

Pre-Purchase Inspection - Residential Building Report

Complies with Australian Standard AS 4349.1- 2007 Inspection of Buildings Part 1: Pre-Purchase inspections - Residential buildings



641 Mitchell Hwy Orange

PURPOSE OF INSPECTION

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to AS4349.1-2007 and the Building Inspection Agreement.

The overall condition of this building has been compared to similarly constructed & reasonably maintained buildings of approximately the same age.

If it is more than 60 days from the inspection date, we recommend a new inspection and report. If the property is being auctioned refer to the Disclaimer of Liability to Third Parties in this report.

Property Inspected

Property Inspected Details:

Re: 641 Mitchell Hwy
Orange NSW 2800

Contact Details

Inspection Requested By:	Scott Peterson McGrath Orange 0408583099 scottpetersen@mcgrath.com.au Re: 641 Mitchell Hwy Orange NSW 2800
Inspection Requested For:	Same as Inspection Requested By
Cost Billed To:	Same as Inspection Requested By
Contact For Access:	Same as Inspection Requested By

Inspection Details

Work Order/Reference Number:	1661
Inspection Date/Time:	02/12/2024 11:00 AM
Persons in attendance:	Owner
Other relevant comments:	<p>Where applicable all appliances including Central Heating/Cooling, Split System, Cook top, Oven, Rangehood, Roller Door operation, Hot Water Service Operation- taps including delivery of hot water are all tested on the day of the inspection. This is dependent on services being available eg: electricity, water and gas and access and permission from vendors available.</p> <p>Dishwashers cannot be tested for operation. It is my recommendation that operation of all above services and appliances be checked prior to handover/settlement of the property. Please refer to recommendations for trades at the conclusion of the report.</p>
Weather conditions at time of inspection:	Sunny

Agreement Details

Agreement Number:	1661
Date of Agreement:	02/12/2024 11:00 AM
Specific requirements and or conditions required:	Nil building report only

Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you prior to acting on this report.

Inspector Details

Name Of Inspection Firm:	Graham Hurford Quality Homes P/L T/A InSpec Building & Pest Inspections License No 36640C
Contact Phone:	0418 635 783
Inspector Name:	Graham Hurford
Report Prepared Date:	03/12/2024

Summary of Defects

Major Structural Defects identified to the Residential Building on day of inspection

There are no Major Structural Defects.

Major Structural Defects identified beyond the Residential Building	No
Incidence of Major Defects	Low
Incidence of Minor Defects	Typical
Overall Condition (refer to definitions)	Average
Details of possible concealment of defects:	<p>The inspection is a reasonable attempt to identify major defects and safety hazards at the time of inspection. Whilst a thorough visual inspection of the property was carried out the element of concealment of defects is always possible. The inspector cannot and will not move any furniture, floor coverings eg: floor rugs, personal items. The inspector cannot see through walls, floors, paint etc</p> <p>The report is not a warranty against problems arising in the future. Defects reported can further deteriorate or become a safety hazard if not attended to by a qualified professional as recommended in the report.</p> <p>This is not a Structural Engineers Report. Where defects of a structural nature are identified, a Structural Engineers report maybe required</p>

STRUCTURES INSPECTED

For the purpose of reporting on the property the property will be defined by compass readings e.g. North face.

1.1 641 Mitchell Hwy Orange

Structure type:	Freestanding house
Orientation:	East
Areas Inspected:	Attached Garage, Bathroom 1, Bedroom 1, Bedroom 2, Bedroom 3, Bedroom 4, Decking, Dining Room, External Structure - Shed, Family Room, Roof Exterior, Hallway, Kitchen, Laundry, Lounge Room, Roof Void, Sunroom, Toilet 1, Verandah, Walk in Robe, Walls Exterior, Ensuite
Is the building furnished?:	Yes Where a property is furnished at the time of inspection the furnishings and stored goods may be concealing issues and defects present in the property. These issues and defects may only be revealed when the property is vacated. A further inspection is strongly recommended in this case.
Construction type:	Brick veneer, Cavity brick
Pier type:	On concrete slab
Flooring type:	Concrete Slab
Verandah:	Location: East
Decks:	Location: North
Roof Structure/s:	Pitched timber, Trussed timber, Skillion
Roof covering/s:	Metal, Clear/Opaque sheeting
Pool present:	No
Are Smoke Detectors Installed:	Yes Number of smoke detectors: 2 Location of smoke detectors: Ensuite, Hallway Recommendation: All smoke detectors should be tested for serviceability and compliance.

General Comments:

Nil

AREAS WITHOUT ISSUE ON THE DAY OF INSPECTION

In relation to the Inspection Agreement, the overall condition of the following areas are consistent with buildings of approximately the same age and construction.

Bathroom 1
Bedroom 1
Bedroom 3
Bedroom 4
Decking
Dining Room
Hallway
Kitchen
Laundry
Roof Void
Toilet 1
Verandah
Walk in Robe

Access Issue 1. - Subfloor

Access Issue Type:

No Access

Reason(s) Why:

Height



The subfloor areas of the deck could not be inspected.

Access Issue 2. - Roof Void

Access Issue Type:

Restricted Access

The inspector has made a reasonable visual assessment of that area within the limitations identified.

Reason(s) Why:

Insulation



The ceiling joists could not be inspected as they were covered with insulation.

Defect 1. - Roof Exterior

Defect Location:	Various Areas
Defect Summary:	Guttering
Type of Defect:	Installation
Description:	The gutter is sagging
Ongoing Consequence:	Damage to surrounding elements
Opinion of Cracking:	Not Applicable
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required.
	Building Professional Required: Plumber



The gutter is sagging in areas and needs to be straightened/refixed.

Defect 2. - Exterior

Defect Location:	South Side
Defect Summary:	Walls - Brick
Type of Defect:	Damage
Description:	There is vertical cracking
Ongoing Consequence:	Damage to surrounding elements
Opinion of Cracking:	Serviceability cracking
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required.
	Building Professional Required: Bricklayer



Wall cracking in the brick pier.



Wall cracking and movement.

Defect 3. - Roof Exterior

Defect Location:	North Side
Defect Summary:	Roof Flashings
Type of Defect:	Installation
Description:	Flashing not fixed There is no gutter installed and the sheet ends need extra fixings installed
Ongoing Consequence:	Water ingress to Roof Void Excessive ground moisture
Opinion of Cracking:	Not Applicable
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required.
	Building Professional Required: Plumber, Roof Plumber



The missing gutter. The end of the sheeting needs extra screws installed.



The missing roof flashing and loose sheeting.

Defect 4. - Roof Exterior

Defect Location:

Various Areas

Defect Summary:

Eaves Fascia and Barges

Type of Defect:

Material deterioration

Description:

Loose eave sheeting

Ongoing Consequence:

Possible further movement

Opinion of Cracking:

Not Applicable

Building Professional:

Note: This defect should be referred to a qualified building professional for the repairs/scope of work required.

Building Professional Required: Carpenter



Loose eave sheeting



Loose eave sheeting



Loose eave sheeting

Defect 5. - Exterior

Defect Location:	Shed area.
Defect Summary:	Damaged wall cladding
Type of Defect:	Damage
Description:	Dented
Ongoing Consequence:	Further deterioration of the area.
Opinion of Cracking:	Not Applicable
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required.
	Building Professional Required: Carpenter



Damaged cladding



Damaged cladding

Defect 6. - Roof Exterior

Defect Location:	Various Areas
Defect Summary:	Guttering
Type of Defect:	Water penetration, dampness, Material deterioration
Description:	The gutter is leaking
Ongoing Consequence:	Damage to surrounding elements
Opinion of Cracking:	Not Applicable
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required. Building Professional Required: Carpenter, Painter



The gutter is leaking on the joins in various areas.

Defect 7. - Interior

Defect Location:	Attached Garage
Defect Summary:	Cracked and sagging ceilings
Type of Defect:	Damage
Description:	Sagging and cracking
Ongoing Consequence:	Safety issue.
Opinion of Cracking:	Not Applicable
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required. Building Professional Required: Plasterer, Painter



Sagging and cracked ceiling



Sagging and cracked ceiling



Sagging and cracked ceiling



Sagging and cracked ceiling.

Defect 8. - Interior

Defect Location:	Attached Garage
Defect Summary:	Garage door damage
Type of Defect:	Damage
Description:	The door is dented
Ongoing Consequence:	Further deterioration of the area.
Opinion of Cracking:	Not Applicable
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required.
	Building Professional Required: Carpenter



The dented door.

Defect 9. - Interior

Defect Location:	Hallway
Defect Summary:	Timber Doors - Fittings and Hardware
Type of Defect:	Installation
Description:	The door lock/s have broken or are missing
Ongoing Consequence:	The door will not close correctly.
Opinion of Cracking:	Not Applicable
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required.
	Building Professional Required: Carpenter



The door needs a new closer installed

Defect 10. - Interior

Defect Location:	Family Room
Defect Summary:	Ceiling Cracking and/or evidence of damage repaired
Type of Defect:	Damage
Description:	Cracking
Ongoing Consequence:	Further cracking
Opinion of Cracking:	Not Applicable
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required. Building Professional Required: Plasterer, Painter



Ceiling cracking

Defect 11. - Interior

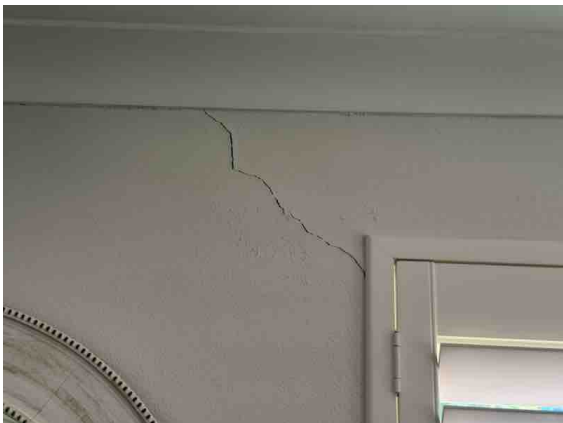
Defect Location:	Lounge Room
Defect Summary:	Timber Doors - Operation
Type of Defect:	Operational
Description:	The door is binding.
Ongoing Consequence:	Difficult to operate, Damage to surrounding elements
Opinion of Cracking:	Not Applicable
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required. Building Professional Required: Carpenter



The door is binding and needs to be eased

Defect 12. - Interior

Defect Location:	Lounge Room
Defect Summary:	Walls - Brick
Type of Defect:	Damage
Description:	There is stepped cracking
Ongoing Consequence:	Damage to surrounding elements
Opinion of Cracking:	Serviceability cracking
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required.
	Building Professional Required: Plasterer, Painter



Wall cracking

Defect 13. - Interior

Defect Location:	Bedroom 2
Defect Summary:	Timber Doors - Operation
Type of Defect:	Operational
Description:	The doors are binding on the carpet
Ongoing Consequence:	Difficult to operate, Damage to surrounding elements
Opinion of Cracking:	Not Applicable
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required.
	Building Professional Required: Carpenter



The bottom of the doors needs to be eased on the cupboard.



The entry door needs to be eased.

Defect 14. - Interior

Defect Location:	Bathroom 1
Defect Summary:	Deteriorating paintwork.
Type of Defect:	Damage
Description:	Flaking
Ongoing Consequence:	Further deterioration of the area.
Opinion of Cracking:	Not Applicable
Building Professional:	Note: This defect should be referred to a qualified building professional for the repairs/scope of work required.
	Building Professional Required: Painter



Deteriorating paintwork.

Observation 1

Area Location:

Roof void area.

Description:

There was no visual signs of any loose fill insulation in the roof void area.



Insulation in the roof void area.

Observation 2

Area Location:

The property`s appliances

Description:

The appliances were tested for operation on the day of the inspection



The split system was operating



The property has hot water throughout



The oven is operating



The cook top was operating



The garage door could not be tested on the day of the inspection.

Observation 3

Area Location:

Family room and lounge room

Description:

The fire flue needs to be checked that it is installed to the current Australian Standards and is safe before use.



The fire flue needs to be checked before use.



The fire flue needs to be checked before use.

CONCLUSIONS

CRACKING OF BUILDING ITEMS

Important information regarding cracking in masonry and concrete

Regardless of the type of crack(s) a Pre Purchase Building Inspector carrying out a Pre Purchase Inspection within the scope of a visual inspection is unable to determine the expected consequences of the cracks.

Obtaining Information regarding:

1. (a) The nature of the foundation material on which the building is resting
2. The design of the footings
3. (c) The site landscape
4. (d) The history of the cracks and
5. (e) Carrying out an invasive inspection

All fall outside the scope of this Pre Purchase Inspection. However the information obtained from the five items above are valuable, in determining the expected consequences of the cracking and any remedial work needed.

Cracks that are small in width and length on the day of the inspection may have the potential to develop over time into Structural Problems for the Home Owner resulting in major expensive rectification work been carried out.

If cracks have been identified in the table below, a Structural Engineering inspection is recommended.

Cracking of Masonry and/or Concrete

Type	Area	Description	Opinion of Cracking
Exterior	South Side	There is vertical cracking	Serviceability cracking
Interior	Lounge Room	There is stepped cracking	Serviceability cracking

Definitions

Appearance Defect - Where in the inspector's opinion the appearance of the building item has deteriorated at the time of the inspection and the significance of this cracking is unknown until further information is obtained.

Serviceability Defect - Where in the inspector's opinion the performance of the building item is flawed at the time of the inspection and the expected significance of this cracking is unknown until further information is obtained.

Structural Defect - Where in the inspector's opinion the structural soundness of the building item has diminished at the time of the inspection and the expected significance of this cracking is unknown until further information is obtained.

Other Inspections and Reports Required

It is recommended that the following Inspections and/or repairs/work required is obtained from the following trades and/or professions.

Recommendations

Recommendations from the Report

- Plumber
- Bricklayer
- Engineer
- Roof Plumber
- Carpenter
- Painter
- Plasterer

Other Inspections Recommended

Electrical, Plumbing

SIGNED BY INSPECTOR

Date:

03/12/2024

Signed:



CONTACT THE INSPECTOR

If you have any questions regarding the report, please feel free to contact the inspector. It can be challenging to communicate defects, their severity, and any inspection limitations in a manner the reader can comprehend. If you have any concerns or require any additional clarification you should contact the inspector immediately before acting on this report.

Type of Defects

The definitions below relate to the Type of Defect associated with the building element/item fixture or fitting.

Damage: The building element/item fixture or fitting is damaged, cracked or broken and is not fit for its intended purpose.

Distortion, warping, twisting: The building element/item fixture or fitting has shifted from its intended position.

Water Penetration, Dampness: Water ingress and/or dampness is found in unexpected or undesirable area(s).

Material Deterioration: The building element/item fixture or fitting is deteriorating due to rusting, corrosion, rot or decay.

Operational: The building element/item fixture or fitting does not perform as expected.

Installation: The building element/item fixture or fitting has not been installed as expected, is ineffective, unsuitable and/or has absent components.

Structural Defect: Weakness or departure from the expected structural performance of a structural building element.

Acceptance Criteria

The building will be compared to a comparable building of roughly the same age that has been constructed with the commonly accepted method at the time the building was built, and which has been maintained as expected so there has been no significant loss of strength and/or serviceability.

High: The occurrence and/or extent of defects exceeds the inspector's expectations when compared to a comparable building of roughly the same age that has been maintained as expected.

Typical: The occurrence and/or extent of defects is as the inspector anticipated when compared to a comparable building of roughly the same age that has been maintained as expected.

Low: The occurrence and/or extent of defects is lower than the inspector's expectations when compared to a comparable building of roughly the same age that has been maintained as expected.

Average: The overall condition of the building is consistent with buildings of roughly the same age. There will be some building elements that require some repair and/or maintenance.

Above Average: The overall condition of the building is above average when compared to a building roughly the same age. The building has been well maintained.

Below Average: The overall condition of the building is poor when compared with buildings of roughly the same age. There are significant defects to building elements requiring renewal, repair and/or maintenance.

Definitions

Accessible Area: is any area of the site and structures permitting safe and Reasonable Access to perform the inspection.

Building Inspection Agreement: Shall be the agreement between the client and the inspector entered into prior to the inspection taking place. This agreement includes, but is not limited to, defined purpose, specific scope/areas of inspection, acceptance criteria and limitations. Should this report be transferred, the subsequent buyer of the property shall be bound by all terms and conditions of the Building Inspection Agreement, as detailed under Clause 11 of this Report. Providing the Buyer agrees to the terms of the Building Inspection Agreement, then they may rely on the report subject to the terms and conditions of the Agreement and the Report itself.

Structural Element: Physically noticeable part of a structure. E.g., Walls, including interior, exterior, and screen, Floors, Roof and Ceiling frames, Beams and Connections.

Building Element: Section or part of a building which, by itself and/or in conjunction with other sections or parts, achieves a characteristic function. E.g., supporting, enclosing, completing or servicing a building space.

Major Defect: A defect of significant extent where remedial works must be carried out in order to prevent an unsafe environment, loss of utility or further deterioration of the property and/or building.

Minor Defect: Any other defect that is not a Major Defect. **Note:** the inspector is not required to comment on individual minor defects and imperfections.

Safety Hazard: Current or pending serious safety hazard.

Residential Building: is a building or structure within the boundaries, under the main roof (including post initial construction). Includes Verandas constructed at the same time as the main dwelling. Alfresco under main roof. Attached and/or standalone structures containing habitable rooms. Retaining walls directly associated with the foundations of the Residential Building.

Terms, Conditions and Limitations

1. The report is not an "all-inclusive" report that considers the property from every aspect and is subject to the agreed scope of the inspection.
2. Unless noted otherwise, the inspector conducted a visual, non-invasive inspection of the building elements only to the safe and accessible areas as outlined in the scope of the agreement.
3. The inspection is a reasonable attempt to identify major defects and safety hazards at the time of inspection.

4. The report is not a Certificate of Compliance with any Building Permit, Building License, Act, Regulation, Ordinance, By-law Standard or Code.
5. The report is not a warranty against problems arising in the future. Defects reported can further deteriorate or become a safety hazard if not attended to by a qualified professional.
6. Inspection on Strata, Company and Community title type buildings are limited to the interior and immediate exterior of the unit. It is recommended that the client review all available records of the Body Corporate including Maintenance Plans.
7. This is not a Structural Engineers Report. Where defects of a structural nature are identified, a Structural Engineers report maybe required.
8. Any Estimates Provided in the report are merely an educated guess by the inspector using their knowledge and experience to estimate the possible likely costs to be incurred. The estimate is not a guarantee or quotation for work to be carried out. It is recommended that independent quotes are obtained from trade professionals. The inspector accepts no responsibility or liability for any estimates provided.
9. The minimum space required for inspection is as follows:
 - a. beneath a floor - access not be less than 400mm by 500mm and the crawl space clearance to be not less than 600mm x 600mm.
 - b. exterior walls or roof and ceilings will only be inspected if it can be reached safely having regards to work and safety by use of a safe ladder which can be extended to a maximum of 3.6 metres from ground level;
 - c. roof void minimum access size must not be less than 400mm x 500mm and the available crawl spaces not less than 600mm x 600mm for reasonable movement.

10. Not Included in the Scope of the Inspection:

- a. Common areas of Strata, Company and Community title type properties.
- b. Timber Pest Activity.
- c. Presence or absence of mould.
- d. Identification of ACM (Asbestos Containing Material).
- e. Identification of flooring containing Magnesite.
- f. Inaccessible or partly inaccessible areas.
- g. Areas where access was denied.
- h. Defects that may have been concealed.
 - i. Rising damp and water ingress (leaks) that may be subject to prevailing weather conditions.
 - j. Water ingress (leaks) that are subject to services not being used for a period of time. i.e. shower recesses.
- k. Technical assessment of electrical, gas, plumbing and mechanical installations.
 - l. Site drainage.
- m. Swimming and Spa Pools.
 - n. Identification illegal building works.
 - o. Breaking apart and/or dismantling.
 - p. Removing or moving objects and materials included but not limited to vegetation, roof insulation, floor or wall coverings. Ceilings. Floors. Furniture. Appliances.
 - q. Removing or moving stored goods and/or personal possessions.
 - r. Impact to the buildings footings when trees are in close proximity.
 - s. Septic tanks.

11. Disclaimer of Liability: Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this Report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk. However, if ordered by a Real Estate Agent or a Seller for the purpose of auctioning, set date sale or private treaty of a property, then the Inspection Report may be ordered up to thirty (30) days prior to the auction, set date sale or listing, copies may be given out prior to the auction/sale and the Report will have a life of sixty (60) days from the date of Inspection during which time it may be transferred to the Buyer. Providing the Buyer agrees to the terms of the Building Inspection Agreement, then they may rely on the report, subject to the terms and conditions of the Building Inspection Agreement and the Report itself.

12. Complaints Procedure: If there is any claim and/or dispute arises with regards to the inspection and/or report you should inform us immediately by email. You must permit us full access to all areas of the property that relate to the claim and/or dispute. Within 28 days of receipt of your claim we will respond to you in writing. In the event you are not satisfied with our response you must refer the matter to a Mediator nominated by us from the Australian Mediations Association Limited within (21 days) from the date of our response. The parties shall bear equally the costs of the mediation. If you initiate court proceedings without observing the above Complaints Procedure and the proceedings are set aside, stayed or adjourned then you agree to be responsible for any costs and expenses incurred by us and you agree to keep us indemnified of such costs and expenses incurred by us.

