PROPOSED NEW RESIENCE AT LOT 1 PLOUGHMANS ESTATE ORANGE NSW 2800
Title:	LOT A FLOOR PLAN
Client:	CONTEMPORARY HOMES

Job No.	23-044
Dwg No.	03
Issue.	
Drawings in set:	14
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NORTH ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100



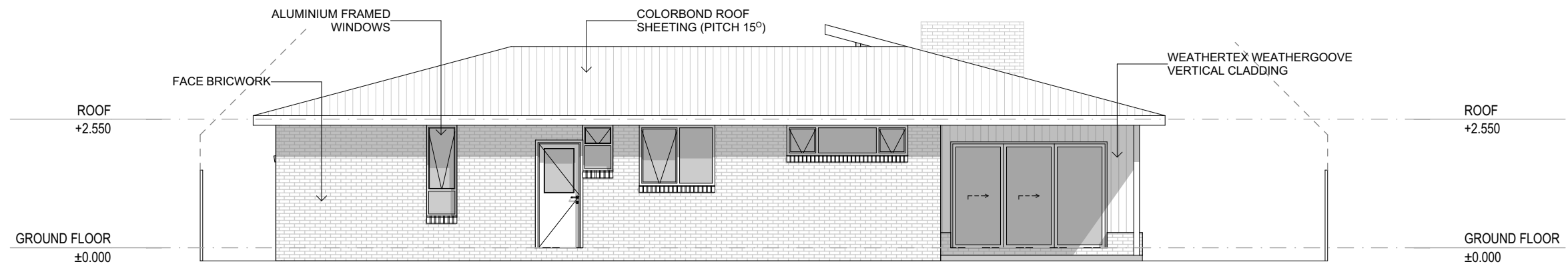
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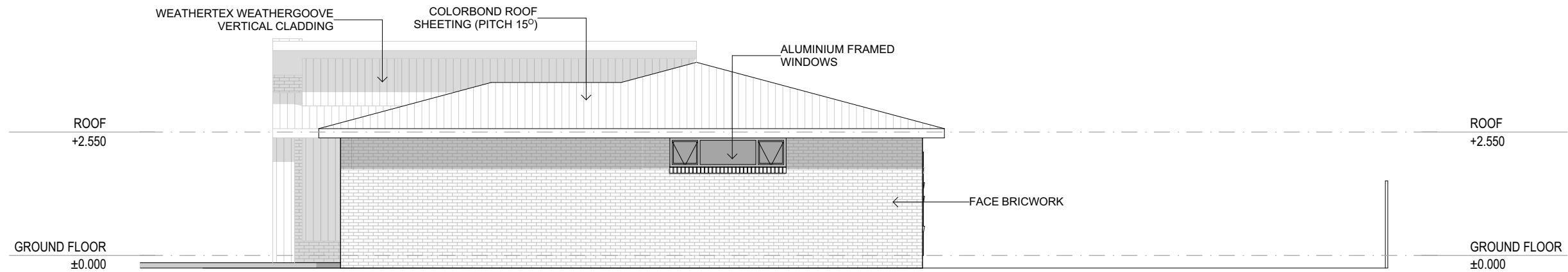
No.	Description	Date
Amendments		
Scale:	AS NOTED @ A3.	Drawn: J.B. Date: 31/08/2023

Project:	PROPOSED NEW RESIENCE AT LOT 1 PLOUGHMANS ESTATE ORANGE NSW 2800
Title:	ELEVATIONS
Client:	CONTEMPORARY HOMES

Job No.	23-044
Dwg No.	04
Issue.	
Drawings in set:	14
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SOUTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100



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No.	Description	Date
Amendments		
Scale:	AS NOTED @ A3.	Drawn: J.B. Date: 31/08/2023

Project:	PROPOSED NEW RESIENCE AT LOT 1 PLOUGHMANS ESTATE ORANGE NSW 2800
Title:	ELEVATIONS
Client:	CONTEMPORARY HOMES

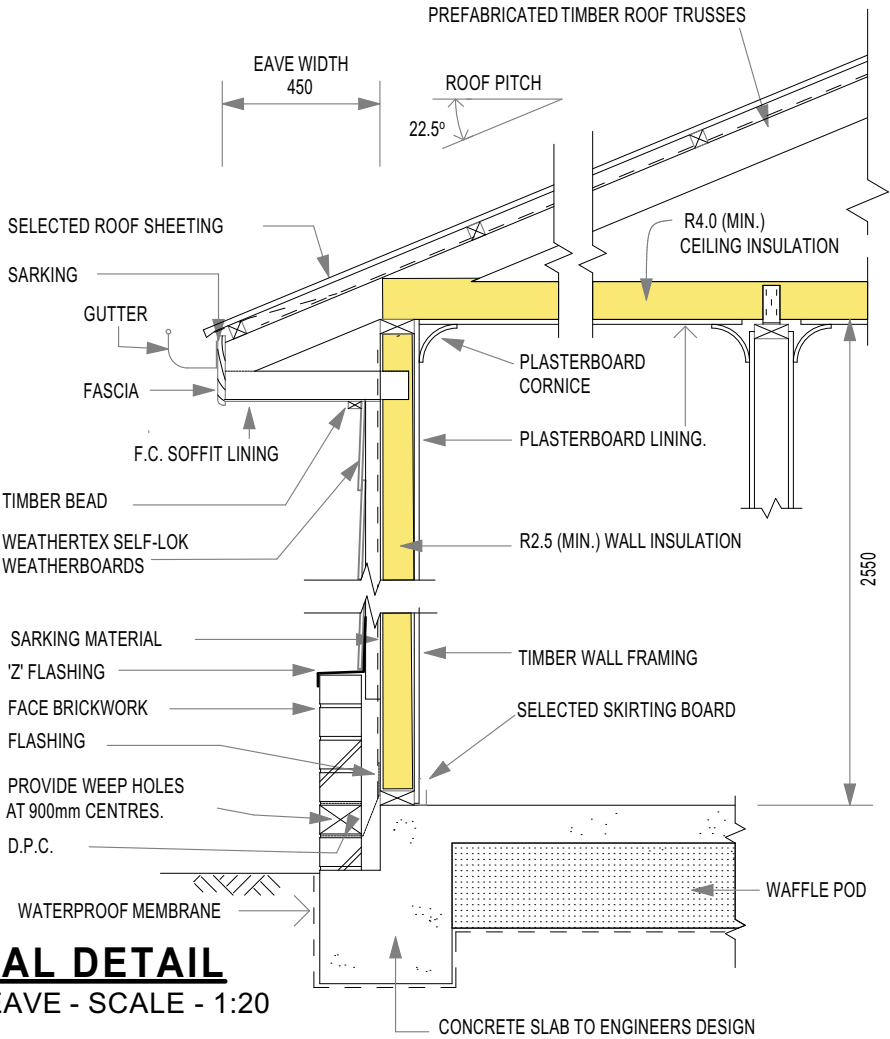
Job No.	23-044
Dwg No.	05
Issue.	
Drawings in set:	14
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WINDOW NO.	D1 - 2130	W1 - 1809	W2 - 1809	W3 - 1809	W4 - 1809	W5 - 1824
W x H SIZE	3,100×2,100	900×1,800	900×1,800	900×1,800	1,800×1,800	2,400×1,800
FRAME	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium
OPENING		Awning	Awning	Awning	Awning	Awning
GLAZING	Double / Clear	Double / Clear	Double / Clear	Double / Clear	Double / Clear	Double / Clear
EXTERNAL VIEW						

WINDOW NO.	W7 - 0624	W8 - 1215	W9 - 0906	W10 - 1806	W11 - 0624	W12 - 1809
W x H SIZE	2,400×600	1,500×1,200	600×900	600×1,800	2,400×600	900×1,800
FRAME	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium
OPENING	Awning	Awning	Awning	Awning	Awning	Awning
GLAZING	Double / Clear	Double / Clear	Double / Clear	Double / Clear	Double / Clear	Double / Clear
EXTERNAL VIEW						

WINDOW SCHEDULE

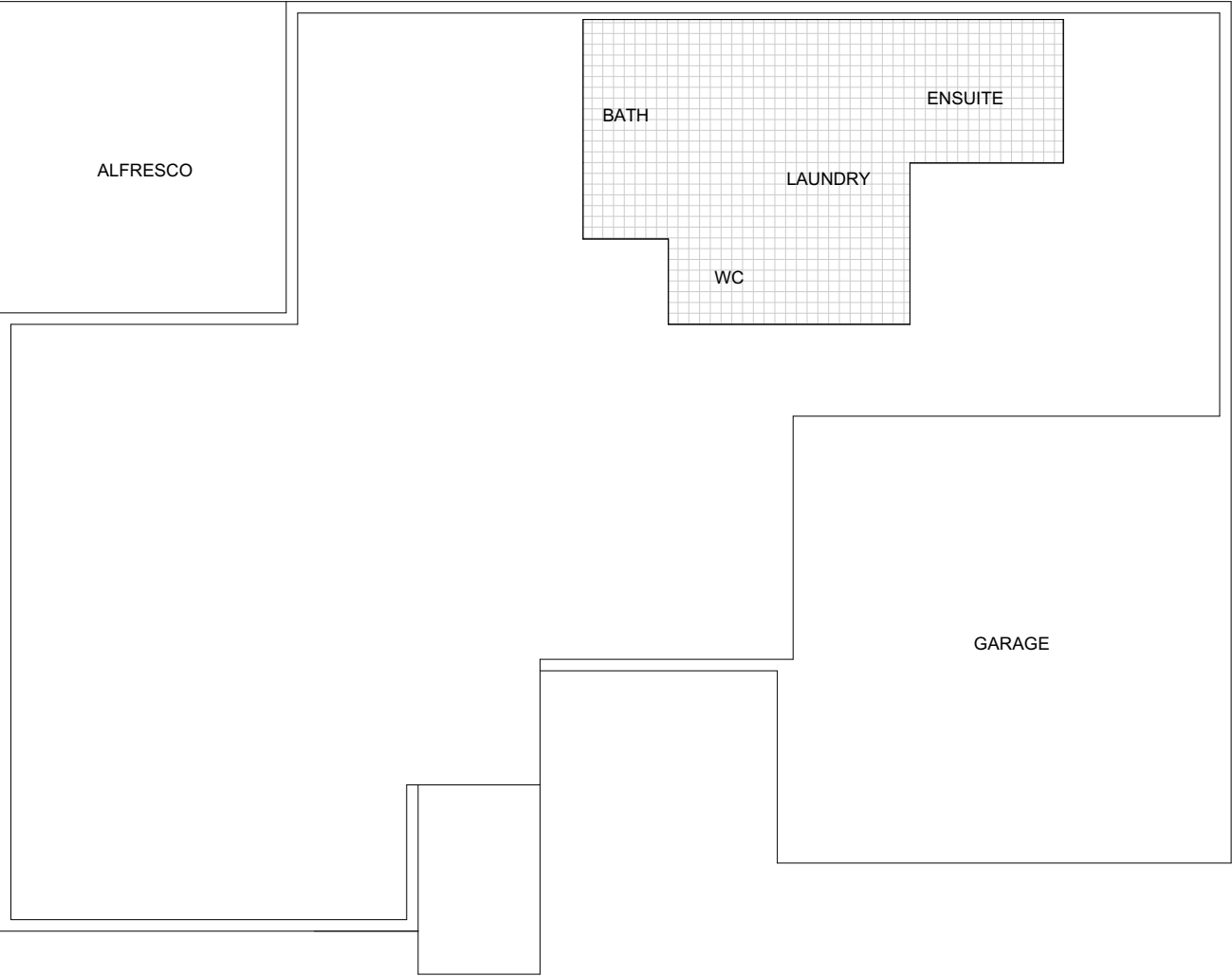
SCALE 1:1



TYPICAL DETAIL

450mm EAVE - SCALE - 1:20

GENERAL <ul style="list-style-type: none">- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.- DO NOT SCALE FROM DRAWING. IF IN DOUBT ASK.- ALL DIMENSIONS AND LEVELS ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.- IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY DOCUMENTS AS TO THEIR ACCURACY AND SUITABILITY.- THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS.- THE CONSTRUCTION OF ANY STAIRS & BALUSTRADES SHALL COMPLY WITH PART 3.9.1 OF THE NCC- ALL STRUCTURAL ELEMENTS ARE TO BE DESIGNED BY A PRACTISING STRUCTURAL ENGINEER.- CONCRETE SLAB & FOOTINGS TO BE DESIGNED IN ACCORDANCE WITH AS2870.- ALL TIMBER USED IN THE DEVELOPMENT IS TO BE STRICTLY IN ACCORDANCE WITH THE PROVISIONS OF AS1684. NATIONAL TIMBER FRAMING CODE. UNLESS A CERTIFICATE FROM A PRACTISING STRUCTURAL ENGINEER IS SUBMITTED TO COUNCIL CERTIFYING THAT THE BUILDING HAS BEEN DESIGNED TO WITHSTAND THE MOST ADHERE COMBINATION OF LOADS TO WHICH IT WILL BE SUBJECTED. STATUTORY REQUIREMENTS <ul style="list-style-type: none">- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC. CONDITIONS IMPOSED BY THE LOCAL AUTHORITY & THE COMMITMENTS OUTLINED IN THE RELEVANT BASIX CERTIFICATE.- THE BUILDER IS TO COMPLY WITH THE REQUIREMENTS OF THE LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER THE BUILDING WORKS & THE PROVISIONS OF THE HOME BUILDING ACT.- PRIOR TO COMMENCEMENT OF BUILDING WORK, THE BUILDER SHOULD PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF SUBCONTRACTORS, WHERE THE LOCAL AUTHORITY REQUIRES TEMPORARY TOILET TO BE CONNECTED TO SEWER MAINS, THE ADDITIONAL COST SHALL BE TO THE OWNERS EXPENSE, ON COMPLETION THE BUILDER SHALL REMOVE AS REQUIRED.			NATIONAL CONSTRUCTION CODE (NCC) REQUIREMENTS: <ul style="list-style-type: none">- ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH PART H1D3 OR AS DESIGNED BY A PRACTICING STRUCTURAL ENGINEER.- FOOTINGS AND SLABS SHALL BE IN ACCORDANCE WITH PART H1D4 OR AS DESIGNED BY A PRACTICING STRUCTURAL ENGINEER.- AN APPROPRIATE TERMITE MANAGEMENT SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH PART H1D3 AND MUST COMPLY WITH AS 3660.1.- ALL MASONRY WORK SHALL BE IN ACCORDANCE WITH PART H1D5 AND COMPLY WITH AS 3700 OR AS 4773.1 AND AS 4773.2.- ALL STEEL FRAMING SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH EITHER NASH STANDARD RESIDENTIAL AND LOW-RISE STEEL FRAMING PART 1 AND PART 2, AS 4100 OR AS/NZS 4600.- ALL TIMBER FRAMING SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 1720.1, AS 1720.5, AS 1684 AND/OR AS 1860.2 AS APPROPRIATE.- ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS 1720 AND ERECTED, FIXED AND BRACED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.- ALL STRUCTURAL STEEL MEMBERS SHALL BE DESIGNED BY A PRACTICING STRUCTURAL ENGINEER AND CONSTRUCTED IN ACCORDANCE WITH AS 4100.- ALL ROOF AND WALL CLADDING SHALL BE IN ACCORDANCE WITH PART H1D7.- ALL WINDOWS, GLAZED ASSEMBLIES AND GLAZED DOORS SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH AS 2047 AND AS 1288.- CLASS 1 BUILDING CONSTRUCTION IN A FLOOD HAZARD AREA SHALL BE 'CONSTRUCTED IN ACCORDANCE WITH THE ABCB STANDARD FOR CONSTRUCTION OF BUILDINGS IN FLOOD HAZARD AREAS.- ALL DECKS/BALCONIES ATTACHED TO EXTERNAL WALLS USING A WHALING PLATE SHALL BE IN ACCORDANCE WITH PART H1D11.- ALL PILED FOOTINGS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH AS 2159.- A STORMWATER DRAINAGE SYSTEM SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS / NZS 3600.3.			<ul style="list-style-type: none">- MAINS POWERED INTERCONNECTED SMOKE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH PART H3D6 AND COMPLY WITH AS 3786.- WATERPROOFING OF WET AREAS SHALL BE IN ACCORDANCE WITH PART H4D2 AND COMPLY WITH AS 3740.- IF REQUIRED, ARTIFICIAL LIGHTING SHALL BE IN ACCORDANCE WITH PART H4D6 OR AS/NZS 1680.0.- MECHANICAL VENTILATION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH AS 1668.2.- IF REQUIRED, MECHANICAL VENTILATION SHALL BE PROVIDED TO SANITARY COMPARTMENTS, LAUNDRIES, KITCHENS AND BATHROOMS AND SHALL BE IN ACCORDANCE WITH PART H4D7(2).- PLIABLE BUILDING MEMBRANES INSTALLED TO EXTERNAL WALLS MUST COMPLY WITH AS 4200.1, BE INSTALLED IN ACCORDANCE WITH AS 4200.2, BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER AND HAVE A PERMEABILITY OF NOT LESS THAN 1.14 µg/N.s.- CONDENSATION MANAGEMENT SHALL BE IN ACCORDANCE WITH PART H4D9.- STAIRWAYS AND RAMPs SHALL BE IN ACCORDANCE WITH PART H5D2.- BARRIERS AND HANDRAILS SHALL BE IN ACCORDANCE WITH PART H5D3.- HEATING APPLIANCES AND FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH PART H7D5.- ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA AND COMPLY WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY AND AS 3500 AND BE CARRIED OUT BY A LICENSED PLUMBER.- ALL ELECTRICAL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY AND AS 3000 AND BE CARRIED OUT BY A LICENSED ELECTRICIAN.- ALL GAS INSTALLATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY AND BE CARRIED OUT BY A LICENSED GAS FITTER.- INSTALLATION OF WALL AND FLOOR TILES SHALL COMPLY WITH AS 3958.1.- DRIVEWAY ACCESS SHALL COMPLY WITH AS / NZS 2890.1.		
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CONCRETE PLAN
SCALE 1:100



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No.	Description	Date
Amendments		
Scale:	AS NOTED @ A3.	Drawn: J.B.
Date:	31/08/2023	

Project:	PROPOSED NEW RESIENCE AT LOT 1 PLOUGHMANS ESTATE ORANGE NSW 2800	Job No.	23-044
		Dwg No.	07
		Issue.	
Title:	CONCRETE PLAN	Drawings in set:	14
Client:	CONTEMPORARY HOMES	© - Bassmann Drafting Services	



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No.	Description	Date
Amendments		
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Project:	PROPOSED NEW RESIENCE AT LOT 1 PLOUGHMANS ESTATE ORANGE NSW 2800
Title:	VIEWS
Client:	CONTEMPORARY HOMES

Job No.	23-044
Dwg No.	08
Issue.	
Drawings in set:	14
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AREAS		
FLOOR AREA:	145.0m ²	(15.6sq)
GARAGE:	38.4m ²	(4.1sq)
ALFRESCO:	17.4m ²	(1.9sq)
PORCH:	3.3m ²	(0.4sq)
TOTAL:	204.1m ²	(22.0sq)



FLOOR PLAN - LOT B
SCALE 1:100

MECHANICAL VENTILATION:
A MECHANICAL VENTILATION SYSTEM
COMPLYING WITH AS 1668.2 & AS / NZS 3666.1
MUST BE INSTALLED TO ANY HABITABLE ROOM
WHICH DOES NOT HAVE NATURAL
VENTILATION COMPLYING WITH PART H4P5 OF
THE NCC

WC DOOR NOTE:
INWARD SWINGING WC DOORS TO BE READILY
REMOVABLE FROM THE OUTSIDE OF THE
SANITARY COMPARTMENT IN ACCORDANCE
WITH PART F4D8 OF THE BCA

STAIR NOTE:
NEW STAIRS BUILT IN ACCORDANCE WITH THE
REQUIREMENTS OF PART D3 OF THE NCC
2022.

RISERS = MAX.-190mm
MIN.- 115mm
GOING = MAX.- 355mm
MIN.- 250mm
2R + G = MAX.- 700mm
MIN.- 550mm



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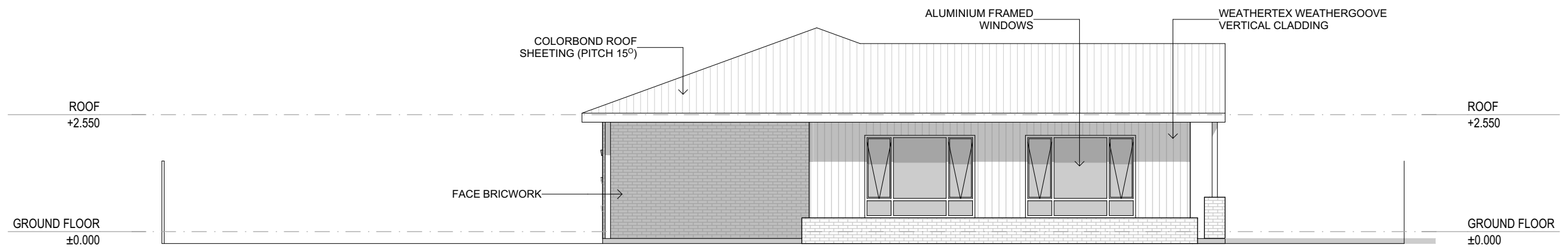
No.	Description	Date
Amendments		
Scale:	AS NOTED @ A3.	Drawn: J.B. Date: 31/08/2023

Project:	PROPOSED NEW RESIENCE AT LOT 1 PLOUGHMANS ESTATE ORANGE NSW 2800
Title:	LOT B FLOOR PLAN
Client:	CONTEMPORARY HOMES

Job No.	23-044
Dwg No.	09
Issue.	
Drawings in set:	14
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NORTH ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100



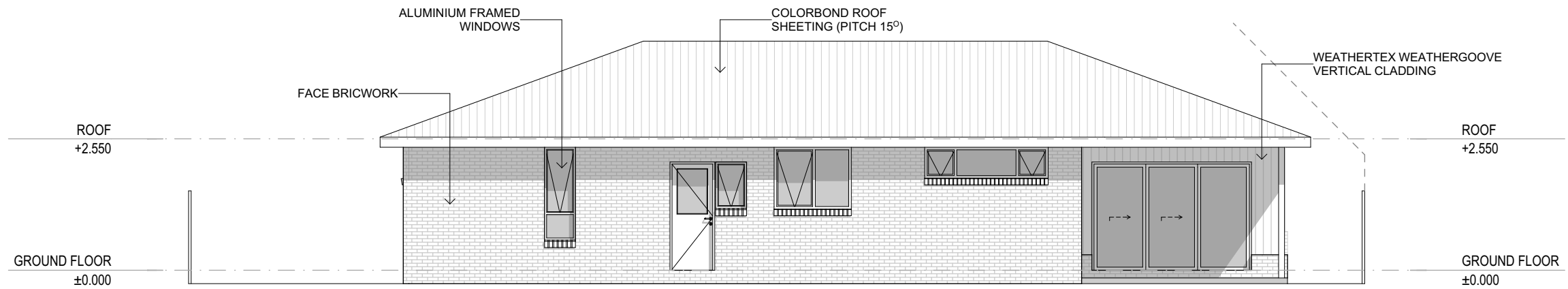
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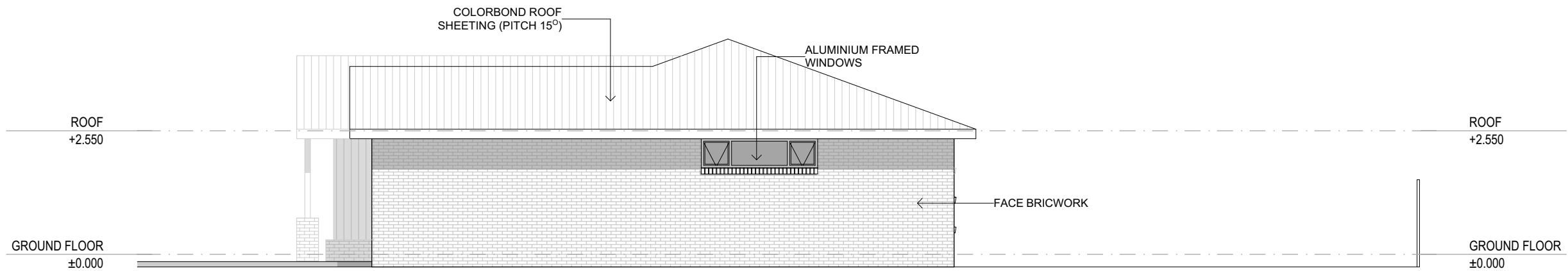
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Amendments		
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Project:	PROPOSED NEW RESIENCE AT LOT 1 PLOUGHMANS ESTATE ORANGE NSW 2800
Title:	ELEVATIONS
Client:	CONTEMPORARY HOMES

Job No.	23-044
Dwg No.	10
Issue.	
Drawings in set:	14
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SOUTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100



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Client:	CONTEMPORARY HOMES

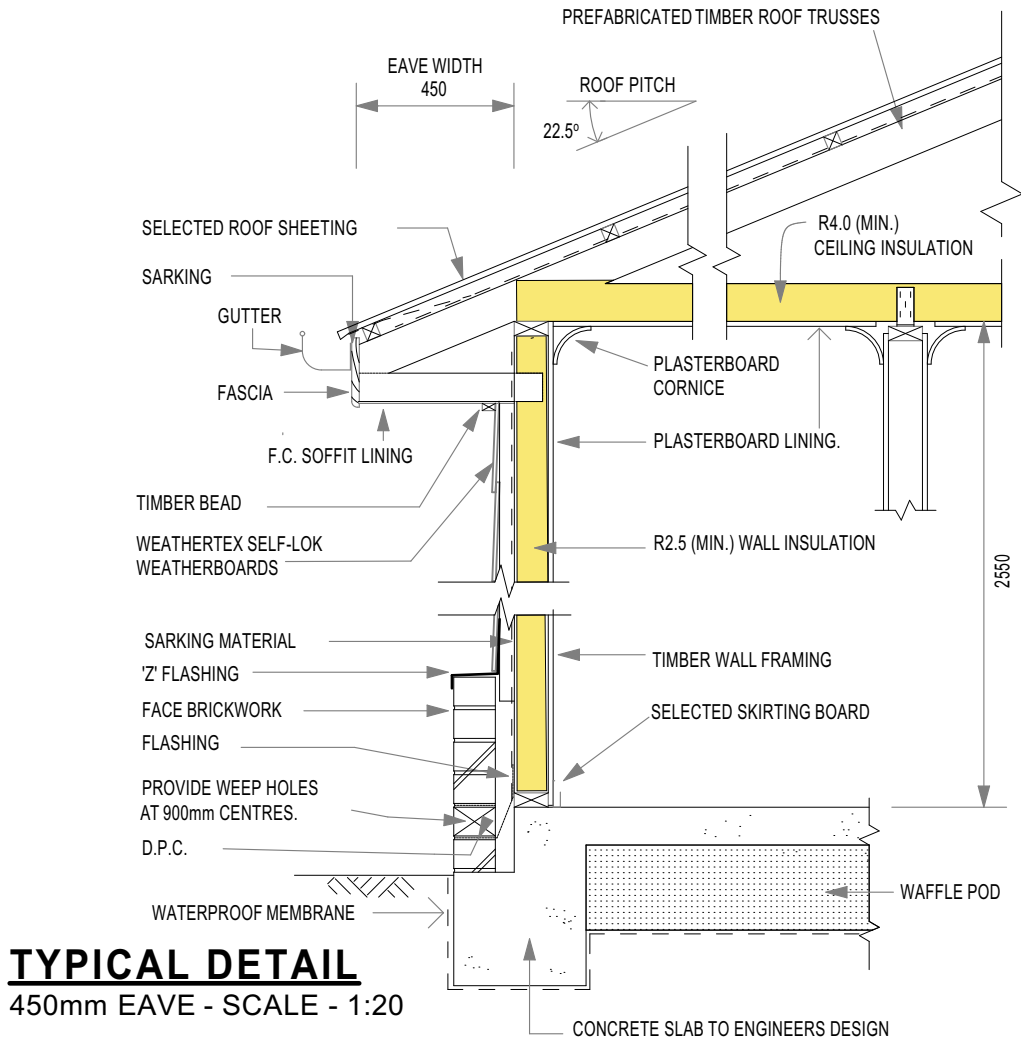
Job No.	23-044
Dwg No.	11
Issue.	
Drawings in set:	14
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WINDOW NO.	W12 - 1809	W13 - 1809	W14 - 1809	W15 - 1809	W16 - 1809	W17 - 1824
W x H SIZE	900×1,800	900×1,800	900×1,800	900×1,800	900×1,800	2,400×1,800
FRAME	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium
OPENING	Awning	Awning	Awning	Awning	Awning	Awning
GLAZING	Double / Clear	Double / Clear	Double / Clear	Double / Clear	Double / Clear	Double / Clear
EXTERNAL VIEW						

WINDOW NO.	W18 - 1824	W19 - 0624	W20 - 1215	W21 - 0906	W22 - 1806	W23 - 0624
W x H SIZE	2,400×1,800	2,400×600	1,500×1,200	600×900	600×1,800	2,400×600
FRAME	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium	Aluminium
OPENING	Awning	Awning	Awning	Awning	Awning	Awning
GLAZING	Double / Clear	Double / Clear	Double / Clear	Double / Clear	Double / Clear	Double / Clear
EXTERNAL VIEW						

WINDOW SCHEDULE

SCALE 1:1



TYPICAL DETAIL
450mm EAVE - SCALE - 1:20

GENERAL

- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
- DO NOT SCALE FROM DRAWING. IF IN DOUBT ASK.
- ALL DIMENSIONS AND LEVELS ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY DOCUMENTS AS TO THEIR ACCURACY AND SUITABILITY.
- THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS.
- THE CONSTRUCTION OF ANY STAIRS & BALUSTRADES SHALL COMPLY WITH PART 3.9.1 OF THE NCC
- ALL STRUCTURAL ELEMENTS ARE TO BE DESIGNED BY A PRACTISING STRUCTURAL ENGINEER.
- CONCRETE SLAB & FOOTINGS TO BE DESIGNED IN ACCORDANCE WITH AS2870.
- ALL TIMBER USED IN THE DEVELOPMENT IS TO BE STRICTLY IN ACCORDANCE WITH THE PROVISIONS OF AS1684. NATIONAL TIMBER FRAMING CODE. UNLESS A CERTIFICATE FROM A PRACTISING STRUCTURAL ENGINEER IS SUBMITTED TO COUNCIL CERTIFYING THAT THE BUILDING HAS BEEN DESIGNED TO WITHSTAND THE MOST ADHERE COMBINATION OF LOADS TO WHICH IT WILL BE SUBJECTED.

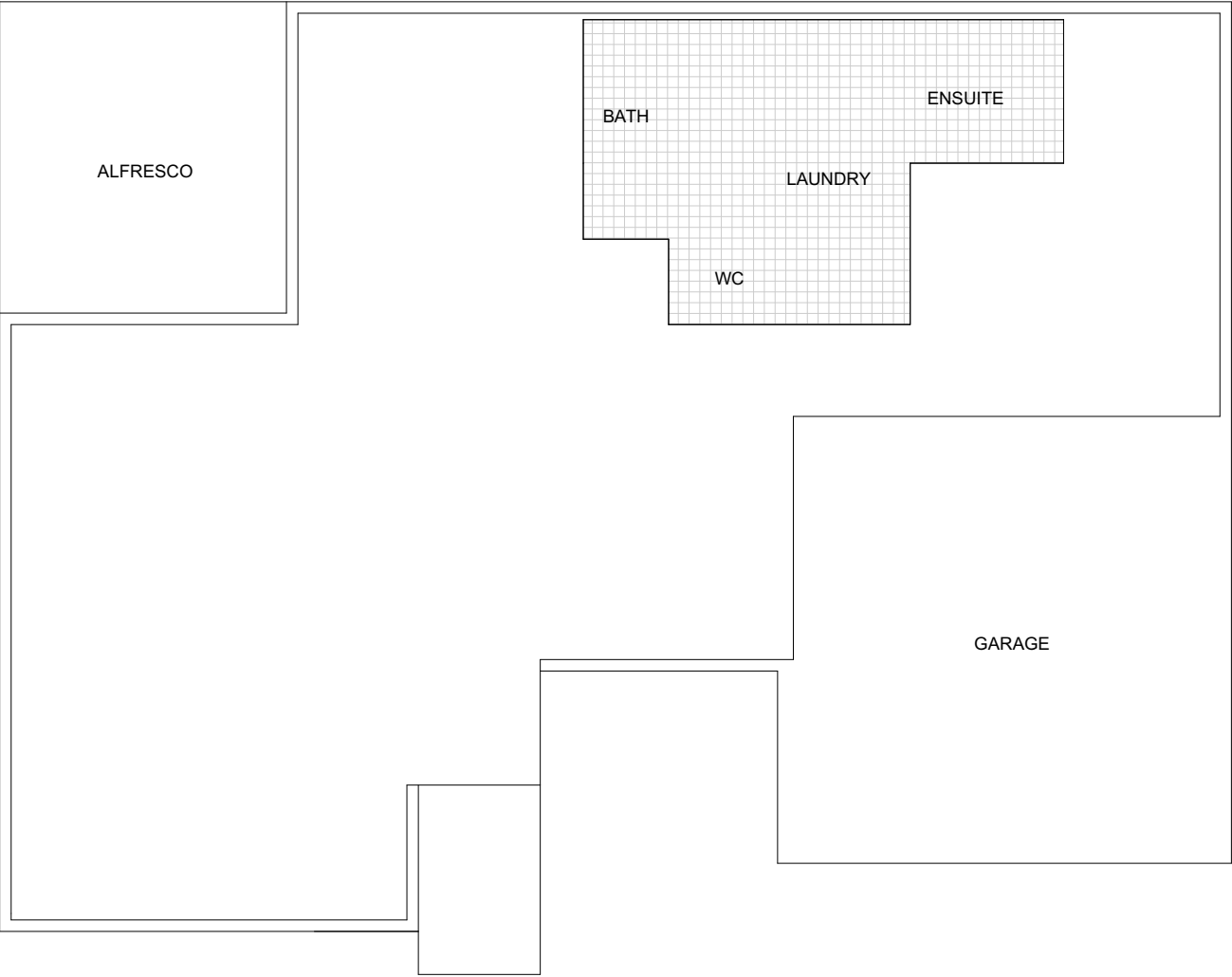
STATUTORY REQUIREMENTS

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC. CONDITIONS IMPOSED BY THE LOCAL AUTHORITY & THE COMMITMENTS OUTLINED IN THE RELEVANT BASIX CERTIFICATE.
- THE BUILDER IS TO COMPLY WITH THE REQUIREMENTS OF THE LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER THE BUILDING WORKS & THE PROVISIONS OF THE HOME BUILDING ACT.
- PRIOR TO COMMENCEMENT OF BUILDING WORK, THE BUILDER SHOULD PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF SUBCONTRACTORS, WHERE THE LOCAL AUTHORITY REQUIRES TEMPORARY TOILET TO BE CONNECTED TO SEWER MAINS, THE ADDITIONAL COST SHALL BE TO THE OWNERS EXPENSE, ON COMPLETION THE BUILDER SHALL REMOVE AS REQUIRED.

NATIONAL CONSTRUCTION CODE (NCC) REQUIREMENTS:

- ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH PART H1D3 OR AS DESIGNED BY A PRACTICING STRUCTURAL ENGINEER.
- FOOTINGS AND SLABS SHALL BE IN ACCORDANCE WITH PART H1D4 OR AS DESIGNED BY A PRACTICING STRUCTURAL ENGINEER.
- AN APPROPRIATE TERMITE MANAGEMENT SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH PART H1D3 AND MUST COMPLY WITH AS 3660.1.
- ALL MASONRY WORK SHALL BE IN ACCORDANCE WITH PART H1D5 AND COMPLY WITH AS 3700 OR AS 4773.1 AND AS 4773.2.
- ALL STEEL FRAMING SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH EITHER NASH STANDARD RESIDENTIAL AND LOW-RISE STEEL FRAMING PART 1 AND PART 2, AS 4100 OR AS/NZS 4600.
- ALL TIMBER FRAMING SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 1720.1, AS 1720.5, AS 1684 AND/OR AS 1860.2 AS APPROPRIATE.
- ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS 1720 AND ERECTED, FIXED AND BRACED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
- ALL STRUCTURAL STEEL MEMBERS SHALL BE DESIGNED BY A PRACTICING STRUCTURAL ENGINEER AND CONSTRUCTED IN ACCORDANCE WITH AS 4100.
- ALL ROOF AND WALL CLADDING SHALL BE IN ACCORDANCE WITH PART H1D7.
- ALL WINDOWS, GLAZED ASSEMBLIES AND GLAZED DOORS SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH AS 2047 AND AS 1288.
- CLASS 1 BUILDING CONSTRUCTION IN A FLOOD HAZARD AREA SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ABCB STANDARD FOR CONSTRUCTION OF BUILDINGS IN FLOOD HAZARD AREAS.
- ALL DECKS/BALCONIES ATTACHED TO EXTERNAL WALLS USING A WHALING PLATE SHALL BE IN ACCORDANCE WITH PART H1D11.
- ALL PILED FOOTINGS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH AS 2159.
- A STORMWATER DRAINAGE SYSTEM SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS / NZS 3600.3.

- MAINS POWERED INTERCONNECTED SMOKE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH PART H3D6 AND COMPLY WITH AS 3786.
- WATERPROOFING OF WET AREAS SHALL BE IN ACCORDANCE WITH PART H4D2 AND COMPLY WITH AS 3740.
- IF REQUIRED, ARTIFICIAL LIGHTING SHALL BE IN ACCORDANCE WITH PART H4D6 OR AS/NZS 1680.0.
- MECHANICAL VENTILATION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH AS 1668.2.
- IF REQUIRED, MECHANICAL VENTILATION SHALL BE PROVIDED TO SANITARY COMPARTMENTS, LAUNDRIES, KITCHENS AND BATHROOMS AND SHALL BE IN ACCORDANCE WITH PART H4D7(2).
- PLIABLE BUILDING MEMBRANES INSTALLED TO EXTERNAL WALLS MUST COMPLY WITH AS 4200.1, BE INSTALLED IN ACCORDANCE WITH AS 4200.2, BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER AND HAVE A PERMEABILITY OF NOT LESS THAN 1.14 µg/N.s.
- CONDENSATION MANAGEMENT SHALL BE IN ACCORDANCE WITH PART H4D9.
- STAIRWAYS AND RAMPs SHALL BE IN ACCORDANCE WITH PART H5D2.
- BARRIERS AND HANDRAILS SHALL BE IN ACCORDANCE WITH PART H5D3.
- HEATING APPLIANCES AND FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH PART H7D5.
- ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA AND COMPLY WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY AND AS 3500 AND BE CARRIED OUT BY A LICENSED PLUMBER.
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY AND AS 3000 AND BE CARRIED OUT BY A LICENSED ELECTRICIAN.
- ALL GAS INSTALLATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY AND BE CARRIED OUT BY A LICENSED GAS FITTER.
- INSTALLATION OF WALL AND FLOOR TILES SHALL COMPLY WITH AS 3958.1.
- DRIVEWAY ACCESS SHALL COMPLY WITH AS / NZS 2890.1.



CONCRETE PLAN

SCALE 1:100



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No.	Description	Date
Amendments		
Scale:	AS NOTED @ A3.	Drawn: J.B.
		Date: 31/08/2023

Project:	PROPOSED NEW RESIENCE AT LOT 1 PLOUGHMANS ESTATE ORANGE NSW 2800
Title:	CONCRETE PLAN
Client:	CONTEMPORARY HOMES

Job No.	23-044
Dwg No.	13
Issue.	
Drawings in set:	14
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LOT B FACADE

No.	Description	Date
Amendments		
Scale:	AS NOTED @ A3.	Drawn: J.B. Date: 31/08/2023

Project:	PROPOSED NEW RESIENCCE AT LOT 1 PLOUGHMANS ESTATE ORANGE NSW 2800
Title:	VIEWS
Client:	CONTEMPORARY HOMES

Job No.	23-044
Dwg No.	14
Issue.	
Drawings in set:	14
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