

ATTACHMENTS UNDER SEPARATE COVER
Monday 14 May 2018

Page 1 of 105

**Town of Gawler
Council Assessment Panel**

ATTACHMENTS UNDER SEPARATE COVER

Monday 14 May 2018

Item	Page No
5.1 Development Application: 490/166/2018 Applicant: R L LOWE Address: 1 Quarton Street GAWLER EAST Nature of Development: Carport	3
Attachment 1 – Application Plans and Documentation	5



Product	Register Search (CT 5619/720)
Date/Time	26/03/2018 02:20PM
Customer Reference	490/166/2018
Order ID	20180326008575
Cost	\$28.25

REAL PROPERTY ACT, 1886



South Australia

The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 5619 Folio 720

Parent Title(s) CT 2997/111

Creating Dealing(s) CONVERTED TITLE

Title Issued 03/02/1999 Edition 2 Edition Issued 10/05/2011

Estate Type

FEE SIMPLE

Registered Proprietor

JILLIAN FAYE LOWE
ROSS LESLIE LOWE
OF WASLEYS SA 5400
AS JOINT TENANTS

Description of Land

ALLOTMENT 10 DEPOSITED PLAN 5563
IN THE AREA NAMED GAWLER EAST
HUNDRED OF BAROSSA

Easements

NIL

Schedule of Dealings

NIL

Notations

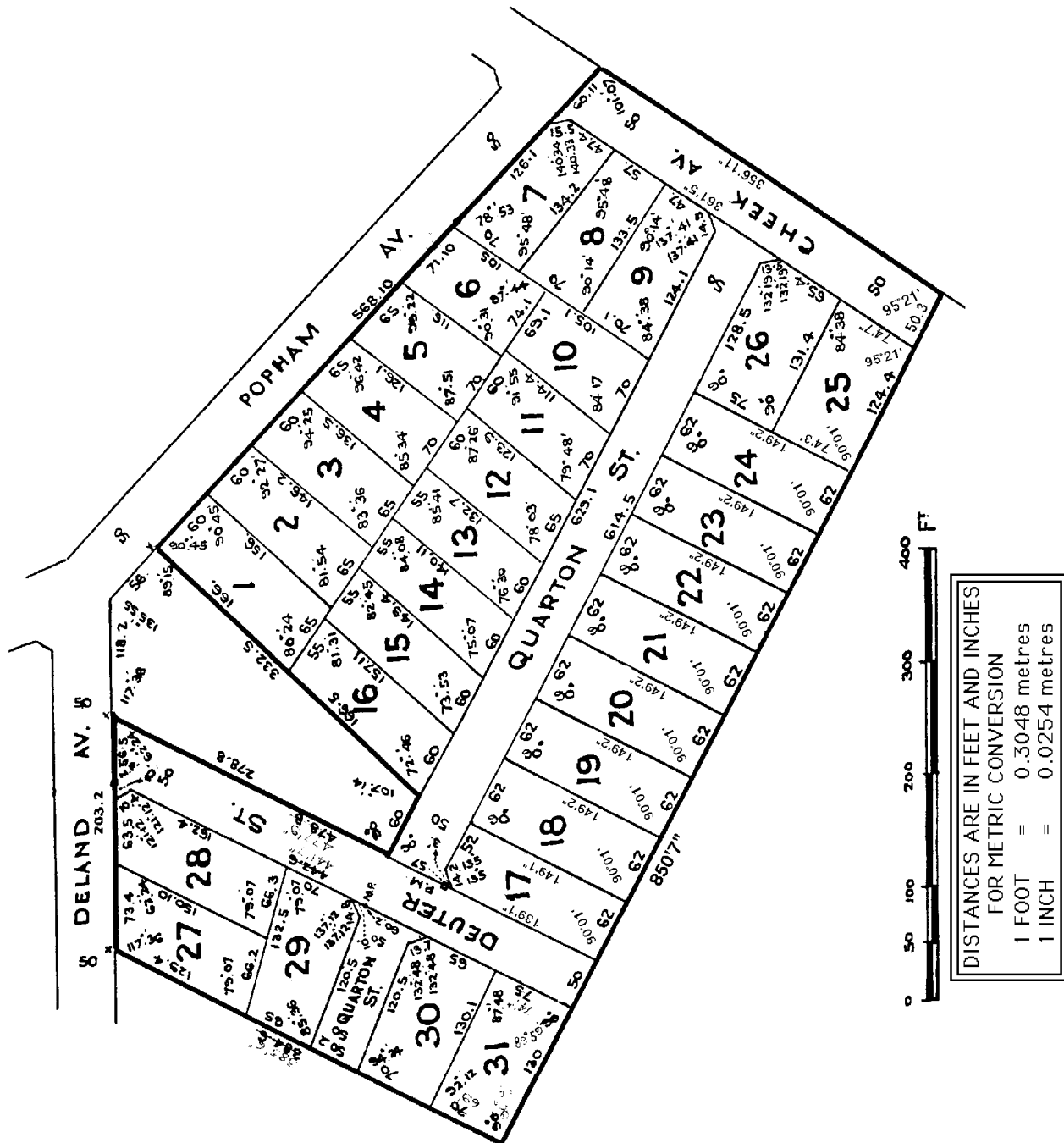
Dealings Affecting Title NIL

Priority Notices NIL

Notations on Plan NIL

Registrar-General's Notes NIL

Administrative Interests NIL



- LINK INTO STORMWATER FROM HOUSE 90mm
- * 600mm FROM BOUNDARY
- * 2040mm FROM HOUSE
- * 5200mm TO FRONT KERBING
- * CARPORT SIZE 3350mm x 5500mm



SITE PLAN
(See Note 5)

ROSS LAWE
APPLICATION 490/166/2018



To
Scott Thorne



NEW CARAVAN
SPECIFICATIONS
LENGTH 5525mm
WIDTH 2350mm
HEIGHT 2660mm

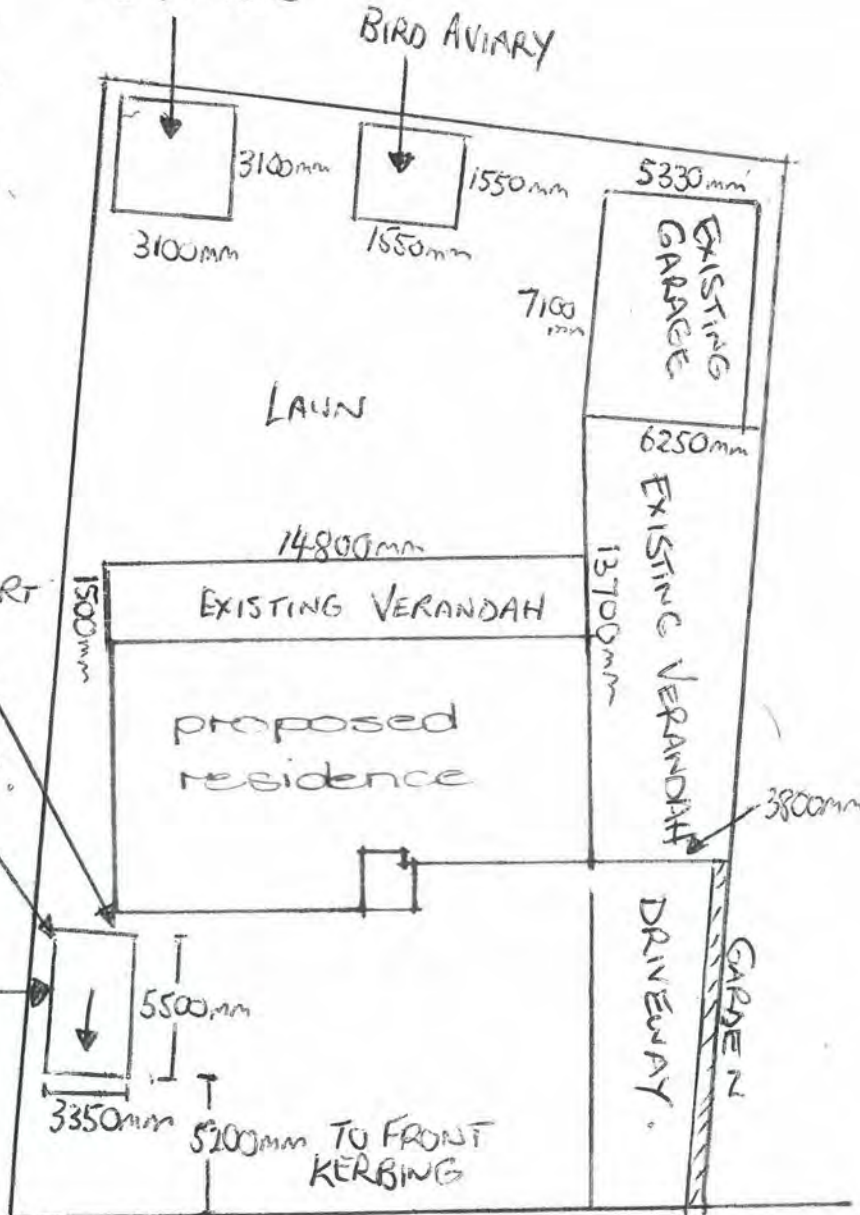
EXISTING
BBQ COVER

BIRD AVIARY

2040mm
HOUSE TO
PROPOSED CARPORT
600mm
IN FROM BOUNDARY

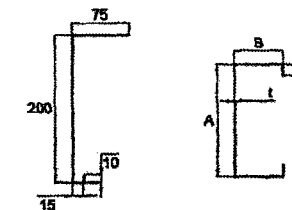
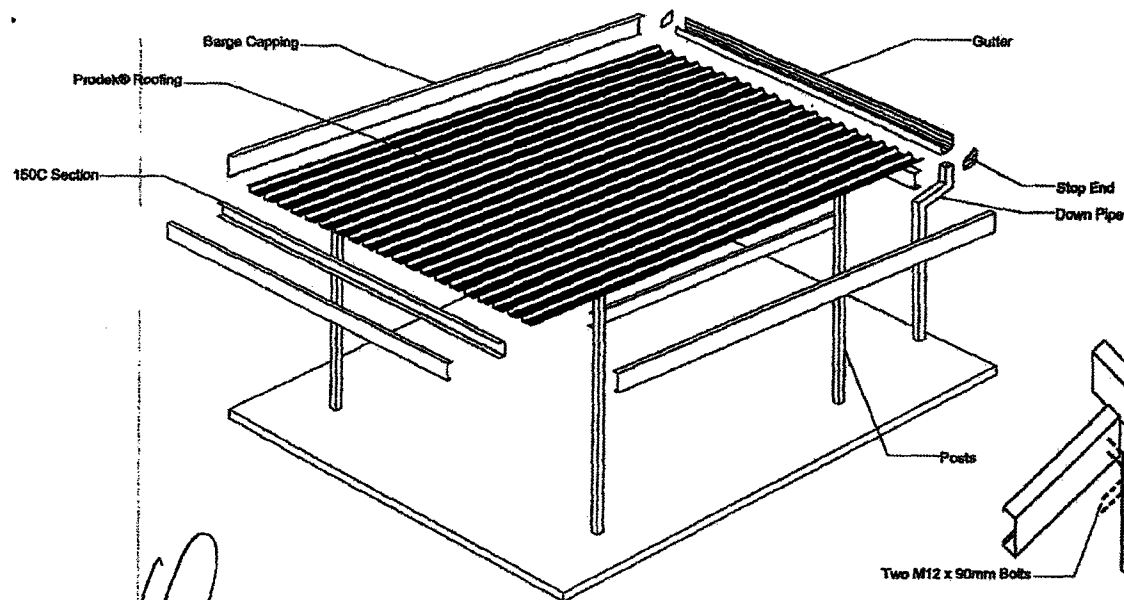
PROPOSED
CARPORT
TO HOUSE
NEW
CARAVAN

* PROPOSED
CARPORT
HEIGHT FOR
CARAVAN
CLEARANCE
2800mm

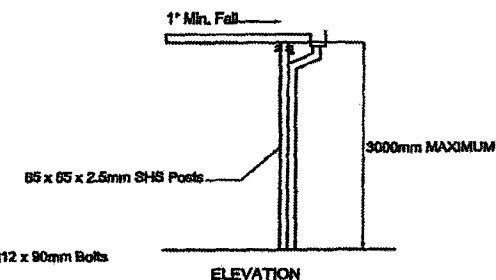
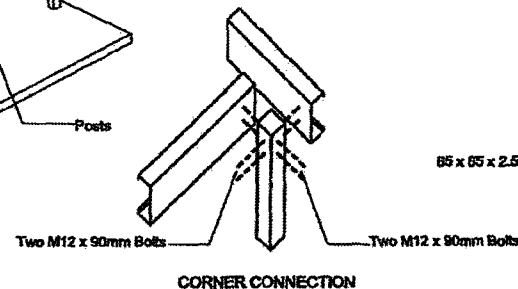


1 Quanton St - Gawler East

SITE PLAN
(See Note 5)



SECTION	A	B	C	L
C150-12 G500	152	84	15	1.2

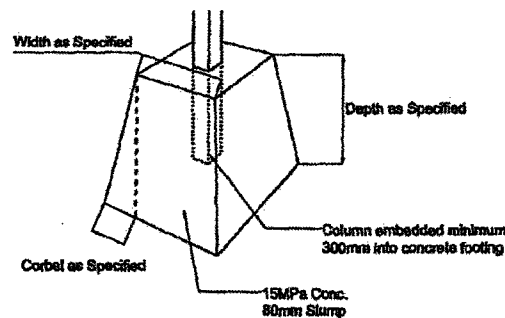


TREVOR JOHN & ASSOCIATES PTY LTD



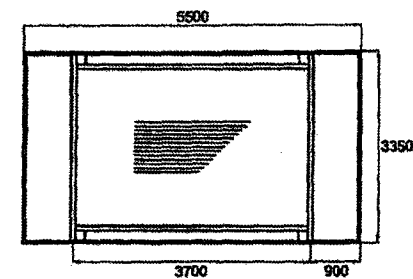
Note: 0.42mm BMT
Two 10 x 16 self drilling screws with neoprene washers per pan at each support
One 4.8mm rivet is required at the midspan of each lap, seal with silicone.

ROOF SHEETING



Note: Minimum footing size shall be 300 x 300 x 600mm with a 50mm corbel assuming a firm natural sandy clay

FOOTING



PLAN

A3 MASTER: COPYRIGHT: This design and drawing is the property of STRATCO (Australia) Pty. Ltd. and must not be used, reproduced or copied wholly or in part without written permission from the Company.©

						DRAWN: B.H.		TITLE: FRONTIER® FREESTANDING CARPORT	
						CHECKED:		SINGLE CARPORT (Posts into concrete) - W33 (N2)	
				TOLERANCES		DATE: 12/08/04		CODE: NSW/PROCAV/PRO QLD/PROCAV/PRO VIC/PROCAV/PRO	
						DRWG NO.: 6015D			
D	HEIGHT UP TO 3000mm ALLOWED	JA	01/12/06	NO. DECIMALS: ±1					
C	INCREASE M12 BOLT LENGTH TO 90mm	B.H.	28/10/04	ONE PLACE: ±0.1					
B	SPACEDEK DETAILS REMOVED	B.H.	18/10/04	TWO PLACES: ±0.01					
A	CAPPING DETAIL UPDATED	B.H.	30/09/04	ANGLE: ±°					
ISSUE	REVISION	DRN	DATE						

STRATCO

**Town of Gawler
Council Assessment Panel**

ATTACHMENTS UNDER SEPARATE COVER

Monday 14 May 2018

Item		Page No
5.2	Development Application: 490/135/2018	11
	Applicant: L E VAANANEN	
	Address: 33 Filsell Terrace GAWLER SOUTH	
	Nature of Development: Tree Damaging Activity – Removal of a Regulated Tree (Eucalyptus odorata), construction of a single storey detached dwelling, and associated fence and retaining walls (maximum combined height 3.3m)	
	Attachment 1 – Application Plans and Documentation	13
	Attachment 2 – Developers arborist report	19
	Attachment 3 – Extract from Development Regulations 2008	50
	Attachment 4 – Building Envelope Plan	51

Development Application Form

Gawler



Completing this application

- All sections must be completed. Failure to complete all sections may result in delays or the inability to process your application.
- If hand written please print clearly using BLOCK LETTERS and place a TICK in appropriate boxes

Section 1 – Correspondence Method (Planning and Building)

By selecting "I Accept" below, you agree (as the Applicant, the Owner, and/or the Authorised Agent) to be legally bound by the terms and conditions of this service and that you consent all correspondence relevant to this application or which is otherwise required to be provided to you under the Development Act 1993 and including Decision Notification Forms, stamped plans and relevant documents being provided to you in Electronic Format Only. Please tick only one of the following boxes.

☒ I Accept

OR If you do not wish to correspond electronically, 3 complete sets of hardcopy documents will be required

☐ I choose only to receive general assessment correspondence via email but to receive stamped Plans and Decision Notification Forms by hardcopy mail.

Send to the following e-mail address planwrightbdds@bigpond.com

Section 2 – Consent Sought

Select one type of consent you wish to apply for:

☒ Development Plan Consent
(Planning Only)

☐ Building Rules Consent
(Building Only)

☐ Development Approval
(Planning & Building)

i If unsure of what type of consent is needed telephone Customer Service on 8522 9211

Section 3 – Location of Proposed Development

(This section must be completed)

<input type="text"/>	OR	<input type="text" value="22"/>	<input type="text" value="6187"/>	/	<input type="text" value="654"/>
HOUSE NUMBER		LOT NUMBER	CT VOLUME		CT FOLIO
<u>Filsell</u>		<u>Gawler South</u>			<u>5118</u>
STREET		SUBURB			POSTCODE

Section 4 – Applicant Details

i Please note all correspondence will be sent to the Applicant (This section must be completed)

Name	<u>Luke Vaananen and Erin Vaananen</u>		
	GIVEN NAMES, SURNAME		
Postal Address	<u>4 Poole Street Gawler East</u>		
	No., STREET, SUBURB, STATE, POSTCODE		
Email	<u>levelearthworx@hotmail.com</u>	Phone	<u>0421 840 457</u>

Section 5 – Owners Details of the Subject Land

i If same as Applicant, leave blank and move to Section 6.

Name	<u>Luke Vaananen and Erin Vaananen</u>		
	GIVEN NAMES, SURNAME		
Postal Address	<u>as above</u>		
	No., STREET, SUBURB, STATE, POSTCODE		
Email	<input type="text"/>	Phone	<input type="text"/>

Section 6 – Contact for Further Information

i Please note this section is to be completed if contact person is not the Applicant

Name	<u>Anthea Smith c/o Planwright BDDS</u>		
	GIVEN NAMES, SURNAME		
Email	<u>planwrightbdds@bigpond.com</u>	Phone	<u>852 47139</u>

Section 7 – Builders Details

① This Section must be completed by the Applicant if applying for Building and Development Approval

☐ Owner Builder

OR

☒ Builders Name

to be advised

Phone

Postal Address

No., STREET, SUBURB, STATE, POSTCODE

Email

Lic. No.

Section 8 – Description of Development & Associated Detail

Description of Development (for example single storey detached dwelling, domestic garage, warehouse with office, tree removal)

single storey detached dwelling with garage & alfresco

Existing site use (If Known)

vacant land

Does the proposal affect a regulated or significant tree?

Yes ☐ No ☒

Note: A regulated or significant tree may be on the adjoining land that may be affected (including damage to tree roots) by the proposed development.

① If unsure what a regulated or significant tree is refer **Fact Sheet "Removal/Pruning a Tree on My property"** - this can be accessed via Councils' website: www.gawler.sa.gov.au/planning-information-sheets

Is there a brush fence within 3 metres of the proposed building work?

Yes ☐ No ☒

Are there any easements on the Land?

Yes ☒ No ☐

Is the site connected to Sewer (SA Water)?

Yes ☒ No ☐ Septic System ☐

Section 9 – Costing and Floor Area

① Council may require written justification to verify costs (This section must be completed)

Estimated total cost of Proposal: \$ 500,000

Estimated floor area of work: 324.69 m²

① Development Cost does not include fit out cost

Please note that works valued over \$40,000 require CITB Levy to be paid and the receipt must be presented to Council.

Section 10 – Declaration

Powerline Clearance

I, being the applicant for the development described herein, declare that the proposed development will involve the construction of a building which would, if constructed in accordance with the plans submitted, not be contrary to the regulations prescribed for the purposes of Section 86 of the *Electricity Act 1996*. I make this declaration under clause 2A (1) of Schedule 5 of the *Development Regulations 2008*.

☒ Yes, I acknowledge to comply with the relevant sections of the Act

A *Building Safely Near Powerlines* brochure has been prepared by the Technical Regulator to assist applicants and other interested persons. Hard copies are available from Council and the Office of the Technical Regulator. The brochure and other relevant information can also be found at www.technicalregulator.sa.gov.au.

Submission of Documents

☒ I acknowledge that Council will not accept my application unless the following has been supplied:

☒ Application Fees Paid (or credit card details provided)

☒ Site Plan

☒ Floor Plan

☒ Elevation Details (if a structure is proposed)

☒ Technical Drawings (if Building Rules Consent sought)

☒ Certificate of Title (less than 12 months old) or Title Search Fee Paid

Display of Documentation

☒ I declare the information that I have provided on this application form is correct to the best of my knowledge and that I have the authority of any copyright holder for the public display and copying of any material lodged. I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the *Development Regulations 2008* and may be made available on Council's website for public comment and as an attachment to a report item in the Agenda of Council's Development Assessment Panel.

If you have any concerns over the confidentiality or security content of such documents or information, you should discuss these with a member of Council's planning staff prior to lodging. If another person claims copyright in any material you lodge, you must obtain and provide to Council the express authority of that person for the display and copying of that material.

SIGNATURE:

AK Smith

DATE: 8/3/18

☐ Applicant

☐ Owner

☒ Page 14 of 105



Government of South Australia
Department of Planning,
Transport and Infrastructure

Product	Register Search (CT 6187/654)
Date/Time	05/03/2018 01:59PM
Customer Reference	
Order ID	20180305007627
Cost	\$28.25

REAL PROPERTY ACT, 1886



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 6187 Folio 654

Parent Title(s)	CT 6179/786			
Creating Dealing(s)	RTC 12686378			
Title Issued	01/03/2017	Edition	2	Edition Issued 17/08/2017

Estate Type

FEE SIMPLE

Registered Proprietor

BENTLEY DEVELOPMENT GROUP PTY. LTD. (ACN: 155 881 404)
OF PO BOX 623 BRIGHTON SA 5048

Description of Land

ALLOTMENT 22 DEPOSITED PLAN 115202
IN THE AREA NAMED GAWLER SOUTH
HUNDRED OF MUNNO PARA

Easements

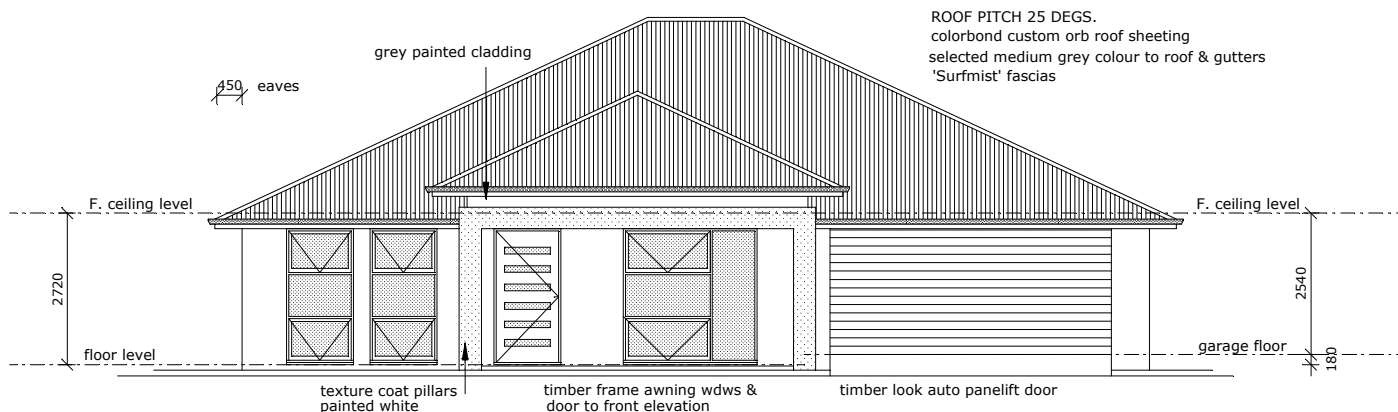
SUBJECT TO SERVICE EASEMENT(S) OVER THE LAND MARKED D ON D115202 FOR DRAINAGE PURPOSES TO THE COUNCIL FOR THE AREA (223LG RPA)

Schedule of Dealings

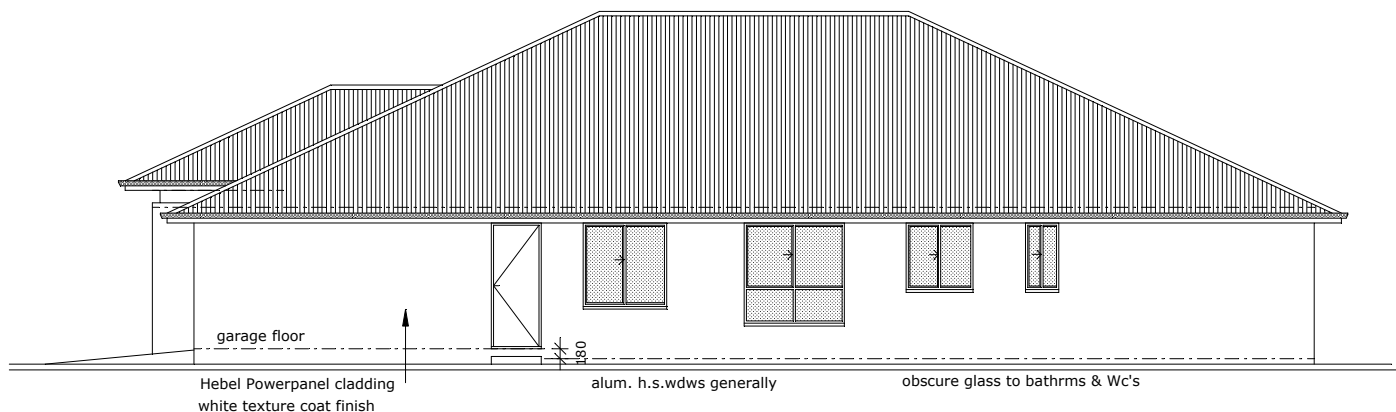
Dealing Number	Description
12225622	MORTGAGE TO NATIONAL AUSTRALIA BANK LTD.
12225624	MORTGAGE TO SCOTT JAMES SALISBURY AND MICHEL JAYNE SALISBURY WITH NO SURVIVORSHIP

Notations

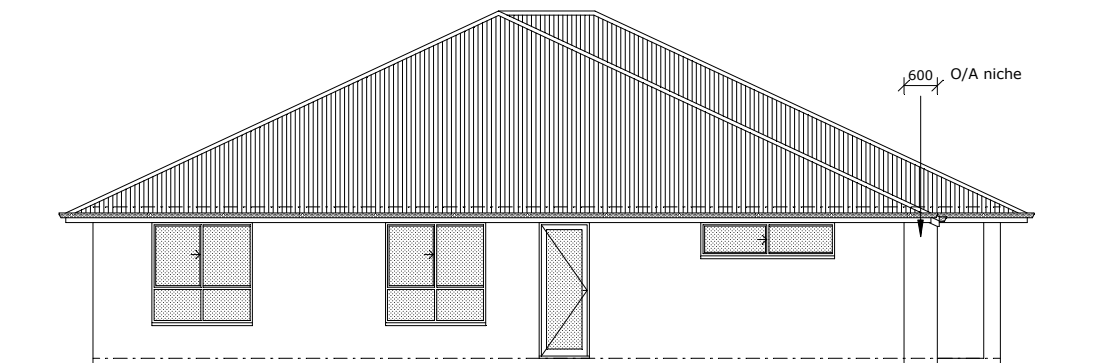
Dealings Affecting Title	NIL
Priority Notices	NIL
Notations on Plan	NIL
Registrar-General's Notes	NIL
Administrative Interests	NIL



FRONT ELEVATION

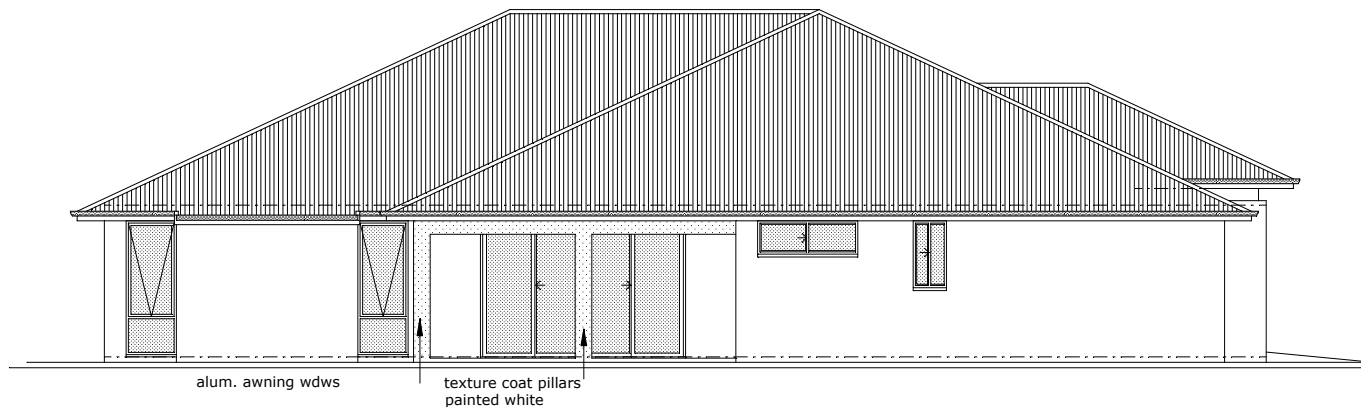


SIDE ELEVATION



REAR ELEVATION

WINDOWS :
COMPLY WITH AS 1288-2006 - GLASS IN BUILDINGS.
& WITH AS2047 - WINDOWS IN BUILDINGS.



SIDE ELEVATION

Sheet 3 of 3

Date **7.3.18** scale **A3 = 1:100** Drawn **Anthea Smith** Checked **7.3.18**

DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED. VERIFY DIMENSIONS & LEVELS BEFORE COMMENCING ON SITE. ANY DISCREPANCY TO BE REPORTED TO THE DESIGNER IMMEDIATELY. PLANS TO BE READ WITH CLIENT SPECS.

PLANWRIGHT
Building Design & Drafting Service

PO BOX 894 WILLIAMSTOWN SA 5351
Ph. 8524 7139 Mob. 0400 265 496 email - planwrightbdds@bigpond.com

Revision : **Page 17 of 105**

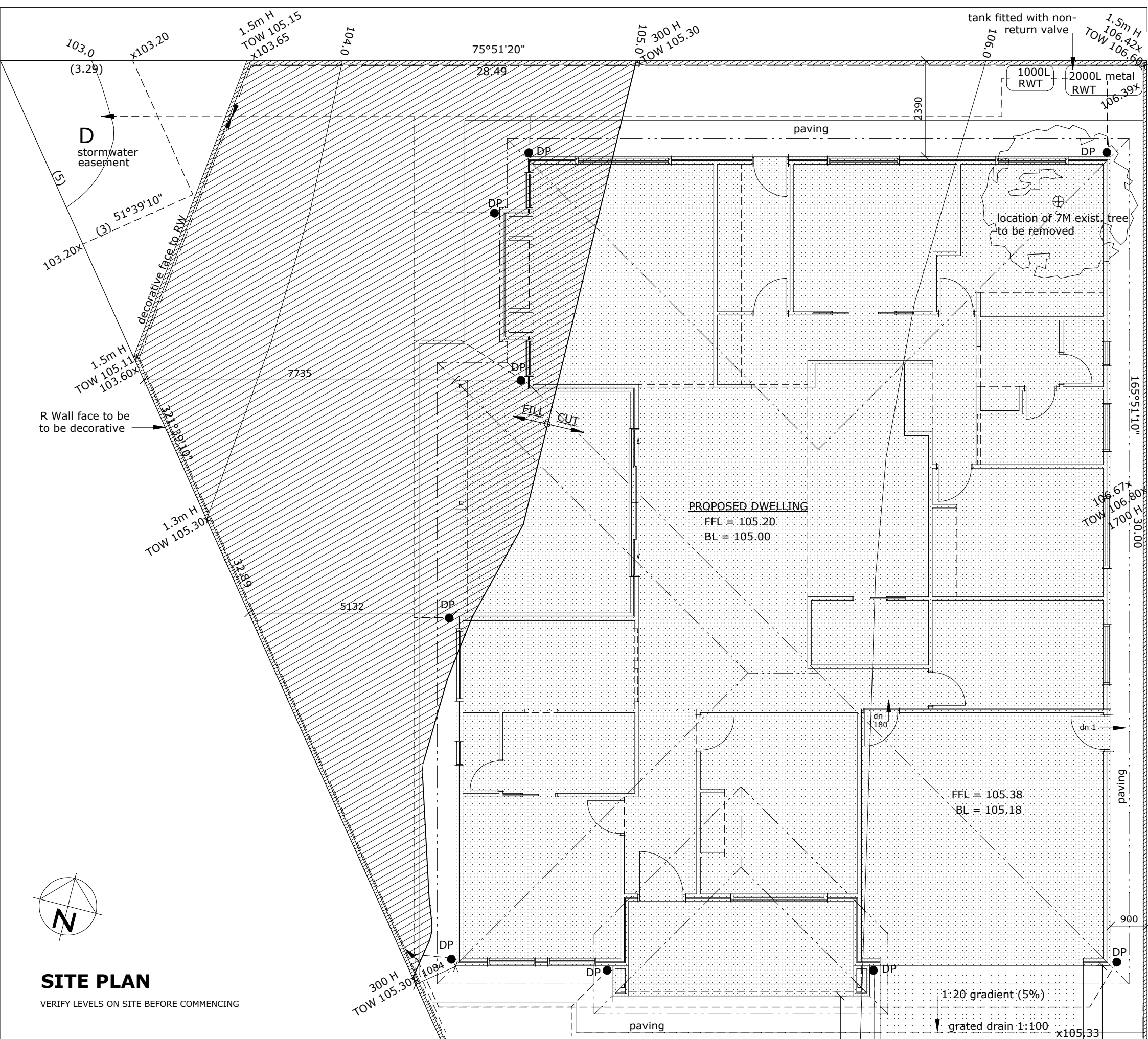
©

Note : No site survey undertaken on this site. Building offsets to boundaries approx. only. Owner & builder to determine exact boundary location plans may need alteration to comply with required bdy. setbacks.

Title
PROPOSED NEW DWELLING

Client **L E & E A VAANANEN**
P.A. **4 POOLE STREET GAWLER EAST SA 5118**

Site **LOT 22 FILSELL TERRACE**
GAWLER SOUTH SA 5118



SITE PLAN

VERIFY LEVELS ON SITE BEFORE COMMENCING

STORM WATER & DRAINAGE NOTES

Roof/Storm water to be directed to rain water tanks via 90mm dia. upvc pipe.
Overflows/balance to be directed to SW easement via 90mm dia upvc pipe.
Min fall 1:200
--- 90mm upvc pipe. Min. 1:200
● DP = 100x50mm(90mm diam) down pipes
Provide adequate protection to stormwater pipes
300mm min. cover under vehicular loading & 150mm otherwise
Provide min. 1000L rainwater storage tank plumbed
to WC or Laundry cold water.
Rainwater tanks inlets and overflow fitted with mosquito proof screens
Gutters & Downpipes as per AS/NZS 3500.2 Stormwater drainage or
AS/NZS 3500.5 Domestic Installations, Section 5 Stormwater Drainage

/// denotes conc. sleeper retaining wall - heights as shown
- - - - - denotes ag. drain at base of retaining wall min. 1:100 fall

TOW denotes top of retaining wall

Note : grade water away from building

BUILDING IN BUSHFIRE RISK AREA BAL 12.5
CONSTRUCTION AS Table SA 3.7.4.1 of the BCA & AS 3959 - 2009
Specification SA 78 'Additional requirements in designated bushfire prone areas'.
Provide a min. of 2000L of water dedicated for fire-fighting as per Ministers
and Ministers Code - 'Undertaking development in Bushfire Protection Areas'.
Dedicated rainwater tank to be non-combustible - eg conc. or iron

Note: No brush fence to be erected within 3.0m of building.

Date	scale	Drawn	Checked
19.4.18	A3 = 1:100	Anthea Smith	7.3.18
DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED. VERIFY DIMENSIONS & LEVELS BEFORE COMMENCING ON SITE. ANY DISCREPANCY TO BE REPORTED TO THE DESIGNER IMMEDIATELY. PLANS TO BE READ WITH CLIENT SPECS.			

PLANWRIGHT
Building Design & Drafting Service
PO BOX 894 WILLIAMSTOWN SA 5351
Ph. 8524 7139 Mob. 0400 265 496 email - planwrightbdds@bigpond.com

Revision: 15.3.18 Existing tree shown.
Revision: 19.4.18 RVP Driveway gradient & street infrastructure shown

Note : No site survey undertaken on this site. Building offsets to boundaries approx. only. Owner & builder to determine exact boundary location plans may need alteration to comply with requird bdy. setbacks.

Title	PROPOSED NEW DWELLING
Client	L E & E A VAANANEN
P.A.	4 POOLE STREET GAWLER EAST SA 5118
Site	LOT 22 FILSELL TERRACE GAWLER SOUTH SA 5118



Preliminary Tree Assessment

ATS3504-91&97EckAV

Site: Eckerman Avenue Gawler East

Date: Thursday, 7 April 2016

Contents

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Appendix A - Tree Assessment Methodology

Appendix B - Tree Assessment Findings

Appendix C - Mapping

Appendix D - Tree Assessment Summary

Appendix E – Tree Protection Zone Guidelines

Report Reference Number: ATS3504-91&97EckAv

Report prepared for

Chris Branford, Branford Planning and Design

Author

Gary Moran Consulting Arborist Arborman Tree Solutions Pty Ltd

Brief

Arborman Tree Solutions was engaged to undertake a Preliminary Tree Assessment at the site location known as the Woodvale Development Eckerman Avenue Gawler East. The purpose of a Preliminary Tree Assessment is to evaluate tree(s) suitability for retention through the identification of the tree retention value.

In accordance with section 2.2 of the *Australian Standard 4970-2009 Protection of trees on development sites (2.2)* the following information is provided:

- Assessment of the general condition and structure of the subject trees.
- Identification of the regulated status of trees on site as defined in the *Development Act 1993*, the *Native Vegetation Act 1991* and Local Development Plan; and mark on plan.
- Identify and define the appropriate Tree Protection Zone and Structural Root Zone for each tree.
- Provide information in relation to the management of trees.

Documents & Information Provided

The following information was provided for the preparation of this assessment

- Site Plan Drawing 15-1221-002

Site Location

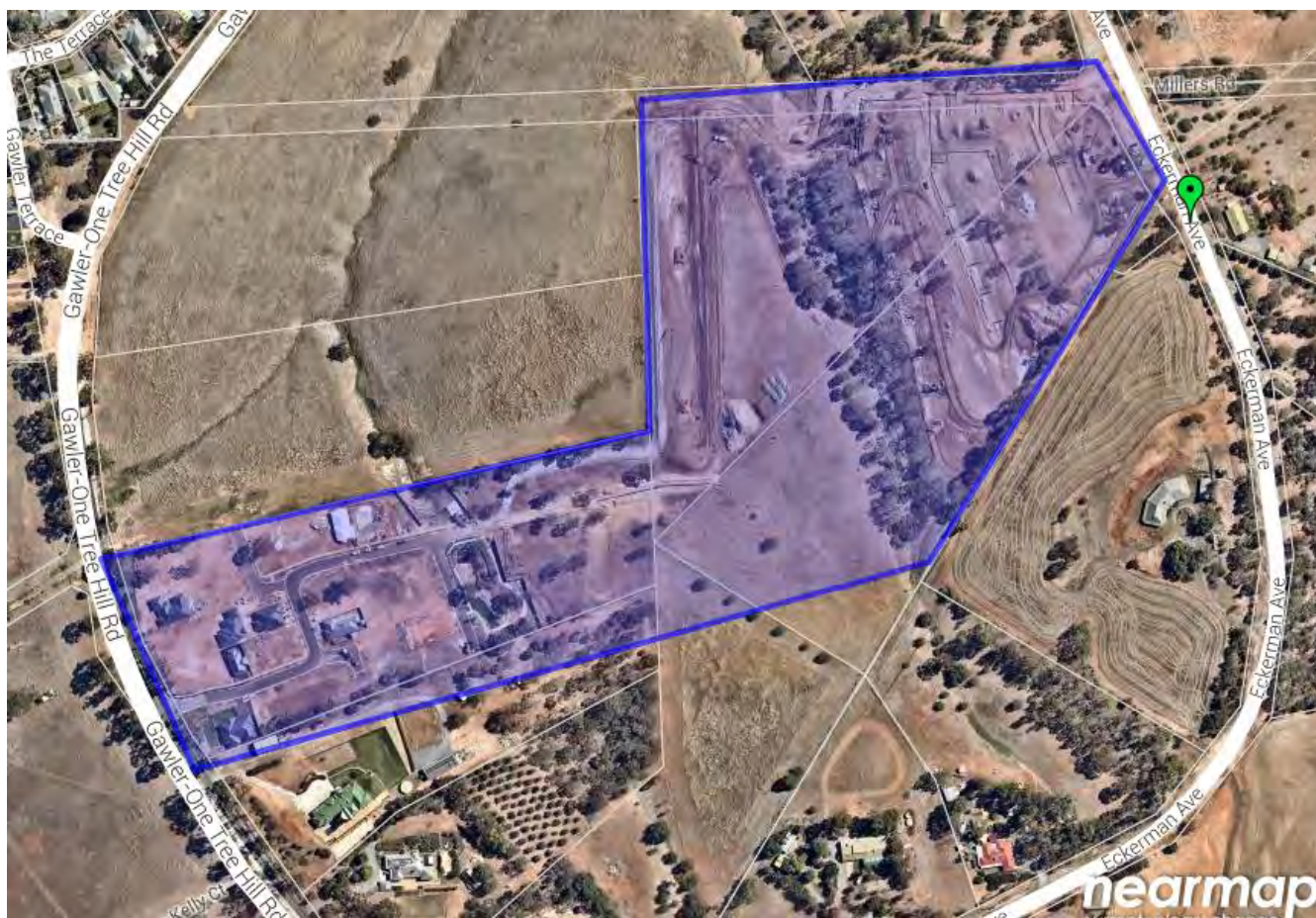


Figure 1: Survey site location - Eckerman Avenue Gawler East

Methodology

A site inspection was undertaken on Wednesday, 4 March 2015. Tree(s) included in this report were mapped using a Trimble Geo7X handheld and assigned a unique number. Individual tree findings were recorded using the Tree Assessment Form (TAF©). Tree Health Indicator (THI©), Tree Structure Assessment (TSA©) and Useful Life Expectancy (ULE), were assessed using those methods described in Appendix A. Legislative Status was identified for all trees as prescribed under the *Development Act 1993*.

Tree retention was determined by reviewing those principles prescribed under the local development plan or relevant authority and applying these findings in the Tree Retention Rating (TRR©) method, as described within Appendix A. Risk assessment was performed using the International Society of Arboriculture Tree Risk Assessment method. Tree Protection Zones were calculated using the Australian Standard 4970-2009 (Section 3.2). Mapping was performed using GIS and CAD software.

Limitations: tree management options such as, soil amelioration, pathogen treatment are not considered as part of this report; these should be considered in relation to any proposed development.

Findings

I was asked to assess three trees within this site which were not included within the original tree survey. Two trees achieved a circumference of the trunk greater than two metres. The trees were identified to be a variety of indigenous and Australian native species. The trees were assessed from ground level and their locations are highlighted within the site plan in Appendix C – Mapping.

Tree 1 is identified as *Eucalyptus odorata* which is indigenous to the rocky eastern slopes of the Mount Lofty Ranges and not the area of the Woodvale Development and it appears to part of a planted row on the boundary. Additionally, this tree is a small tree which achieves a regulated status by multi trunks and therefore offers limited amenity and environmental benefit to the area. This Tree appears to be in direct conflict with the development of the easement area and does not warrant development constraint.

While Tree 1 achieves a regulated trunk circumference, it does not meet any other criteria within the local development plan which suggests it is significant to the local area. The removal of Tree 1 therefore may be warranted to achieve the proposal.

While Tree 2 achieves both a regulated trunk circumference and aesthetic and/or environmental qualities that suggest they it is significant to the local area, it has compromised structure without remediation options suggesting its removal is an appropriate management option. It is my opinion, that under the *Development Act 1993*, its removal is warranted.

The intent is to retain Trees 1 and 2 however they are located within the SA Water easement and potentially in conflict with the pipeline location. If these trees are to be retained standard engineering solutions to minimise impact should be employed.

Tree 3 is unregulated within *Development Act 1993*. This tree may be restricting reasonable development therefore their removal may be an appropriate management option and development application is not required. Alternatively its retention could be considered.

Australian Standard AS4970-2009 Protection of trees on development sites prescribes the use of a Tree Protection Zone (TPZ) as the principle means of protecting trees throughout the development process. The radius of a TPZ is calculated based on trunk diameter. If encroachment is required within any TPZ, the Project Arborist should be consulted to determine potential impacts and mitigation measures. TPZ radii have been provided within Appendix D - Tree Assessment Summary and can be used to determine scope for development of the site.

General pruning is recommended for trees to be retained and is aimed at managing risk. All pruning should be conducted by Qualified Arborists in accordance with Australian Standard AS4373-2007 *Pruning of amenity trees*.

Discussion

Trees identified as worthy of protection are those trees that will provide environmental and or aesthetic contribution to the local area when assessed, therefore conservation of these trees is encouraged. Trees identified as requiring removal are those trees displaying one or a number of the following attributes:-

- a) provide little benefit
- c) present an unacceptable risk to persons or property

If any of the trees are to be retained, they require protection from tree damaging activity. This is best achieved through design that is sympathetic to tree long-term tree viability. This design process should occur in consultation the Project Arborist. The Australian Standard AS4970-2009 *Protection of trees on development sites* prescribes the use of a Tree Protection Zone (TPZ) as the principle means of protecting trees during development; the development design should avoid encroachment in these areas.

The radius of the TPZ for each tree is presented in Appendix D - Tree Assessment Summary. Development activities that encroach within the identified Tree Protection Zones must be assessed by the Project Arborist, who can determine these impacts and help provide measures to reduce these impacts. This assessment process is best communicated through an Arboricultural Development Impact Report.

Trees within this report considered not worthy of retention or recommended for removal may require approval from the relevant authority. Development approval is required for trees recognised as either Regulated, Significant or protected under the *Native Vegetation Act 1991*. The regulatory status of each tree are presented in Appendix D - Tree Assessment Summary of this report.

TPZ radii have been provided within the Appendix D - Tree Assessment Summary section of this report.

Recommendation

The following recommendations are presented based on the Preliminary Tree Assessment:

1. Any trees identified as Regulated as listed in Appendix D Tree Assessment Summary require development approval prior to any tree damaging activity occurring. This includes tree removal and may include pruning.
2. A Project Arborist should be appointed to assist in the design around trees to be retained and this communicated through a Development Impact Report.

Thank you for the opportunity to provide this report. Should you have any questions or require further information, please contact me and I will be happy to be of assistance.

Yours sincerely



GARY MORAN
Consulting Arboriculturist
Advanced Certificate in Arboriculture



Glossary

Size:	approximate height and width of tree in metres.
Age:	identification of the maturity of the subject tree.
Useful Life Expectancy:	expected number of the years that the subject specimen will remain alive and sound in its current location and/or continues to achieve the relevant Principles of Development Control.
Health:	visual assessment of tree health.
Structure:	visual assessment of tree structure.
Circumference:	trunk circumference measured at one metre above ground level. This measurement is used to determine the status of the tree in relation to the <i>Development Act 1993</i> .
Diameter at Breast Height (DBH):	trunk diameter measured at 1.4 metres above ground level used to determine the Tree Protection Zone as described in Australian Standard AS4970-2009 <i>Protection of trees on development sites</i> .
Diameter at Root Buttress (DRB):	trunk diameter measured just above the root buttress as described in Australian Standard AS4970-2009 <i>Protection of trees on development sites</i> and is used to determine the Structural Root Zone.
Tree Damaging Activity	Tree damaging activity includes those activities described within the <i>Development Act 1993</i> such as removal, killing, lopping, ringbarking or topping or any other substantial damage such as mechanical or chemical damage, filling or cutting of soil within the TPZ. Can also include forms of pruning above and below the ground.
Tree Protection Zone:	area of root zone that should be protected to prevent substantial damage to the tree's health.
Structural Root Zone:	calculated area within the tree's root zone that is considered essential to maintain tree stability.
Project Arborist	A person with the responsibility for carrying out a tree assessment, report preparation, consultation with designers, specifying tree protection measures, monitoring and certification. The Project Arborist must be competent in arboriculture, having acquired through training, minimum Australian Qualification Framework (AQTF) Level 5, Diploma of Horticulture (Arboriculture) and/or equivalent experience, the knowledge and skills enabling that person to perform the tasks required by this standard.

References

Australian Standard AS4970–2009 ***Protection of trees on development sites***: Standards Australia.

Matheny N. Clark J. 1998: ***Trees and Development a Technical Guide to Preservation of Trees During Land Development***. International Society of Arboriculture, Champaign, Illinois, USA.

Dunster J.A., Smiley E.T., Metheny N. and Lilly S. 2013. ***Tree Risk Assessment Manual***. International Society of Arboriculture, Champaign, Illinois USA.

Appendix A - Tree Assessment Methodology

Tree Assessment Form (TAF©)

Record	Description
Tree	A perennial woody plant with a mature height of greater than 5 metres and life expectancy of more than 10 years.
Genus and Species	Trees are identified using normal field plant taxonomy techniques. Due to hybridisation and plant conditions available on the day of observation it may not always be possible to identify the tree to species level; where species cannot be ascertained <i>sp.</i> is used.
Height	Tree height is observed and recorded in the following ranges; 0-5m, 5-10m, 10-15m and >20m.
Spread	Crown width (projection) diameter is recorded by the following fields 0-5m, 5-10m, 10-15m, 15-20m, >20m.
Tree Health	Tree health was assessed using the Arborman Tree Solutions - Tree Health Assessment Method that is based on international best practice.
Tree Structure	Tree structure was assessed using Arborman Tree Solutions - Tree Structure Assessment Method that is based on international best practice.
Tree Risk Assessment	Trees were assessed using the International Society of Arboriculture Level 1 Tree Assessment method. The person conducting the assessment has acquired the International Society of Arboriculture Tree Risk Assessment Qualification (TRAQ).
Legislative Status	Legislation status was identified through the interpretation of the <i>Development Act 1993</i> , and the <i>Natural Resource Management Act 2004</i> as well as other relevant legislation, therefore determining regulatory status of the subject tree.
Mitigation	Measures to reduce tree risk may be recommended in the form of pruning and this listed in the Tree Assessment Findings (Appendix C). Tree pruning is recommended in accordance with AS4373-2007 <i>Pruning amenity trees</i> where practicable. Where measures to mitigate risk is not possible and the risk is unacceptable, then tree removal or further investigation is recommended.

Useful Life Expectancy (ULE)

Years	Definition	ULE Value
0	The tree has surpassed its Useful Life Expectancy.	Surpassed
<5	The tree is considered to have a Useful Life Expectancy of less than five years.	Low
<10	The tree is considered to have a Useful Life Expectancy of less than ten years.	Medium
>10	The tree is considered to have a Useful Life Expectancy of more than ten years.	High

Maturity (Age)

Age Class	Definition	Value
Senescent	The tree has surpassed its optimum growing period and is declining and/or reducing in size. May be considered as a veteran in relation to its ongoing management. Tree will have generally reached greater than 80% of its expected life expectancy.	1
Mature	A tree which has reached full maturity in terms of its predicted life expectancy and size, the tree is still active and experiencing cell division. Tree will have generally reached 20-80% of its expected life expectancy.	2
Semi Mature	A tree which has established, but has not yet reached maturity. Normally tree establishment practices such as watering will have ceased. Tree will generally not have reached 20% of its expected life expectancy.	3
Juvenile	A newly planted tree or one which is not yet established in the landscape. Tree establishment practices such as regular watering will still be in place. Tree will generally be a newly planted specimen up to five years old; this may be species dependant.	4

Tree Health Indication (THI©)

Category	Description	Health Value
Good	Tree displays high vigour, uniform leaf colour, no or little dieback (<5%), crown density (>85%) and or healthy axillary buds and typical internode length. The tree has little to no pest and/or disease infestation.	3
Fair	Tree displays low vigour, dull leaf colour, little dieback (<15%), crown density (>70%) and/or reduced axillary buds and internode length. Minor pest and/or disease infestation potentially impacting on tree health.	2
Poor	Tree displays no vigour, chlorotic or dull leaf colour, moderate to high crown dieback (>15%), low crown density (<70%) and/or few or small axillary buds and shortened internode length. Pest and or disease infestation is evident and/or widespread.	1
Dead	The tree has died and has no opportunity for recovery.	0

Tree Structural Assessment (TSA©)

Category	Description	Structure Value
Good	Little to no branch failure observed within the crown, well-formed unions, no included bark, good branch and trunk taper present, root buttressing and root plate are typical.	3
Fair	History of minor branch failure observed in crown, well-formed unions, no included bark, acceptable branch and trunk taper present, root buttressing and root plate are typical.	2
Poor	History of significant branch failure observed in crown, poorly formed unions, included bark present, branch and trunk taper absent, root buttressing and root plate are atypical.	1
Failed	The structure of the tree has or is in the process of collapsing.	0

Tree Risk Assessment

The risk assessment was conducted using the principles and guidelines of the International Society of Arboriculture - Tree Risk Assessment Qualification (TRAQ).

TRAQ assesses the Tree Risk Rating in three parts that are divided into two stages Likelihood and Consequence; the Likelihood assessment considers two parts Likelihood of Failure and Likelihood of Impact which are combined in a matrix to determine the Likelihood of Impacting a Target. The following categories are used to determine the Likelihood of Impacting a Target for a given tree:-

1. **Likelihood of Failure** – this is the assessment potential for branch failure. The likelihood of failure uses the following categories:-
 - a. Imminent the tree is failing or is about to fail i.e.: >90% chance.
 - b. Probable a failure is likely to occur within the inspection period i.e.: >50% chance.
 - c. Possible a failure may occur within the inspection period i.e.: <50% chance.
 - d. Improbable a failure is unlikely to occur within the inspection period i.e.: <10% chance.

2. **Likelihood of Impact** – this is an assessment of the potential for a failed branch to contact a person, vehicle, property or other target within the target area. The likelihood of failure uses the following categories:
 - a. High a failure will almost definitely impact a target.
 - b. Medium a failure will probably impact a target.
 - c. Low a failure will possibly impact a target.
 - d. Very Low a failure is unlikely to impact a target.

The results of the Likelihood assessment are placed into the following matrix to determine the **Likelihood of Impacting a Target**.

Likelihood Matrix

Likelihood of Failure	Likelihood of Impacting Target			
	Very Low	Low	Medium	High
Imminent	Unlikely	Somewhat likely	Likely	Very likely
Probable	Unlikely	Unlikely	Somewhat likely	Likely
Possible	Unlikely	Unlikely	Unlikely	Somewhat likely
Improbable	Unlikely	Unlikely	Unlikely	Unlikely

The Consequence of Failure section of the assessment considers the result of a failure on the target. The following categories are used to determine the Consequences of a failure impacting a Target for a given tree.

3. **Consequence of Failure** – This is an assessment of the consequence of the branch failure on the target. Consequence of Failure includes factors such as size of part, the level of damage or injury, target protection and target value (monetary or otherwise). The following categories are used to determine the Consequences of Failure for a given tree:-
- a. **Severe** The consequences of an impact will be severe potentially involving serious injury or death or serious damage to or loss of property or infrastructure.
 - b. **Significant** The consequences of an impact will be significant potentially involving major injury or damage to property or infrastructure.
 - c. **Minor** The consequences of an impact will be minor potentially involving minor injury or minimal damage to property or infrastructure.
 - d. **Negligible** The consequences of an impact will be negligible potentially involving no or inconsequential injury or damage to property or infrastructure.

The **Likelihood of Impact** and **Consequence of Failure** are then placed into the following matrix to determine the **Tree Risk Rating**.

Tree Risk Rating Matrix

Likelihood of Failure & Impact	Consequences of Failure			
	Negligible	Minor	Significant	Severe
Very likely	Low	Moderate	High	Extreme
Likely	Low	Moderate	High	High
Somewhat likely	Low	Low	Moderate	Moderate
Unlikely	Low	Low	Low	Low

This Tree Risk Rating is used to qualify the risk so that suitable mitigation strategies can be implemented.

Tree Retention Rating (TRR©)

The Tree Retention Rating was conducted assessing Tree Health and Structure (TRR Matrix 1) and then assessing this result against the estimated Useful Life Expectancy (TRR Matrix 2). These results were then assessed against the recognised environmental and social benefits that the tree presents (TRR Matrix 2) thereby providing a quantitative measure to determine the tree retention value.

TRR MATRIX 1: Structure and Health

	Health			
Structure	Good	Fair	Poor	Dead
Good	A1	A1	A2	A3
Fair	A1	A2	A2	A3
Poor	A3	A3	A3	A3

TRR MATRIX 2: Life Expectancy and Structure/Health

	TRR Matrix 1		
ULE	A1	A2	A3
Long	High	High	Med
Med	High	Med	Med
Short	Low	Low	Low
Dead	Low	Low	Low

TREE RETENTION RATING

	TRR Matrix 2		
Amenity Value	High	Med	Low
Meets all Criteria	High	High	Moderate
Rare and or Endangered	High	High	Moderate
Environmental habitat	High	Moderate	Moderate
Amenity Character	High	Moderate	Low
Minor Contribution i.e. shade/aesthetics	Moderate	Low	Low
Small or Young Tree	Low	Low	Low

Retention Value (High) These trees are considered important and should be retained and protected in accordance with the Australian Standard 4970-2009 Protection of Trees on Development Sites.

Retention Value (Moderate) These trees are considered suitable for retention and protected in accordance with the Australian Standard 4970-2009 Protection of Trees on Development Sites.

Retention Value (Low) These trees are not suitable for long term retention.

Appendix B - Tree Assessment Findings

INSPECTION DATE

Thursday, 3 March 2016

BOTANIC NAME

Eucalyptus leucoxylon

COMMON NAME

South Australian Blue Gum

Height 5-10 metres

Spread 5-10 metres

Health Good

Structure Poor

Trunk Circumference 2.65 metres

Useful Life Expectancy Surpassed

TREE PROTECTION

Tree Protection Zone (TPZ) **6.84 metres**

Structural Root Zone (SRZ) **Not Applicable**

LEGISLATIVE STATUS

This tree has a trunk circumference greater than two metres and less than three metres and is therefore identified as a Regulated Tree as defined within the Development Act 1993.

Tree provides only minor environmental and or aesthetic contribution to the local area.



GPS Coordinates (WGS 84) 138.755554535,-34.618381992

Tree No: 1

Legislative Status	Regulated
Tree Retention Rating	Low
Risk	Low

OBSERVATIONS/ NOTES

There are multiple bark inclusions within the primary structure.

RECOMMENDATIONS

Tree removal is recommended.



INSPECTION DATE

Thursday, 3 March 2016

BOTANIC NAME

Eucalyptus odorata

COMMON NAME

Peppermint Box

Height 5-10 metres

Spread 5-10 metres

Health Fair

Structure Fair

Trunk Circumference 2.45 metres

Useful Life Expectancy >10 years

TREE PROTECTION

Tree Protection Zone (TPZ) **4.8 metres**

Structural Root Zone (SRZ) **Not Applicable**

LEGISLATIVE STATUS

This tree has a trunk circumference greater than two metres and less than three metres and is therefore identified as a Regulated Tree as defined within the Development Act 1993.

Tree provides only minor environmental and or aesthetic contribution to the local area.

OBSERVATIONS/ NOTES

Small tree which makes a limited contribution to the area.

RECOMMENDATIONS

Retain Tree if possible. The tree is located within the SA Water easement and potentially in conflict with the pipeline location. If the tree is to be retained standard engineering solutions to minimise impact should be employed.



GPS Coordinates (WGS 84) 138.754835439,-34.618513154

Tree No: 2

Legislative Status	Regulated
Tree Retention Rating	Moderate
Risk	Low



INSPECTION DATE

Friday, 4 March 2016

BOTANIC NAME

Eucalyptus camaldulensis

COMMON NAME

River Red Gum

Height 5-10 metres

Spread 5-10 metres

Health Good

Structure Good

Trunk Circumference 1.45 metres

Useful Life Expectancy >10 years

TREE PROTECTION

Tree Protection Zone (TPZ) **5.28 metres**

Structural Root Zone (SRZ) **Not Applicable**

LEGISLATIVE STATUS

This tree is not regulated under the Development Act 1993.

Tree provides only minor environmental and or aesthetic contribution to the local area.

OBSERVATIONS/ NOTES

RECOMMENDATIONS

Retain Tree if possible.



GPS Coordinates (WGS 84) 138.758478796,-34.617050471

Tree No: 3

Legislative Status	Unregulated
Tree Retention Rating	Low
Risk	Low

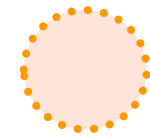


Appendix C - Mapping

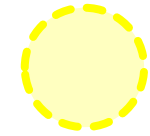


Key

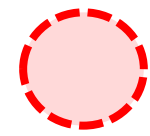
Unregulated



Regulated



Significant



Exempt



Location and Legislative Status

Map 1 of 1 - 7 April 2016

ATS3504-91&97EckAv
Eckerman Avenue Gawler East

Appendix D - Tree Assessment Summary

Tree Assessment Summary

Tree Number	Botanic Name	Legislative Status	TPZ	SRZ	Retention Rating	Risk Rating	Recommendation
1	<i>Eucalyptus leucoxylon</i>	Regulated	6.84 metres	Not Applicable	Low	Low	Remove Tree.
2	<i>Eucalyptus odorata</i>	Regulated	4.8 metres	Not Applicable	Moderate	Low	No Action.
3	<i>Eucalyptus camaldulensis</i>	Unregulated	5.28 metres	Not Applicable	Low	Low	No Action.

Appendix E - Tree Protection Zone Guidelines

Tree Protection Zone General Specifications and Guidelines

The Tree Protection Zone(s) is identified on the site plan. The TPZ is an area where construction activities are regulated for the purposes of protecting tree viability. The TPZ should be established so that it clearly identifies and precludes development/construction activities including personnel.

If development activities are required within the TPZ then these activities must be reviewed and approved by the Project Arborist. Prior to approval, the Project Arborist must be certain that the tree(s) will remain viable as a result of this activity.

Work Activities Excluded from the Tree Protection Zone:

- a) Machine excavation including trenching;
- b) Excavation for silt fencing;
- c) Cultivation;
- d) Storage;
- e) Preparation of chemicals, including preparation of cement products;
- f) Parking of vehicles and plant;
- g) Refuelling;
- h) Dumping of waste;
- i) Wash down and cleaning of equipment;
- j) Placement of fill;
- k) Lighting of fires;
- l) Soil level changes;
- m) Temporary or permanent installation of utilities and signs, and
- n) Physical damage to the tree.

Protective Fencing

Protective fencing must be installed around the identified Tree Protection Zone (See Figure1). The fencing should be chain wire panels and compliant with AS4687 - 2007 *Temporary fencing and hoardings*. Shade cloth or similar material should be attached around the fence to reduce dust, other particulates and liquids entering the protected area.

Temporary fencing on 28kg bases are recommended for use as this eliminates any excavation requirements to install fencing. Excavation increase the likelihood of root damage therefore should be avoided where possible throughout the project.

Existing perimeter fencing and other structures may be utilised as part of the protective fencing.

Any permanent fencing should be post and rail with the set out determined in consultation with the Project Arborist.

Where the erection of the fence is not practical the Project Arborist is to approve alternative measures.

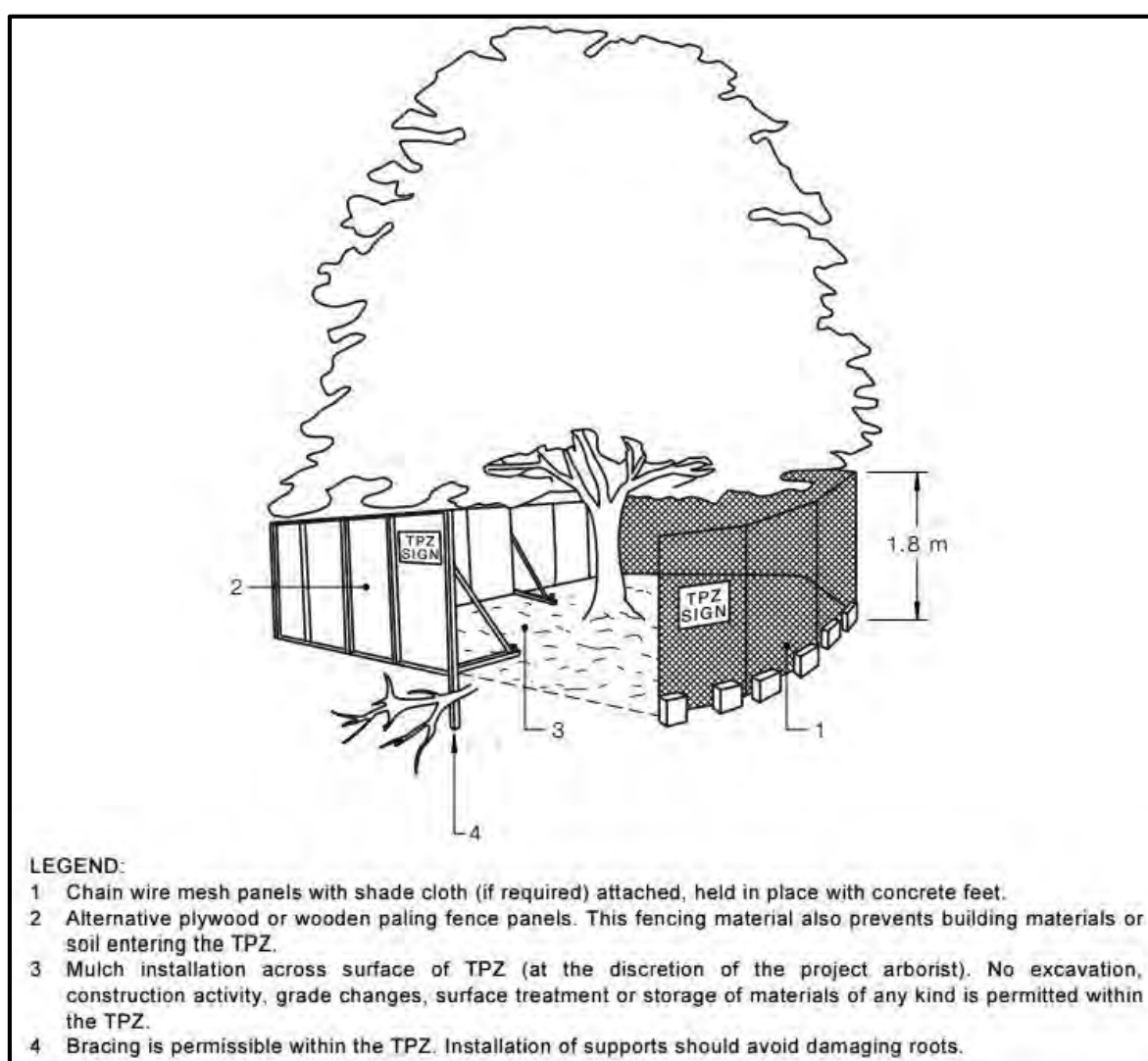


Figure 1 Showing example of protection fencing measures suitable.

Signage

The TPZ must be clearly identified with signs placed around the edge of the TPZ and be visible within the development site.

Lettering on the sign should comply with AS 1319 - 1994 *Safety signs for the occupational environment*.



arborman[®]
tree solutions
PROFESSIONALS IN ARBORICULTURE

Other Protection Measures

General

When a TPZ exclusion area cannot be established due to practical reasons or the area needs to be entered to undertake construction activities then additional tree protection measures may need to be adopted. Protection measures should be compliant with AS4970-2009 and approved by the Project Arborist

Installation of Scaffolding within Tree Protection Area.

Where scaffolding is required within the TPZ branch removal should be minimised. Any branch removal required should be approved by the Project Arborist and performed by a certified Arborist and performed in accordance with AS4373-2007. Approval to prune branches must be documented and maintained.

Ground below scaffold should be protected by boarding (e.g. scaffold board or plywood sheeting) as shown in Figure below. The boarding should be left in place until scaffolding is removed.

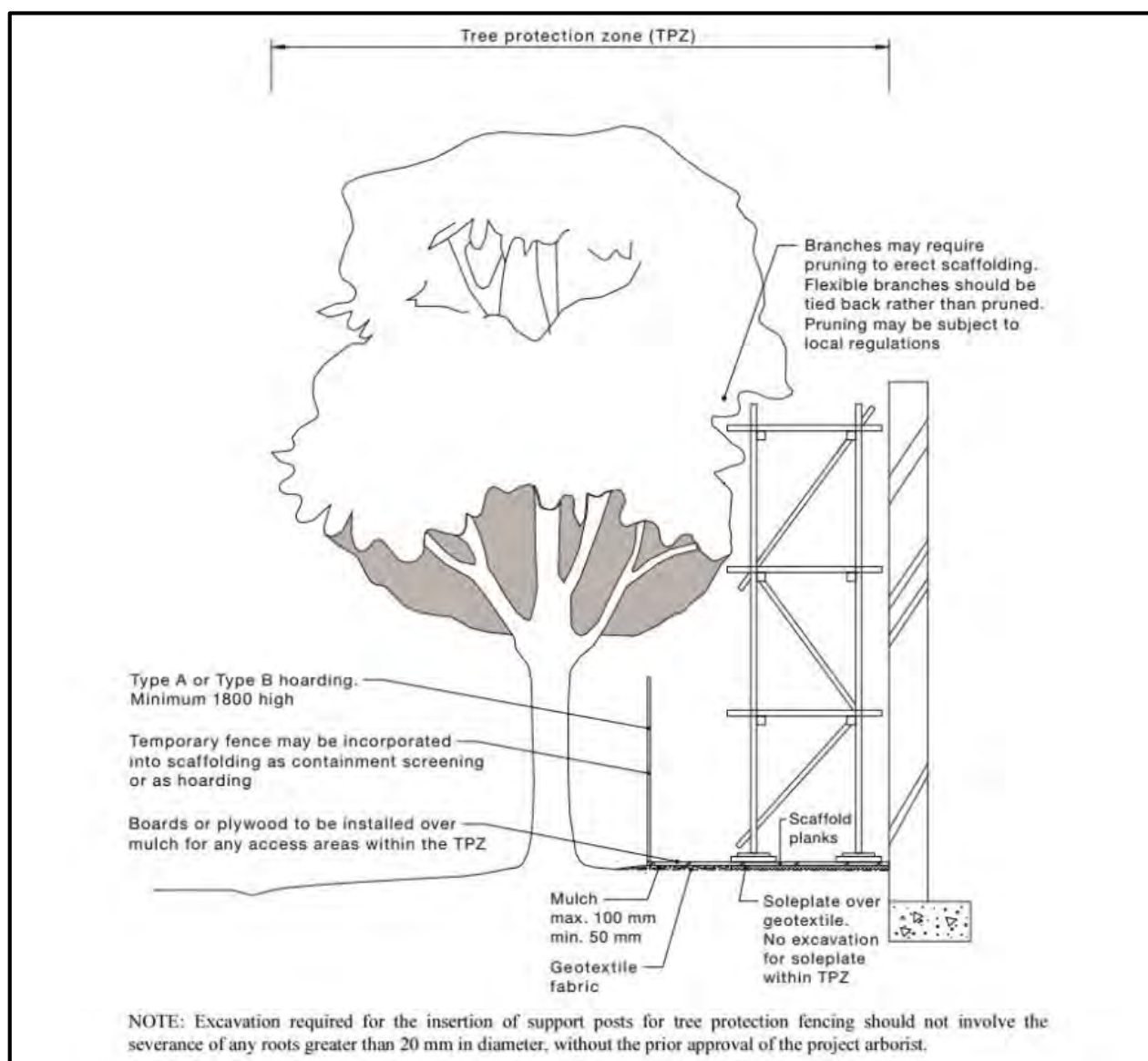


Figure 2 – Showing scaffolding constructed within TPZ.

Ground Protection

Where access is required within the TPZ ground protection measures are required. Ground protection is to be designed to prevent both damage to the roots and soil compaction.

Ground protection methods include the placement of a permeable membrane beneath a layer of non-compactable material such as mulch or a no fines gravel which is in turn covered with rumble boards or steel plates.

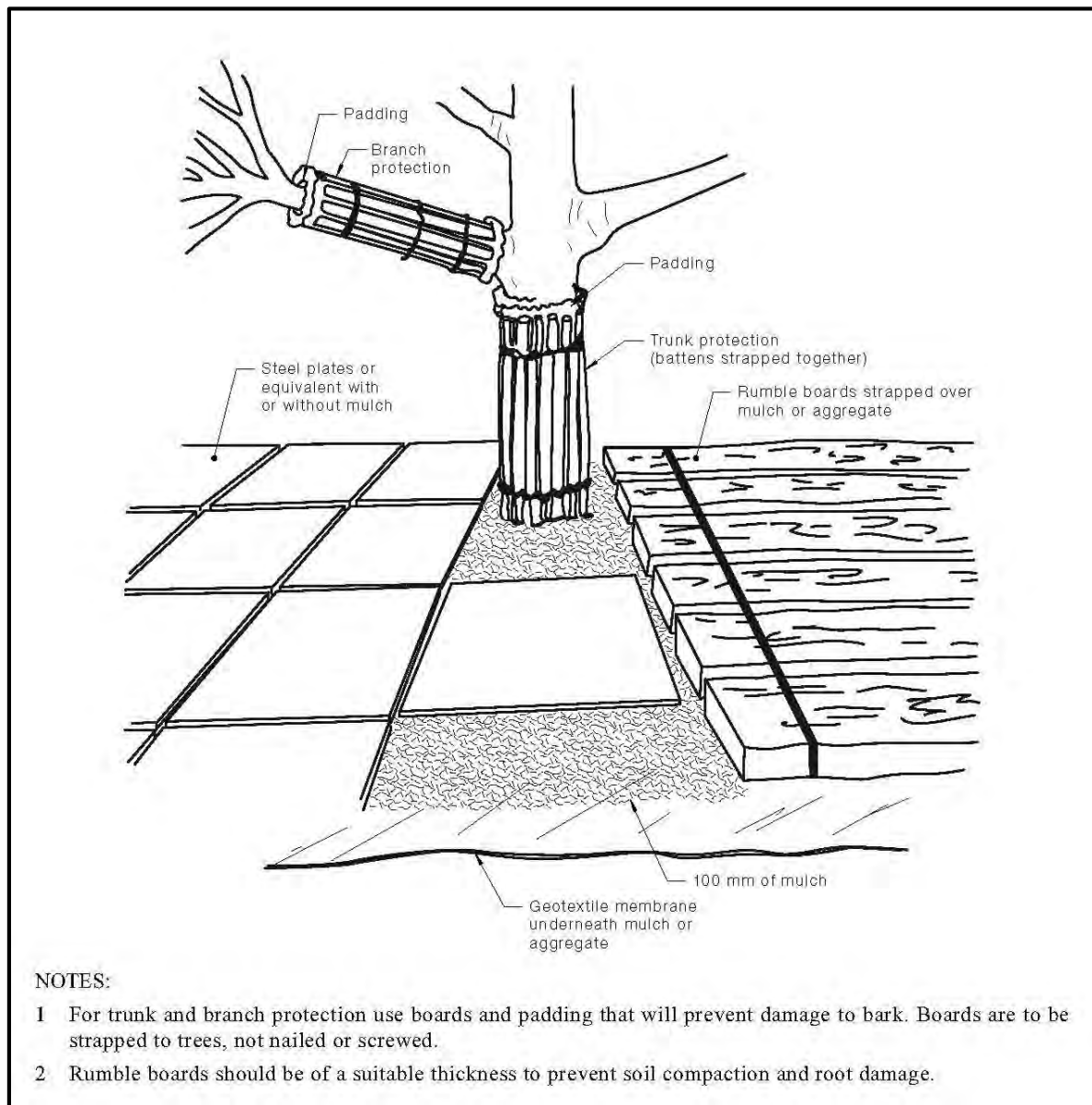


Figure 3 – Ground protection methods.

Document Source:

Diagrams in this document are sourced from AS4970-2009 Protection of trees on development sites. Further information and guidelines are available in within that document.

Paving Construction within a Tree Protection Zone

Paving within any Tree Protection Zone (TPZ) must be carried out above natural ground level unless it can be shown with non-destructive excavation (AirSpade® or similar) that no or insignificant root growth occupies the proposed construction area.

Due to the adverse effect filling over a Tree Protection Zone (TPZ) can have on tree health; alternative mediums other than soil must be used. Available alternative mediums include structural soils or the use of a cellular confinement system such as *Ecocell*®.

Ecocell®

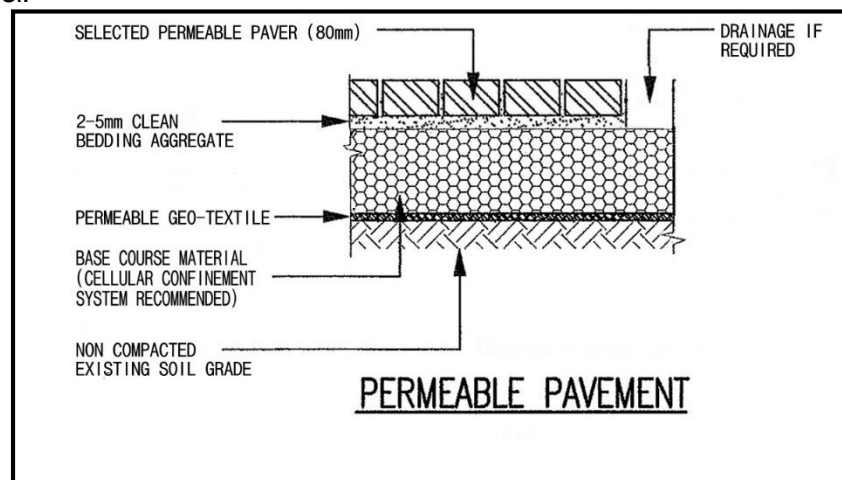
Ecocell® systems are a cellular confinement system that can be filled with large particle sized gravels as a sub-base for paving systems to reduce compaction to the existing grade.

Site preparation

- Clearly outline to all contracting staff entering the site the purpose of the TPZ's and the contractors' responsibilities. No fence is to be moved and no person or machinery is to access the TPZ's without consent from the City of Unley and/or the Project Arborist.
- Fence off the unaffected area of the TPZ with a temporary fence leaving a 1.5 metre gap between the work area and the fence; this will prevent machinery access to the remaining root zone.

Installation of Ecocell® and EcoTrihex Paving®

- Install a non-woven geotextile fabric for drainage and separation from sub base with a minimum of 600mm overlap on all fabric seams as required.
- Add Ecocell®, fill compartments with gravel and compact to desired compaction rate.
- If excessive groundwater is expected incorporate an appropriate drainage system within the bedding sand level.
- Add paving sand to required depth and compact to paving manufacturer's specifications.
- Lay EcoTrihex Paving® as per manufactures specifications and fill gaps between pavers with no fines gravel.
- Remove all debris, vegetation cover and unacceptable in-situ soils. No excavation or soil level change of the sub base is allowable for the installation of the paving.
- Where the finished soil level is uneven, gullies shall be filled with 20 millimetre coarse gravel to achieve the desired level.



This construction method if implemented correctly can significantly reduce and potentially eliminated the risk of tree decline and/or structural failure and effectively increase the size of the Tree Protection Zone to include the area of the paving.

- (2) Subclause (1) does not apply if the place where the designated photovoltaic system is installed is a local heritage place if, when installed, it is able to be seen by a person standing at ground level in a public street.
- (3) In this clause—
- designated photovoltaic system* means—
- (a) a photovoltaic system comprising solar photovoltaic panels that have a total weight not exceeding 100 kilograms; or
 - (b) a photovoltaic system comprising solar photovoltaic panels that have a total weight exceeding 100 kilograms if—
 - (i) the weight load is distributed so that it does not exceed 100 kilograms at any 1 point of attachment to the roof; and
 - (ii) the panels (and any associated components) do not overhang any part of the roof; and
 - (iii) the panels are fitted parallel to the roof with the underside surface of the panels being not more than 100 millimetres above the surface of the roof; and
 - (iv) the panels are installed by a person who holds an accreditation under a scheme recognised by the Minister for the purposes of this paragraph.

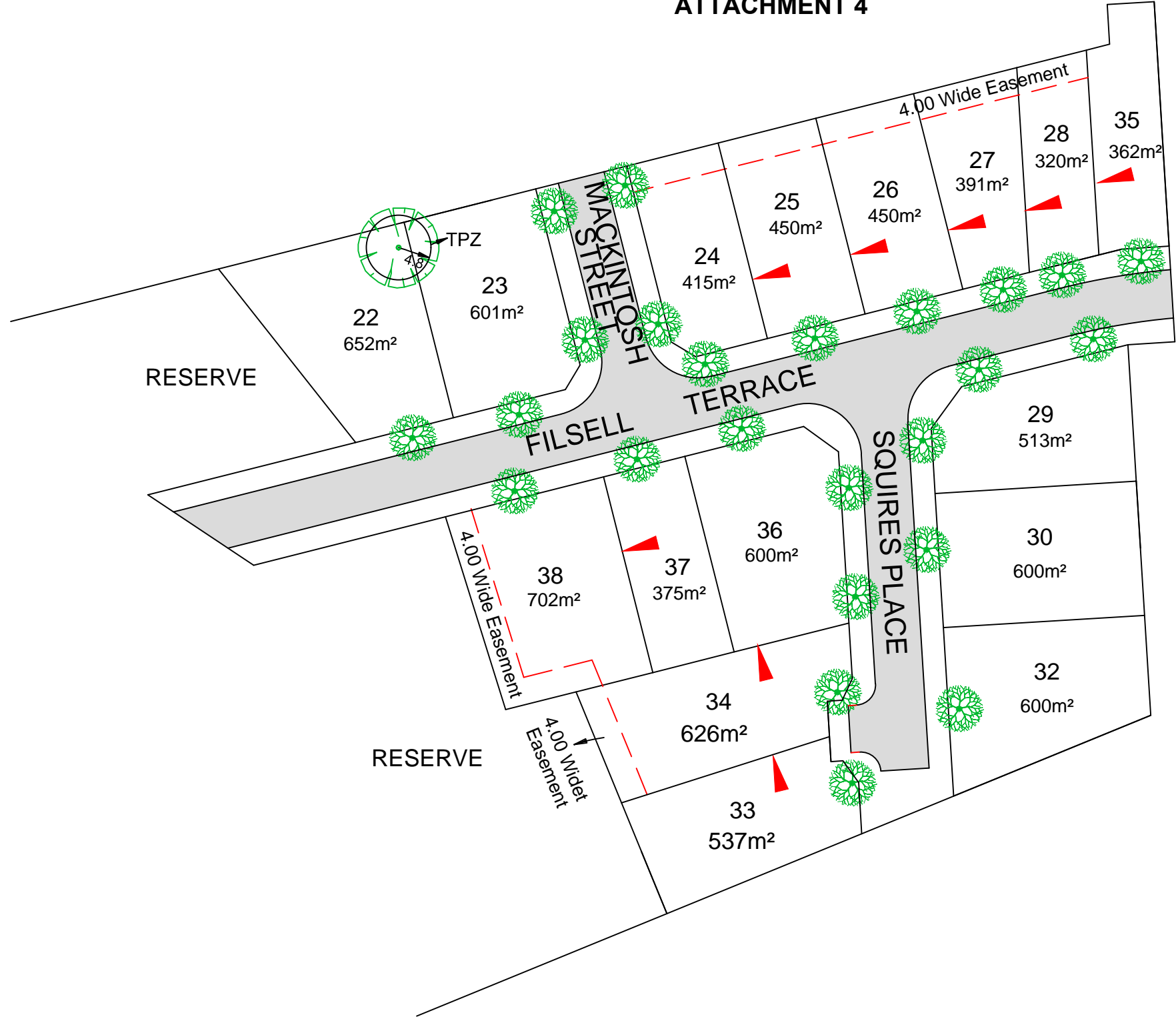
16—Aquaculture development


Any form of aquaculture development in an Aquaculture Zone delineated by the Land Not Within a Council Area (Coastal Waters) Development Plan.

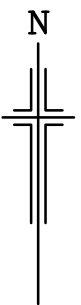
17—Removal of trees in certain cases

- (1) A tree-damaging activity in relation to a regulated tree (including a tree that also constitutes a significant tree) if—
- (a) the tree is within 1 of the following species of trees:
 - Melaleuca styphelioides (Prickly-leaved Paperbark)
 - Lagunaria patersonia (Norfolk Island Hibiscus); or
 - (b) the tree is within 20 metres of a dwelling in a Bushfire Protection Area identified as Medium Bushfire Risk or High Bushfire Risk in the relevant Development Plan; or
 - (c) the tree is on land under the care and control of the Minister who has primary responsibility for the environment and conservation in the State; or
 - (d) the tree is on land under the care and control of the Board of the Botanic Gardens and State Herbarium; or
 - (e) the tree is dead.
- (2) For the purposes of subclause (1)(b), the distance between a dwelling and a tree will be measured from the base of the trunk of the tree (or the nearest trunk of the tree to the dwelling) to the nearest part of the dwelling at natural ground level.

ATTACHMENT 4



Streetfront Setback	<ul style="list-style-type: none">• 3.0m Primary Street (Verandahs, Porches etc 1.5)• 1.5m Secondary Street• 5.0m to Garage / Carport
Side Boundary	<ul style="list-style-type: none">•  Indicates Zero Lot Line• 0.9m (where no Zero Lot Line)
Rear Boundary	<ul style="list-style-type: none">• 0.9m
Notes: Setbacks as per table unless otherwise noted.	



WOODVALE


GAWLER SOUTH

Stage 3

Building Envelope Plan

TPZ

Tree Protection Zone



Zero Lot Line


D

Mandatory Driveway Access

T/F

Transformer

branford planning + design



September 2017 (F)

**Town of Gawler
Council Assessment Panel**

ATTACHMENTS UNDER SEPARATE COVER

Monday 14 May 2018

Item		Page No
5.3	Development Application: 490/613/2017	53
	Applicant: GAWLER SELF STORAGE	
	Address: 10/14 Paxton Street WILLASTON	
	Nature of Development: Expansion of existing storage facility including two (2) new storage buildings, expansion and formalisation of car parking and associated landscaping	
	Attachment 1 - Application Plans and Documentation	55
	Attachment 2 - Amended Plans and Documentation	80
	Attachment 3 - Representations	82
	Attachment 4 - Applicants response to representations	90



Multi Design & Drafting
Building & Development Solutions
PO Box 662 Gawler SA 5118
Ph. 08 85234235
multidesign@aapt.net.au

Planning Officer
Town of Gawler
PO Box 130
Gawler SA 5118

16.11.17

Dear Sir/Madam,

Enclosed is an application for Provisional Planning consent for New storage buildings on an existing Storage site.

Enclosed are plans and drainage details for the development.

Note the plans and details can be emailed in PDF format if required – Please advise.

Site Address: 14 Paxton Street Willaston. Owner is Ontali Pty Ltd.

A cheque for the following fees is enclosed:

Lodgement fees \$133.00

Planning Assessment fee \$250.00

Staged Consent fee \$62.50

Total \$445.50

Can you please email a receipt for the payment of the application fees.

Kind Regards,

A handwritten signature in black ink, appearing to read 'John Iacopetta', is written over a circular stamp. The signature is fluid and extends to the right. The circular stamp is partially obscured by the signature and contains some illegible text.

John Iacopetta

Development Application Form

Gawler



Completing this application

- All sections must be completed. Failure to complete all sections may result in delays or the inability to process your application.
- If hand written please print clearly using BLOCK LETTERS and place a TICK in appropriate boxes.

Section 1 – Correspondence Method (Planning and Building)

By selecting "I Accept" below, you agree (as the Applicant, the Owner, and/or the Authorised Agent) to be legally bound by the terms and conditions of this service and that you consent all correspondence relevant to this application or which is otherwise required to be provided to you under the Development Act 1993 and including Decision Notification Forms, stamped plans and relevant documents being provided to you in **Electronic Format Only**. Please tick **only one** of the following boxes.

☐ I Accept

OR If you **do not** wish to correspond electronically, 3 complete sets of hardcopy documents will be required

☒ I choose only to receive general assessment correspondence via email but to receive stamped Plans and Decision Notification Forms by hardcopy mail.

Send to the following e-mail address multidesign@aapt.net.au

Section 2 – Consent Sought

Select **one** type of consent you wish to apply for:

☒ Development Plan Consent
(Planning Only)

☐ Building Rules Consent
(Building Only)

☐ Development Approval
(Planning & Building)

① If unsure of what type of consent is needed telephone Customer Service on 8522 9211

Section 3 – Location of Proposed Development

(This section must be completed)

14	OR	1	G101	/	979
HOUSE NUMBER		LOT NUMBER	CT VOLUME		CT FOLIO
DAXTON STREET			WILLASTON	5118	
STREET			SUBURB	POSTCODE	

Section 4 – Applicant Details

① Please note all correspondence will be sent to the Applicant (This section must be completed)

Name GAWLER SELF STORAGE
GIVEN NAMES, SURNAME

Postal Address C/- MULTI DESIGN PO BOX 662 GAWLER SA 5118
No., STREET, SUBURB, STATE, POSTCODE

Email multidesign@aapt.net.au Phone 85234 235

Section 5 – Owners Details of the Subject Land

① If same as Applicant, leave blank and move to Section 6.

Name ONTALI PTY LTD
GIVEN NAMES, SURNAME

Postal Address PO BOX 1510 WILLASTON SA 5118.
No., STREET, SUBURB, STATE, POSTCODE

Email gawlerselfstore@internode.on.net Phone 0404 885 554

Section 6 – Contact for Further Information

① Please note this section is to be **completed** if contact person is not the Applicant

Name JOHN IACOPETTA Multi Design
GIVEN NAMES, SURNAME

Email multidesign@aapt.net.au Phone 85234 235

Section 7 – Builders Details

① This Section **must be completed** by the Applicant if applying for Building and Development Approval

☐ Owner Builder

OR

☐ Builders Name

Phone

Postal Address

No., STREET, SUBURB, STATE, POSTCODE

Email

Lic. No.

Section 8 – Description of Development & Associated Detail

Description of Development (for example single storey detached dwelling, domestic garage, warehouse with office, tree removal)

NEW SELF STORAGE BUILDINGS & ASSOCIATED DRAINAGE & SITE WORKS.

Existing site use (If Known)

SELF STORAGE (STORAGE)

Does the proposal affect a regulated or significant tree?

Yes ☐ No ☒

Note: A regulated or significant tree may be on the adjoining land that may be affected (including damage to tree roots) by the proposed development.

① If unsure what a regulated or significant tree is refer Fact Sheet "Removal/Pruning a Tree on My property" - this can be accessed via Councils' website: www.gawler.sa.gov.au/planning-information-sheets

Is there a brush fence within 3 metres of the proposed building work?

Yes ☐ No ☒

Are there any easements on the Land?

Yes ☒ No ☐

Is the site connected to Sewer (SA Water)?

Yes ☒ No ☐ Septic System ☐

Section 9 – Costing and Floor Area

① Council may require written justification to verify costs (This section must be completed)

Estimated total cost of Proposal:

\$ 200,000

Estimated floor area of work:

1005.45 m²

① Development Cost does not include fit out cost

Please note that works valued over \$40,000 require CITB Levy to be paid and the receipt must be presented to Council.

Section 10 – Declaration

Powerline Clearance

I, being the applicant for the development described herein, declare that the proposed development will involve the construction of a building which would, if constructed in accordance with the plans submitted, not be contrary to the regulations prescribed for the purposes of Section 86 of the Electricity Act 1996. I make this declaration under clause 2A (1) of Schedule 5 of the Development Regulations 2008.

☒ Yes, I acknowledge to comply with the relevant sections of the Act

A Building Safely Near Powerlines brochure has been prepared by the Technical Regulator to assist applicants and other interested persons. Hard copies are available from Council and the Office of the Technical Regulator. The brochure and other relevant information can also be found at www.technicalregulator.sa.gov.au.

Submission of Documents

☐ I acknowledge that Council **will not accept my application** unless the following has been supplied:

☒ Application Fees Paid (or credit card details provided) ☒ Site Plan ☒ Floor Plan ☒ Elevation Details (if a structure is proposed)

☒ Technical Drawings (if Building Rules Consent sought) ☒ Certificate of Title (less than 12 months old) or Title Search Fee Paid

Display of Documentation

☐ I declare the information that I have provided on this application form is correct to the best of my knowledge and that I have the authority of any copyright holder for the public display and copying of any material lodged. I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Development Regulations 2008 and may be made available on Council's website for public comment and as an attachment to a report item in the Agenda of Council's Development Assessment Panel.

If you have any concerns over the confidentiality or security content of such documents or information, you should discuss these with a member of Council's planning staff prior to lodging. If another person claims copyright in any material you lodge, you must obtain and provide to Council the express authority of that person for the display and copying of that material.

SIGNATURE:

☐ Applicant

☐ Owner

☒ Authorised Agent

DATE:

16/11/17



REAL PROPERTY ACT, 1886



South Australia

The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 6101 Folio 979

Parent Title(s)	CT 5892/898, CT 5892/899				
Creating Dealing(s)	RTC 11835558				
Title Issued	26/10/2012	Edition	1	Edition Issued	26/10/2012

Estate Type

FEE SIMPLE

Registered Proprietor

ONTALI PTY. LTD. (ACN: 051 979 152)
OF PO BOX 1510 WILLASTON SA 5118

Description of Land

ALLOTMENT 1 DEPOSITED PLAN 90262
IN THE AREA NAMED WILLASTON
HUNDRED OF MUDLA WIRRA

Easements

SUBJECT TO EASEMENT(S) OVER THE LAND MARKED A TO THE MINISTER FOR INFRASTRUCTURE (T 4843846)
TOGETHER WITH FREE AND UNRESTRICTED RIGHT(S) OF WAY OVER THE LAND MARKED B APPURTENANT
ONLY TO THE LAND MARKED X

Schedule of Dealings

Dealing Number	Description
887550	MORTGAGE TO AUSTRALIA & NEW ZEALAND BANKING GROUP LTD.
8981809	MORTGAGE TO AUSTRALIA & NEW ZEALAND BANKING GROUP LTD.

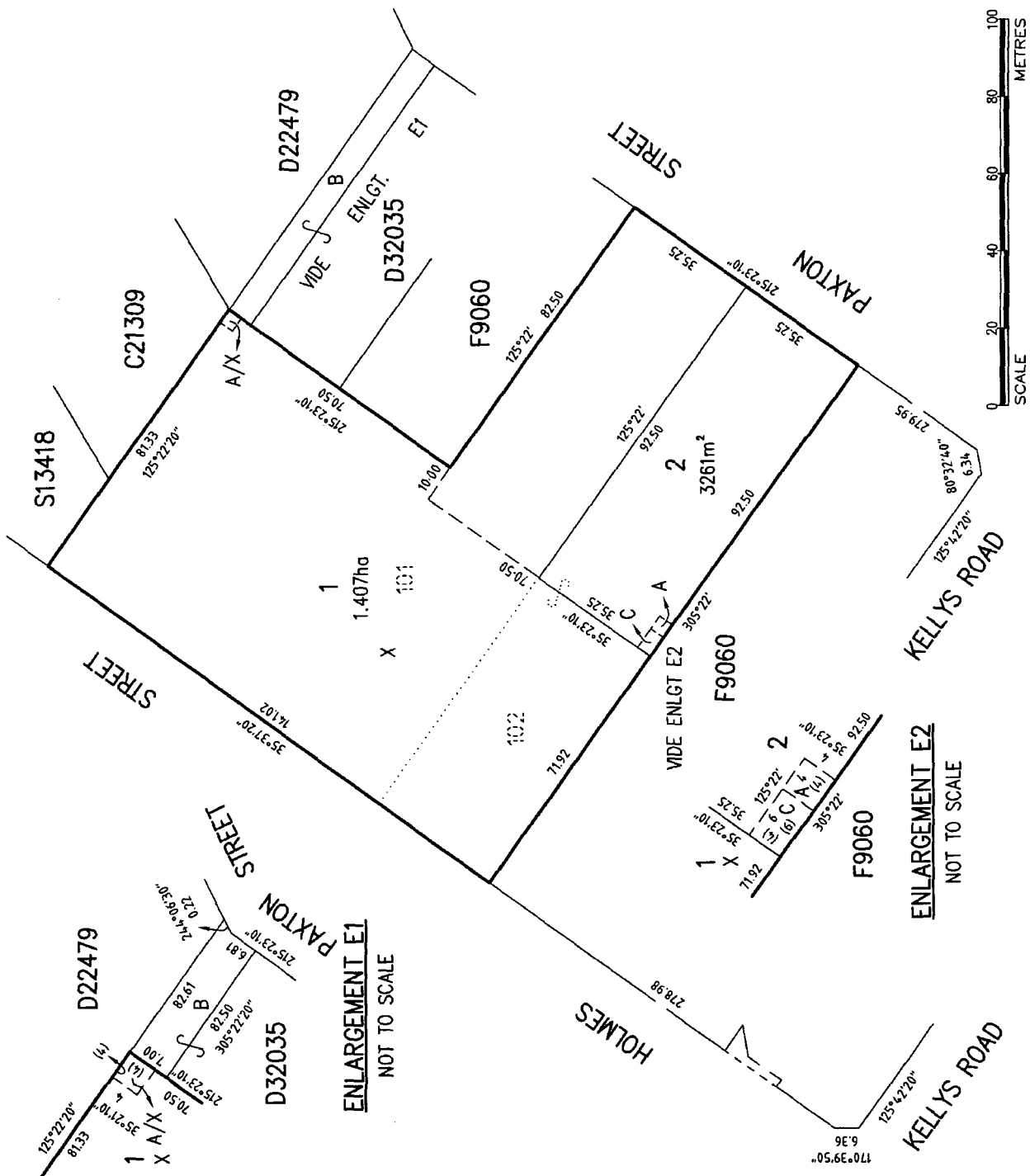
Notations

Dealings Affecting Title	NIL
Priority Notices	NIL
Notations on Plan	NIL

Registrar-General's Notes

APPROVED FILED PLAN FOR LEASE PURPOSES FX49420

Administrative Interests	NIL
--------------------------	-----



John Iacopetta

From: Dean Nobbs <deannobbs@internode.on.net>
Sent: Wednesday, 15 November 2017 11:41 AM
To: 'John Iacopetta'
Subject: Lot 1 Paxton Steet, Willaston Drainage Calculations
Attachments: Lot 1 Paxton St Willaton DRAINS Model.drn; Calculations Summary.xlsx

Categories: Green Category

Hi John,

Further to our discussions I have modified the DRAINS model to reflect existing northern at surface and roofwater runoff discharging to the northern detention tank arrangement and the new southern at surface and roofwater runoff discharging to a new detention tank arrangement in the southern area of the site.

I have attached the DRAINS model for Council to review. I have also attached a spreadsheet that shows the catchment areas, permissible site discharge (based on previous calculations by Epic Projects) and the detention tank volumes and orifice sizes.

Additional retention tanks can be added for the purpose of reuse on site. It is recommended that only stormwater runoff from roofed areas is connected to the retention tanks.

If you have any queries please contact me to discuss.

Thanks John.

Kind Regards

Dean Nobbs

DBN Consulting Engineers Pty Ltd

M 0422 150 775

E deannobbs@internode.on.net

STREET

HOLMES

STREET

HOLMES

STREET

PAXTON

Existing
Fire Hyd.

Existing Sign

Existing
Fire Hyd.A = easement to the Minister
for infrastructure

B

B = free & unrestricted Right Of Way

Entry Access

D32035

F9060

ACCESS FOR PEOPLE WITH DISABILITIES

Note: where new 10' level waste covering range of 1.20 m to be constructed, where possible a 4' clear threshold max 1.8 over 400mm max.

Note: disabled car parking bay to be provided as per AS2890.1 The International Symbol of Access to be provided to carpark and access to the building. Also 1:20 grade access ramp where required to be supplied in & out of building - ensure non-slip surface.

IDENTIFICATION OF ACCESSIBLE FACILITIES

Note: due to nature of requirements see note extract from BCA Specification D3.6

Generally the following applies:

Sanitary Facility to be readily identified by Visually Impaired.

The use of Braille & tactile signs must be provided to identify the sanitary facility and should comply with the specifications set out in D3.6 BCA

PLANT SCHEDULE

- acacia perdecia 3m shrub or Bursaria spinosa 2m shrub
- Correa pulchella small shrub or Clematis micophylla ground cover
- Myoporum platycarpum or Eucalyptus torquata - 6m trees

LOT 1
CT 6101/979
1.407ha

3 x 22,500lts tanks
67,500lts DETENTION
BENCH Lvl = 53.30

Existing Carport

Existing Dwelling
Building Area = 494m²

Existing Workshop
Building Area = 394m²

Existing Self Storage
Building Area = 427m²

Existing Car park
11 spaces

LOT 2

NO ENTRY painted in large white letters where required to facilitate One Way traffic

ONE WAY painted in large white letters where required to facilitate One Way traffic

OVERALL SITE PLAN

SCALE

0 2 4 6 8 10 14 18 22 24
metres

LOT 1 PAXTON STREET

O/ALL ALLOTMENT AREA = 14,070m²EXISTING BUILDINGS AREA = 3,721.82m²NEW BUILDING AREA = 1005.45m²TOTAL BUILT AREA = 4727.27m²

20.10.2017

PROPOSED NEW ADDITIONAL STORAGE BUILDINGS

MR. B. STACK

GAWLER SELF STORAGE

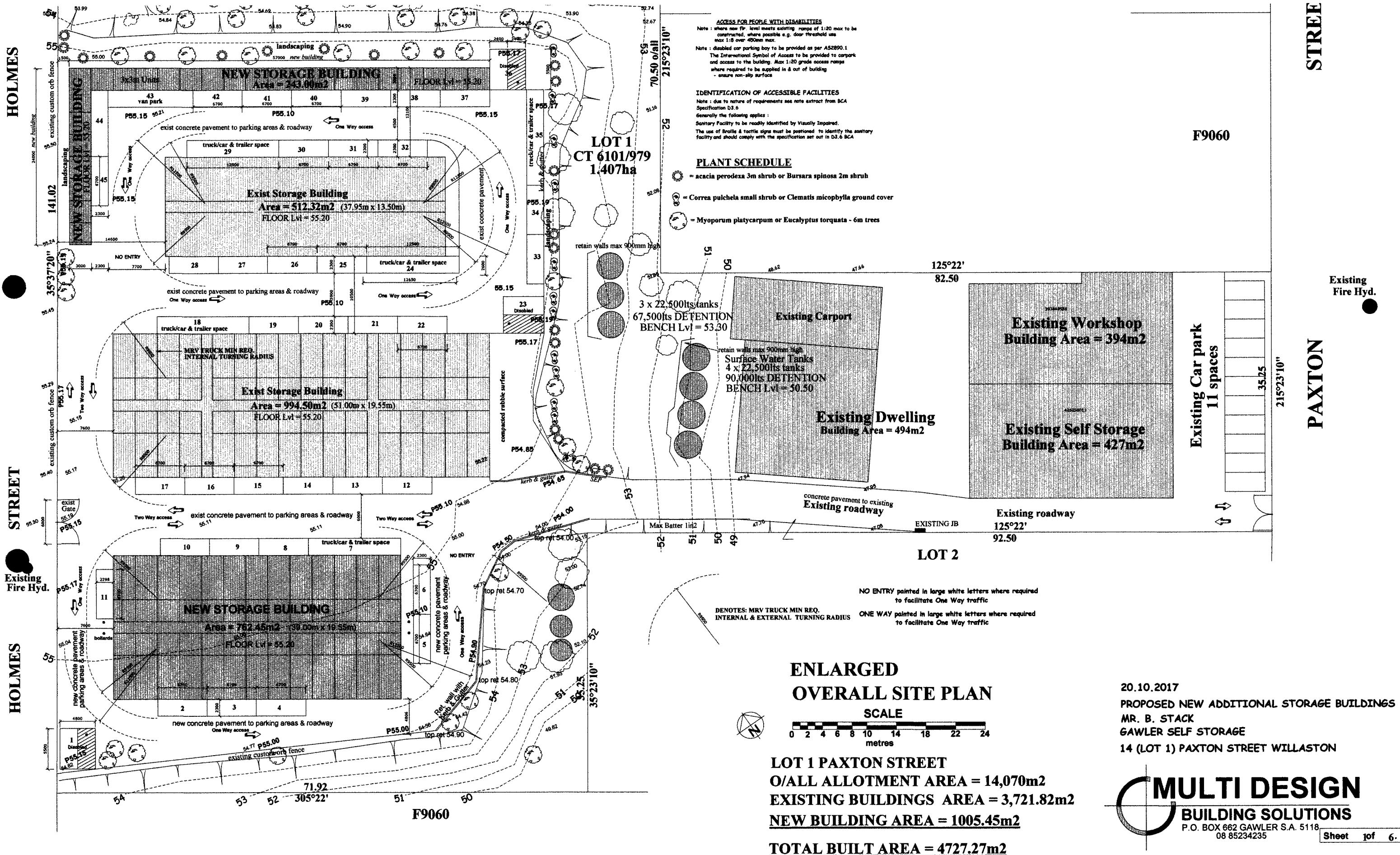
14 (LOT 1) PAXTON STREET WILLASTON

MULTI DESIGN

BUILDING SOLUTIONS

P.O. BOX 662 GAWLER S.A. 5118
08 85234235

Sheet 1 of 6

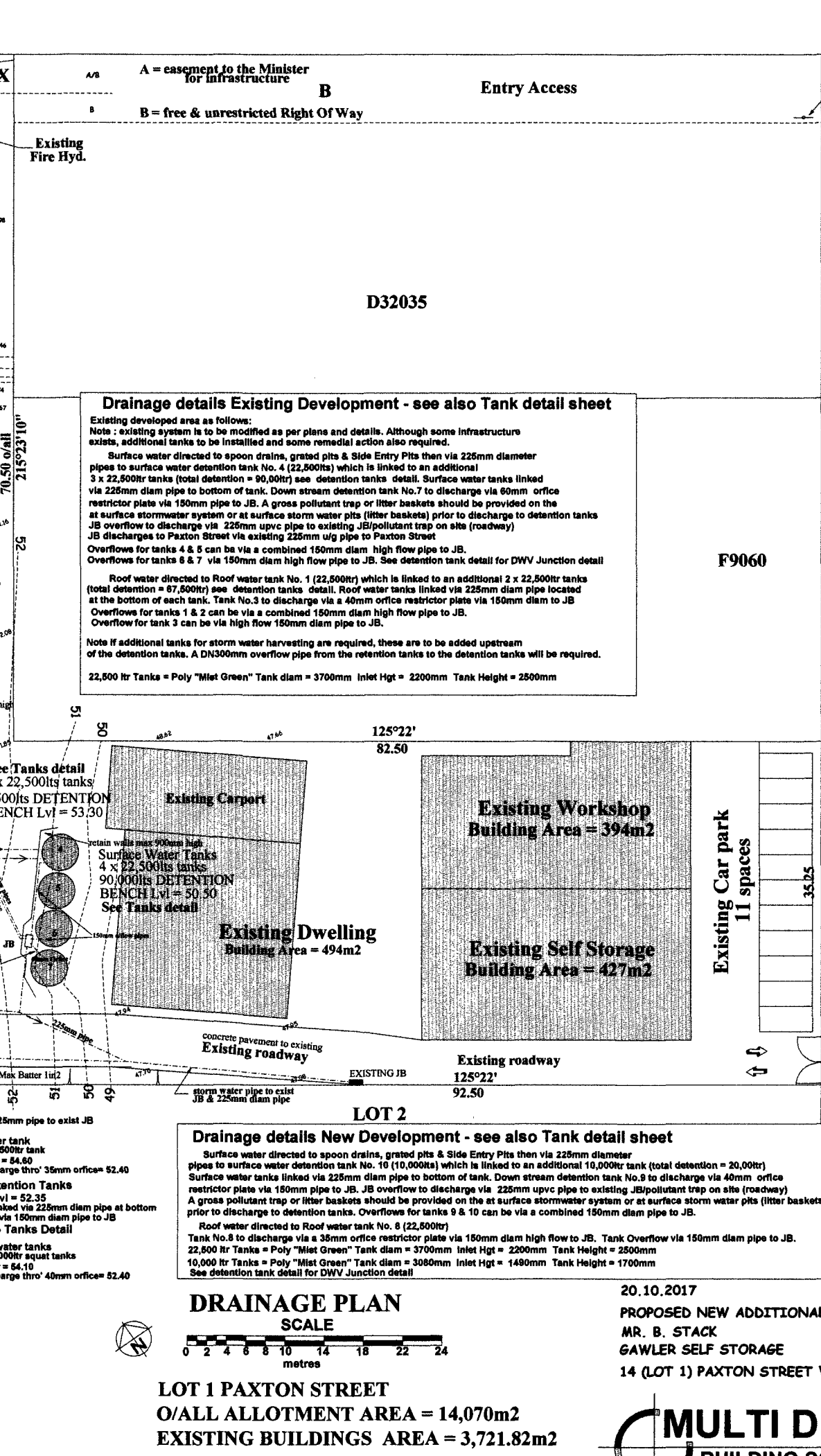
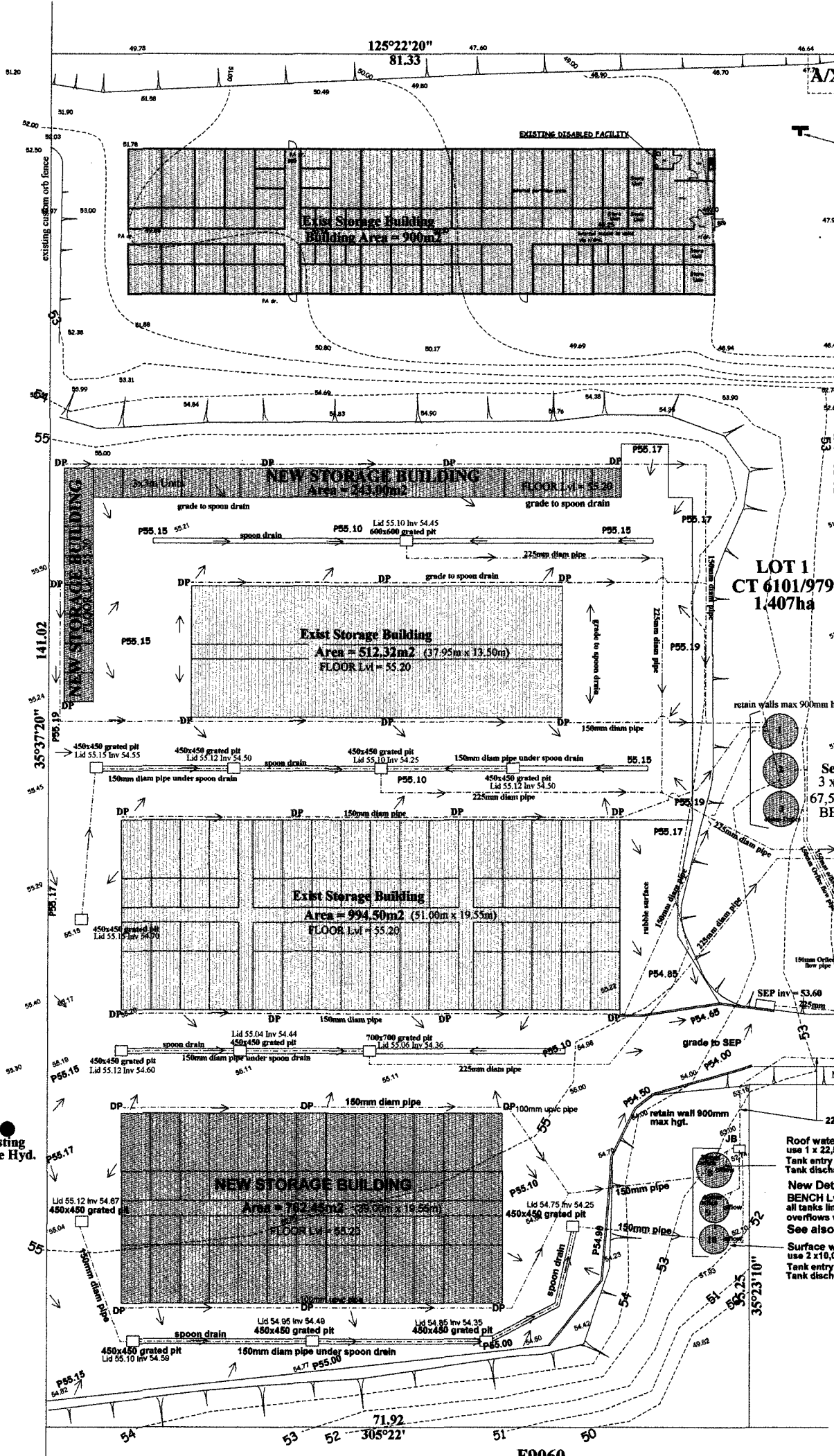


STREET

HOLMES

STREET

HOLMES



STREET

PAXTON

Existing Fire Hyd.

Existing Fire Hyd.

Existing Fire Hyd.

Existing Fire Hyd.

Shaded Area = 785.20m²
 Denotes new additional hard surface area to existing development
 New additional Roof surface area (New development) = 752.45m²

Page 63 of 105

LOT 1 PAXTON STREET
 O/ALL ALLOTMENT AREA = 14,070m²
 EXISTING BUILDINGS AREA = 3,721.82m²
 NEW BUILDING AREA = 1005.45m²
 TOTAL BUILT AREA = 4727.27m²

20.10.2017
 PROPOSED NEW ADDITIONAL STORAGE BUILDINGS
 MR. B. STACK
 GAWLER SELF STORAGE
 14 (LOT 1) PAXTON STREET WILLASTON

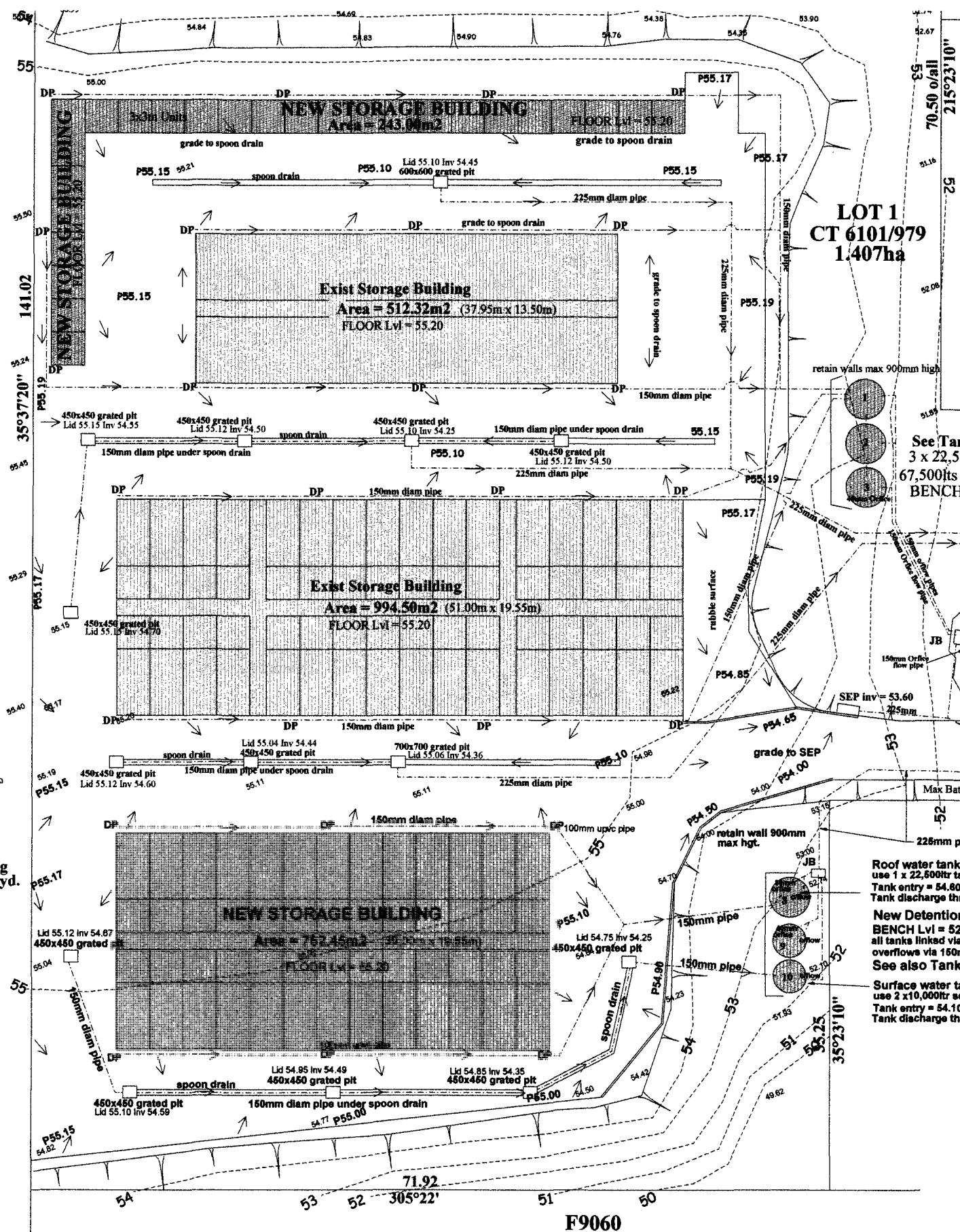
MULTI DESIGN
 BUILDING SOLUTIONS
 P.O. BOX 662 GAWLER S.A. 5118
 08 85234235

Sheet 2 of 6

HOLMES

STREET

HOLMES



Drainage details Existing Development - see also Tank detail sheet

Existing developed area as follows:

Note : existing system is to be modified as per plans and details. Although some infrastructure exists, additional tanks to be installed and some remedial action also required.

Surface water directed to spoon drains, grated pits & Side Entry Pits then via 225mm diameter pipes to surface water detention tank No. 4 (22,500ltr) which is linked to an additional 3 x 22,500ltr tanks (total detention = 90,00ltr) see detention tanks detail. Surface water tanks linked via 225mm diam pipe to bottom of tank. Down stream detention tank No.7 to discharge via 60mm orifice restrictor plate via 150mm pipe to JB. A gross pollutant trap or litter baskets should be provided on the at surface stormwater system or at surface storm water pits (litter baskets) prior to discharge to detention tanks JB overflow to discharge via 225mm upvc pipe to existing JB/pollutant trap on site (roadway) JB discharges to Paxton Street via existing 225mm w/g pipe to Paxton Street

Overflows for tanks 4 & 5 can be via a combined 150mm diam high flow pipe to JB. Overflows for tanks 6 & 7 via 150mm diam high flow pipe to JB. See detention tank detail for DWV Junction detail

Roof water directed to Roof water tank No. 1 (22,500ltr) which is linked to an additional 2 x 22,500ltr tanks (total detention = 67,500ltr) see detention tanks detail. Roof water tanks linked via 225mm diam pipe located at the bottom of each tank. Tank No.3 to discharge via a 40mm orifice restrictor plate via 150mm diam to JB

Overflows for tanks 1 & 2 can be via a combined 150mm diam high flow pipe to JB. Overflow for tank 3 can be via high flow 150mm diam pipe to JB.

Note if additional tanks for storm water harvesting are required, these are to be added upstream of the detention tanks. A DN300mm overflow pipe from the retention tanks to the detention tanks will be required.

22,500 ltr Tanks = Poly "Mist Green" Tank diam = 3700mm Inlet Hgt = 2200mm Tank Height = 2500mm

See Tanks detail
3 x 22,500ltr tanks
67,500ltr DETENTION
BENCH Lvl = 53.30

Surface Water Tanks
4 x 22,500ltr tanks
90,000ltr DETENTION
BENCH Lvl = 50.50
See Tanks detail

Drainage details New Development - see also Tank detail sheet

Surface water directed to spoon drains, grated pits & Side Entry Pits then via 225mm diameter pipes to surface water detention tank No. 10 (10,000ltr) which is linked to an additional 10,000ltr tank (total detention = 20,00ltr) Surface water tanks linked via 225mm diam pipe to bottom of tank. Down stream detention tank No.9 to discharge via 40mm orifice restrictor plate via 150mm pipe to JB. JB overflow to discharge via 225mm upvc pipe to existing JB/pollutant trap on site (roadway) A gross pollutant trap or litter baskets should be provided on the at surface stormwater system or at surface storm water pits (litter baskets) prior to discharge to detention tanks. Overflows for tanks 9 & 10 can be via a combined 150mm diam pipe to JB.

Roof water directed to Roof water tank No. 8 (22,500ltr) Tank No.8 to discharge via a 35mm orifice restrictor plate via 150mm diam high flow to JB. Tank Overflow via 150mm diam pipe to JB. 22,500 ltr Tanks = Poly "Mist Green" Tank diam = 3700mm Inlet Hgt = 2200mm Tank Height = 2500mm 10,000 ltr Tanks = Poly "Mist Green" Tank diam = 3080mm Inlet Hgt = 1490mm Tank Height = 1700mm See detention tank detail for DWV Junction detail

DRAINAGE PLAN ENLARGED



LOT 1 PAXTON STREET
O/ALL ALLOTMENT AREA = 14,070m²
EXISTING BUILDINGS AREA = 3,721.82m²
NEW BUILDING AREA = 1005.45m²
TOTAL BUILT AREA = 4727.27m²

20.10.2017
PROPOSED NEW ADDITIONAL STORAGE BUILDINGS
MR. B. STACK
GAWLER SELF STORAGE
14 (LOT 1) PAXTON STREET WILLASTON

MULTI DESIGN
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P.O. BOX 662 GAWLER S.A. 5118
08 85234235

Sheet 2 of 6

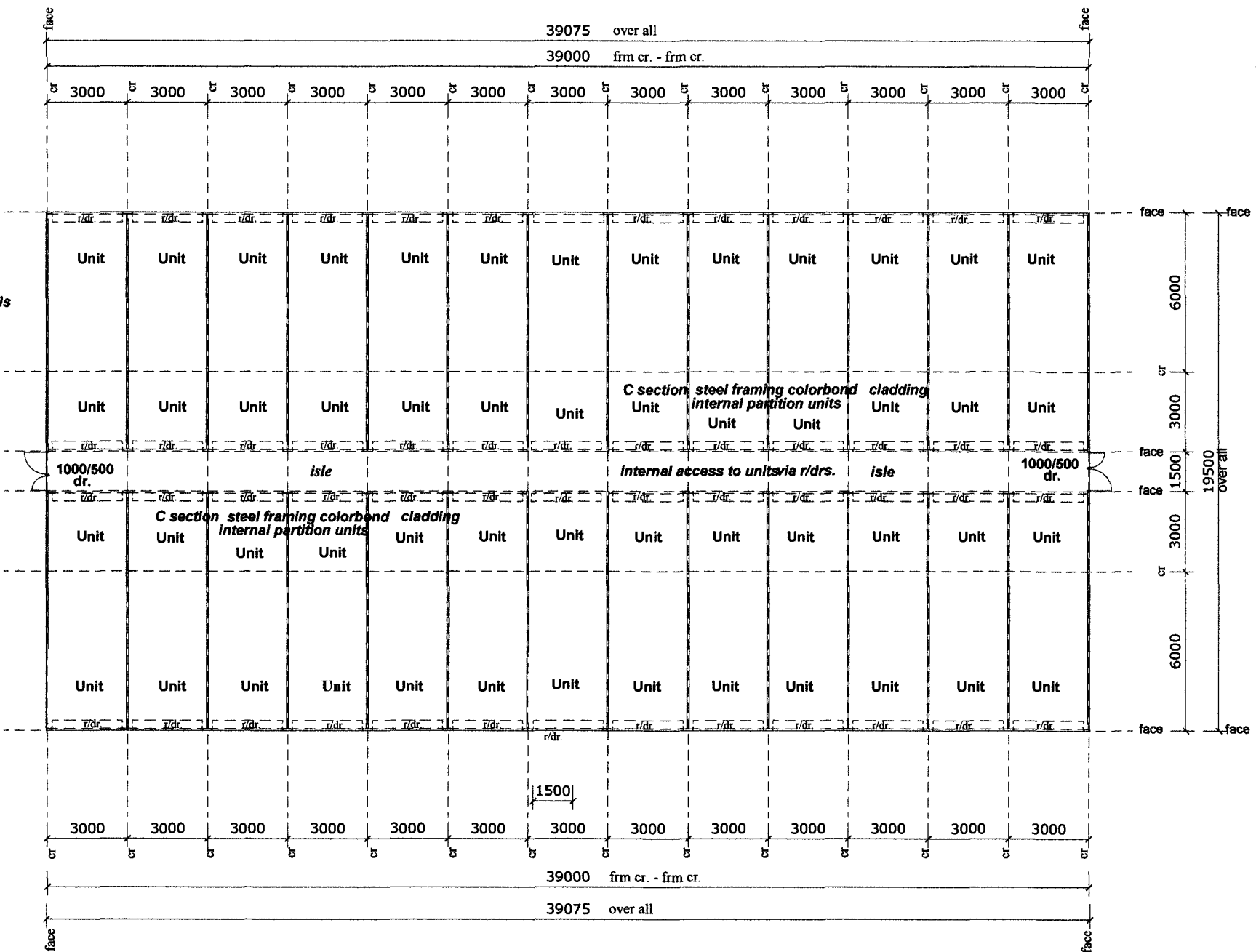
General Construction Notes

DESIGN WIND SPEED N1- 28m/sec

SEE ALSO MANUFACTURERS DETAILS
REFER TO ENGINEERS REPORT FOR ADDITIONAL
INFORMATION ON MEMBERS AND STRUCTURAL DETAIL

Steel frame to storage sheds as per Structural details
"Deep Ocean" colorbond custom orb cladding to walls
"Deep Ocean" colorbond "Prodeck" or simmilar roof sheets
"Deep Ocean" colorbond gutters & trims
zincalume roller doors to storage bays 2625mm wide x 2600mm high
100mm Down pipes @ max 12.00m crs.
use ridge vents installed as per manufacturers details
Main Access/entry doors - combination type 1000/500mm

C75mm C section steel stud partition walls
non load bearing
to internal partitioned units



NEW STORAGE BUILDING
BUILDING AREA = 762.45m2

FLOOR PLAN
SCALE 1:200
PLANS FOR PLANNING CONSENT ONLY

Date 20.10.2017 scale as shown Drawn J.IAC Dwg. No GAWLERSTOR201017

Figured dimensions shall take preference over scaled dimensions. Verify dimensions and levels before commencing on site. Any discrepancy to be reported to the designer immediately. Plans to be read with client specs.

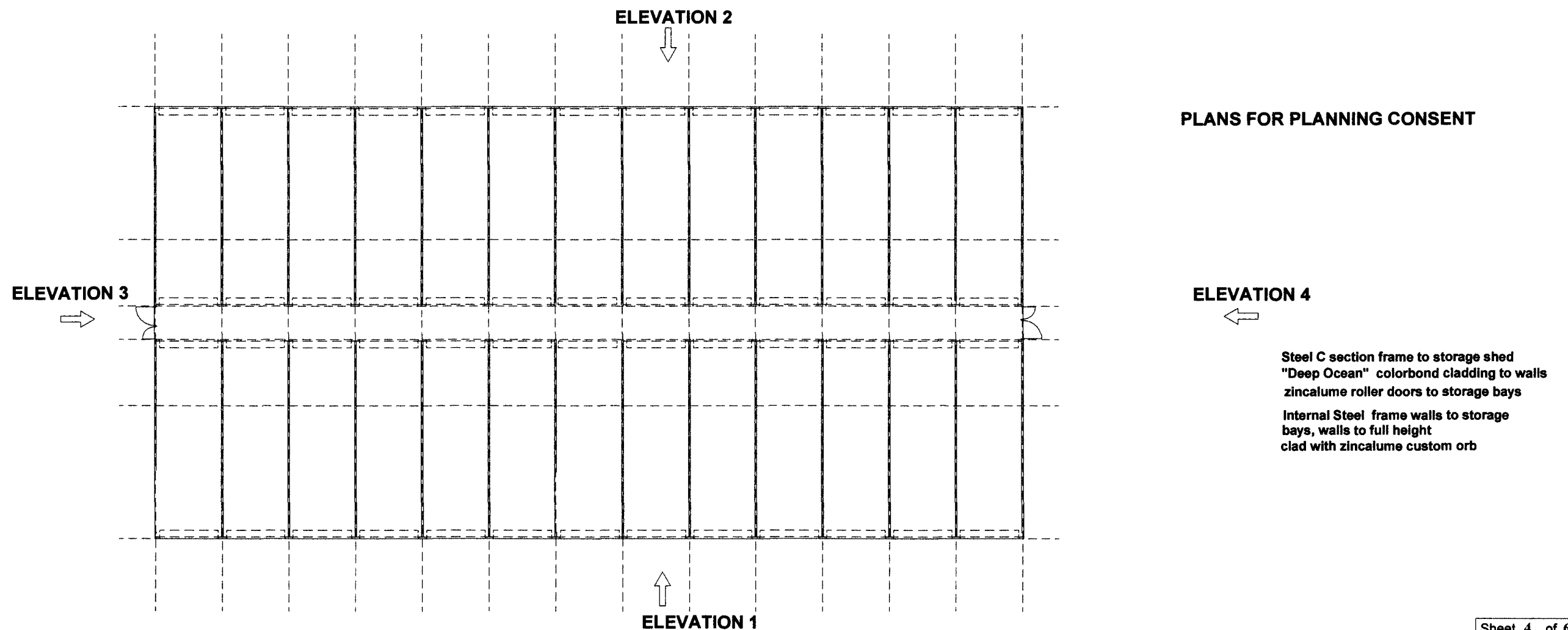
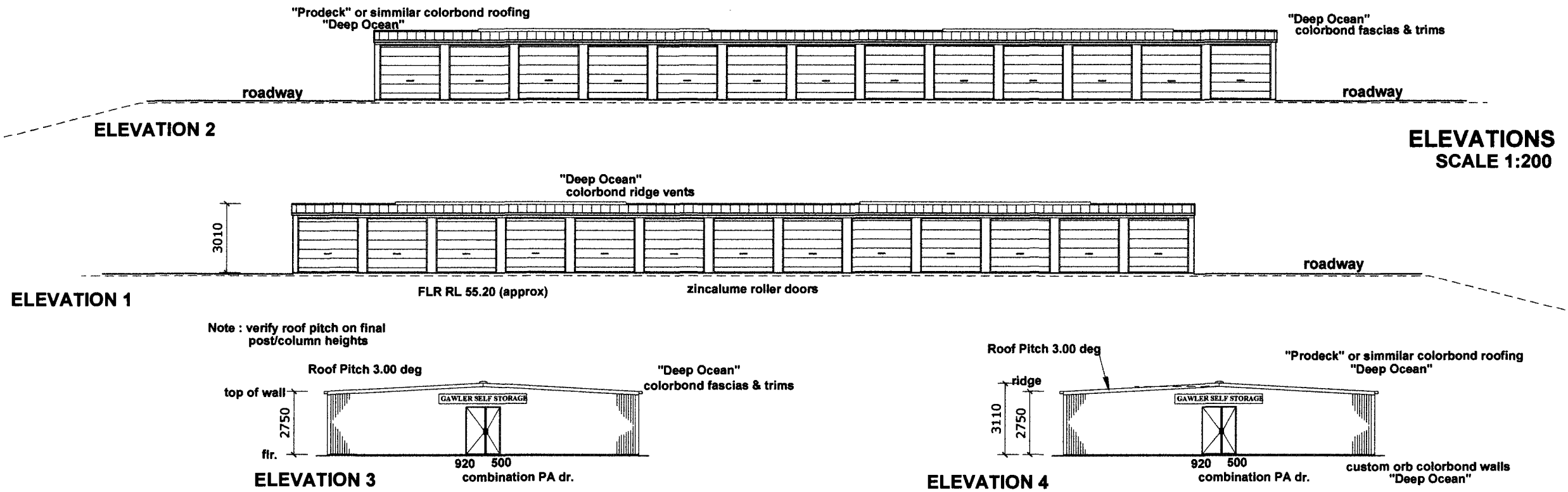
MULTI DESIGN
BUILDING SOLUTIONS
P.O. BOX 662 GAWLER S.A. 5118
08 85234235

Title PROPOSED NEW BUILDING AT SELF STORAGE FACILITY

Revision :

Note : No site survey undertaken on this site building offsets to bdy. approx. only. Owner & builder to determine exact boundary location plan may need alteration to comply with required bdy. setbacks.

Client MR. B. STACK
GAWLER SELF STORAGE
PO BOX 359 WILLASTON SA 5118
Site 14 (LOT 1) PAXTON STREET
WILLASTON SA 5118



Date 20.10.2017
 scale as shown
 Drawn J.IAC
 Dwg. No GAWLERSTOR201017

MULTI DESIGN
BUILDING SOLUTIONS
 P.O. BOX 662 GAWLER S.A. 5118
 08 85234235

Title PROPOSED NEW BUILDING AT SELF STORAGE FACILITY

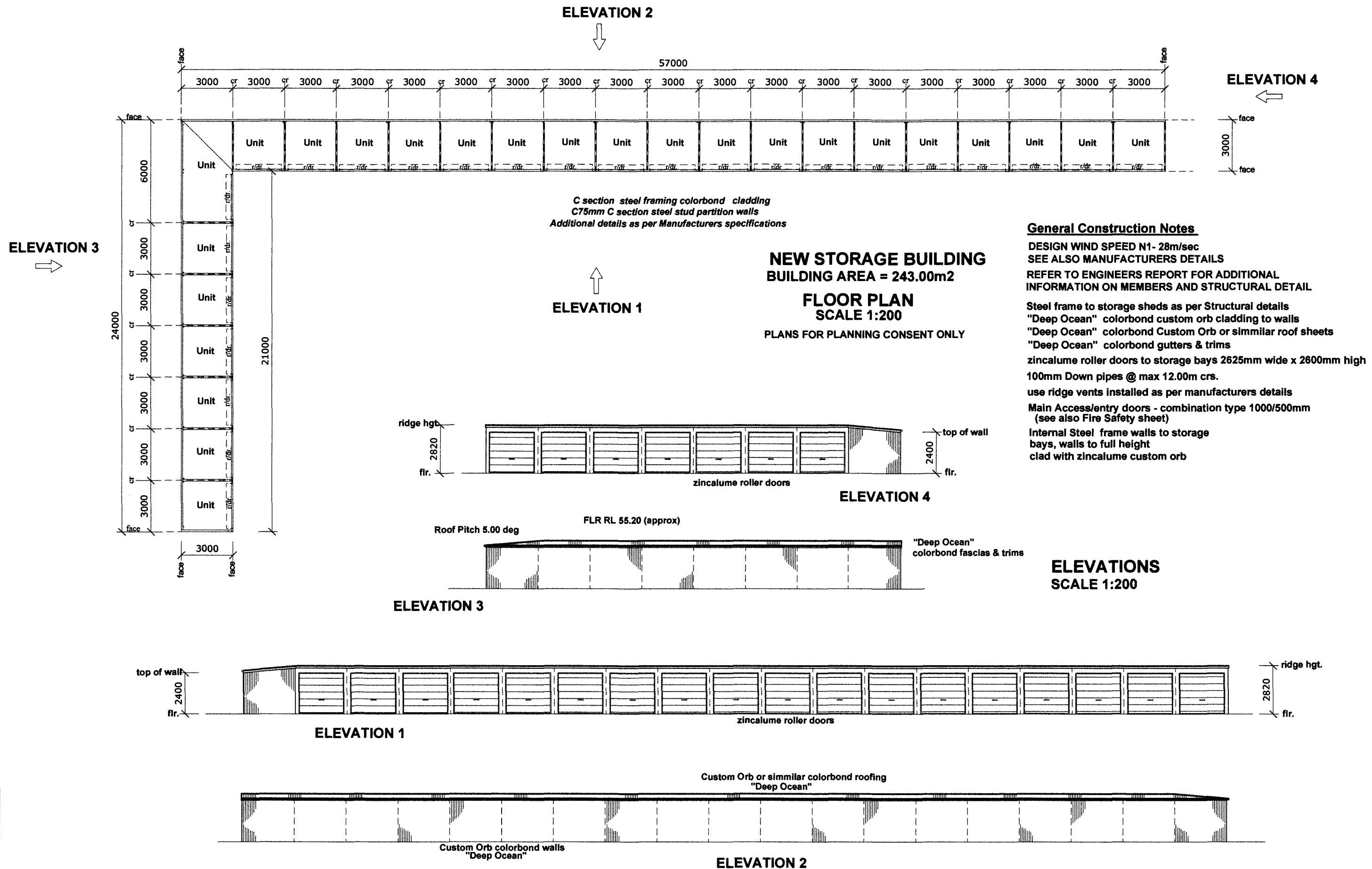
Revision :

Client MR. B. STACK
 GAWLER SELF STORAGE
 PO BOX 359 WILLASTON SA 5118

Site 14 (LOT 1) PAXTON STREET
 WILLASTON SA 5118

Sheet 4 of 6

Figured dimensions shall take preference over scaled dimensions. Verify dimensions and levels before commencing on site. Any discrepancy to be reported to the designer immediately. Plans to be read with client specs.



Date 20.10.2017 scale as shown Drawn J.IAC Dwg. No GAWLERSTOR201017

Figured dimensions shall take preference over scaled dimensions. Verify dimensions and levels before commencing on site. Any discrepancy to be reported to the designer immediately. Plans to be read with client specs.

MULTI DESIGN
BUILDING SOLUTIONS
P.O. BOX 662 GAWLER S.A. 5118
08 85234235

Page 67 of 16

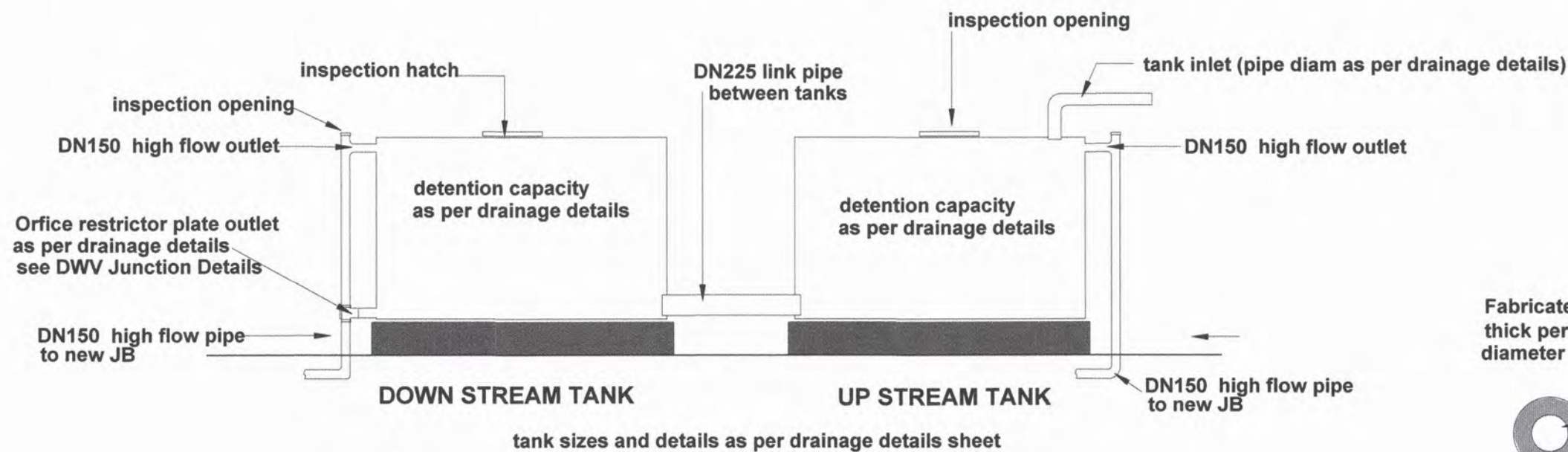
Title PROPOSED NEW BUILDING AT SELF STORAGE FACILITY

Revision :

Note : No site survey undertaken on this site building offsets to bays. Owner & builder to determine exact boundary location plans may need alteration to comply with required bdy. setbacks.

Client MR. B. STACK
GAWLER SELF STORAGE
PO BOX 359 WILLASTON SA 5118
Site 14 (LOT 1) PAXTON STREET
WILLASTON SA 5118

Sheet 5 of 6

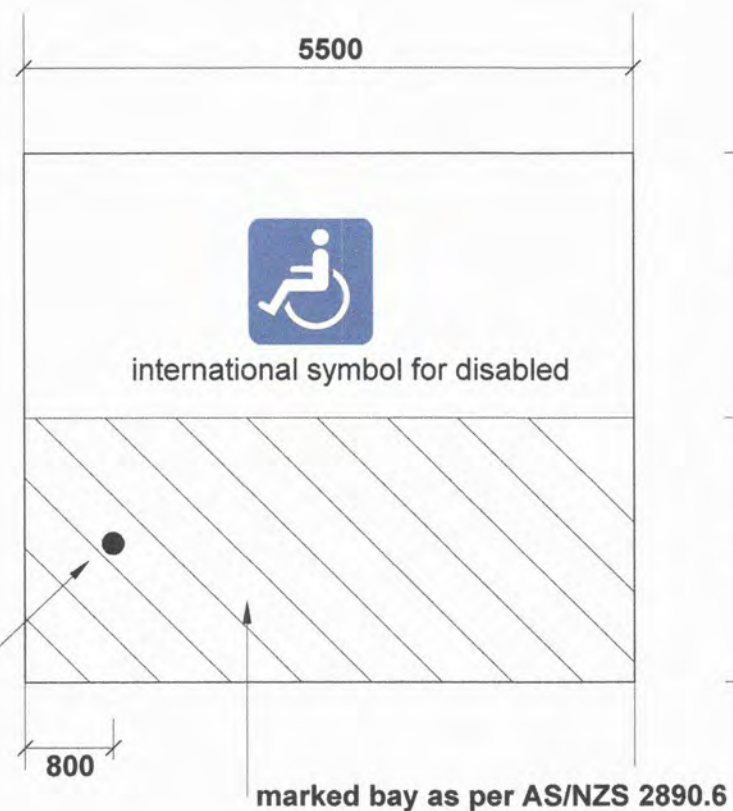


DETENTION TANKS DETAIL

DISABLED PARK DETAIL

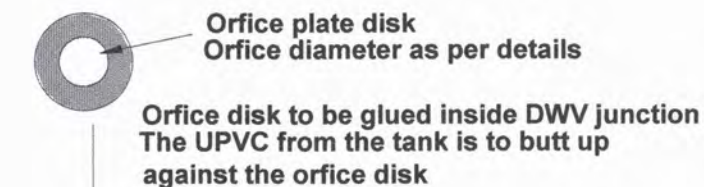
To be constructed as per AS/NZS 2890.6

Roadway Side

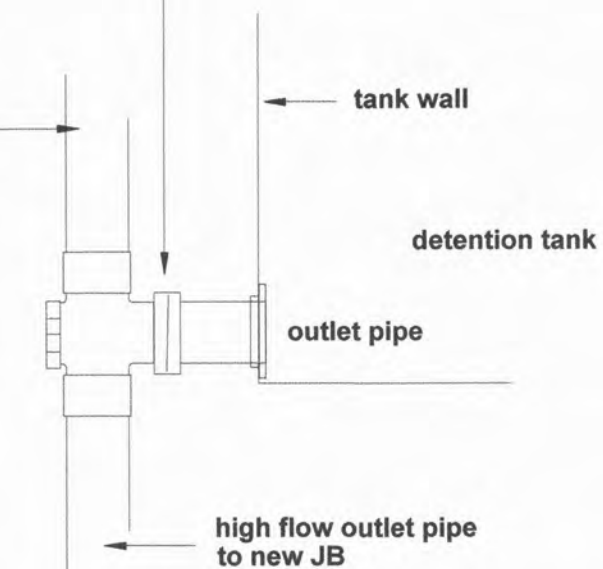


Bollard positioned in the centre of marked bay
800mm in from roadway edge

Fabricate Orifice disk using a hole saw and 10mm thick perspex sheet. centre hole to be drilled to required diameter to suit calculated orifice size



high flow outlet
from top of tank outlet



DWV JUNCTION DETAIL

Sheet 6 of 6

Date 20.10.2017 as shown
scale as shown
Drawn J.IAC
Dwg. No GAWLERSTOR201017

Figured dimensions shall take preference over scaled dimensions. Verify dimensions and levels before commencing on site. Any discrepancy to be reported to the designer immediately. Plans to be read with client specs.

©

MULTI DESIGN
BUILDING SOLUTIONS
P.O. BOX 662 GAWLER S.A. 5118
08 85234235

Title PROPOSED NEW BUILDINGS AT SELF STORAGE FACILITY

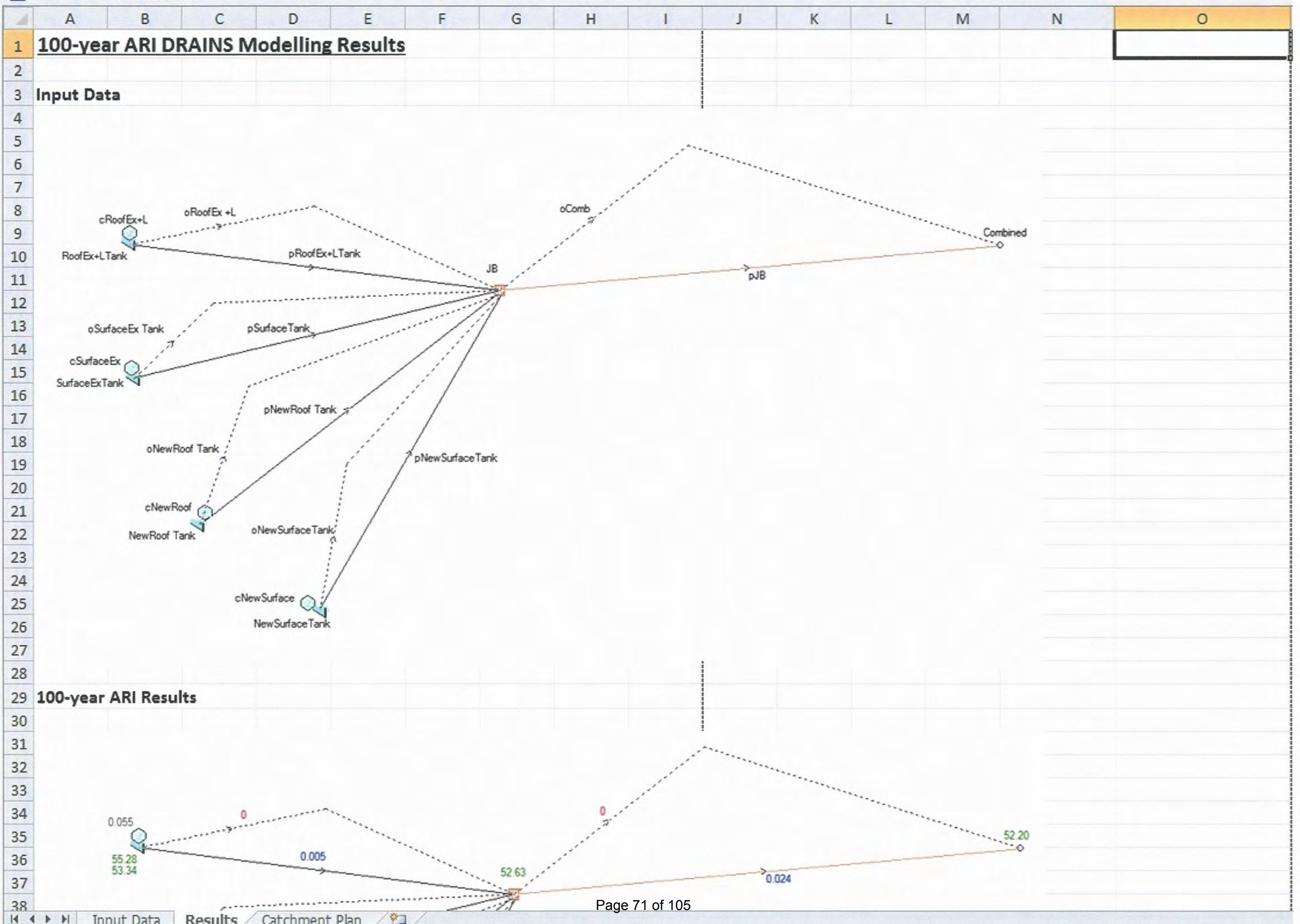
Revision :

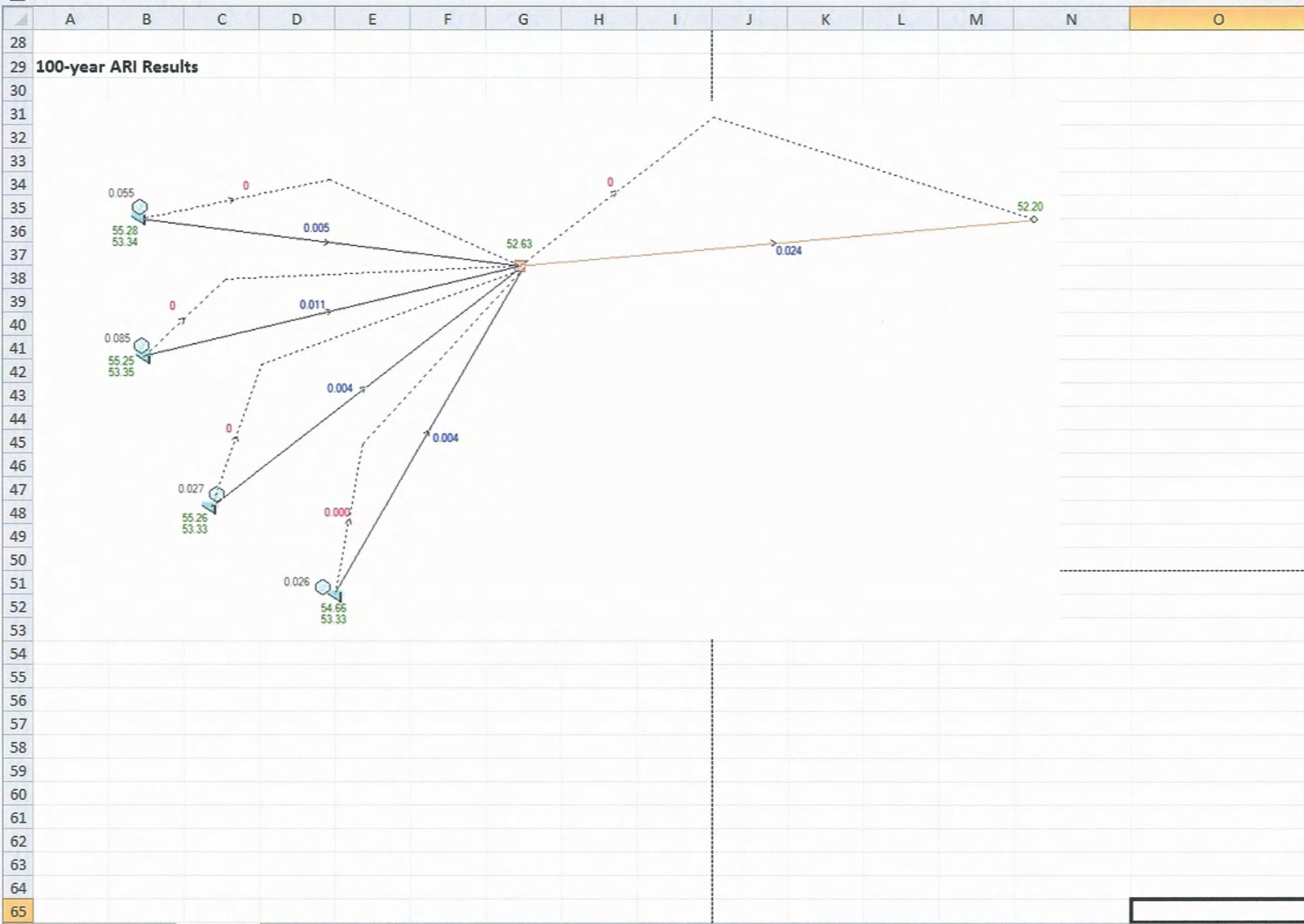
Note : No site survey undertaken on this site building offsets to bdys. approx. only. Owner & builder to determine exact boundary location may need alteration to comply with required bdy. setbacks.

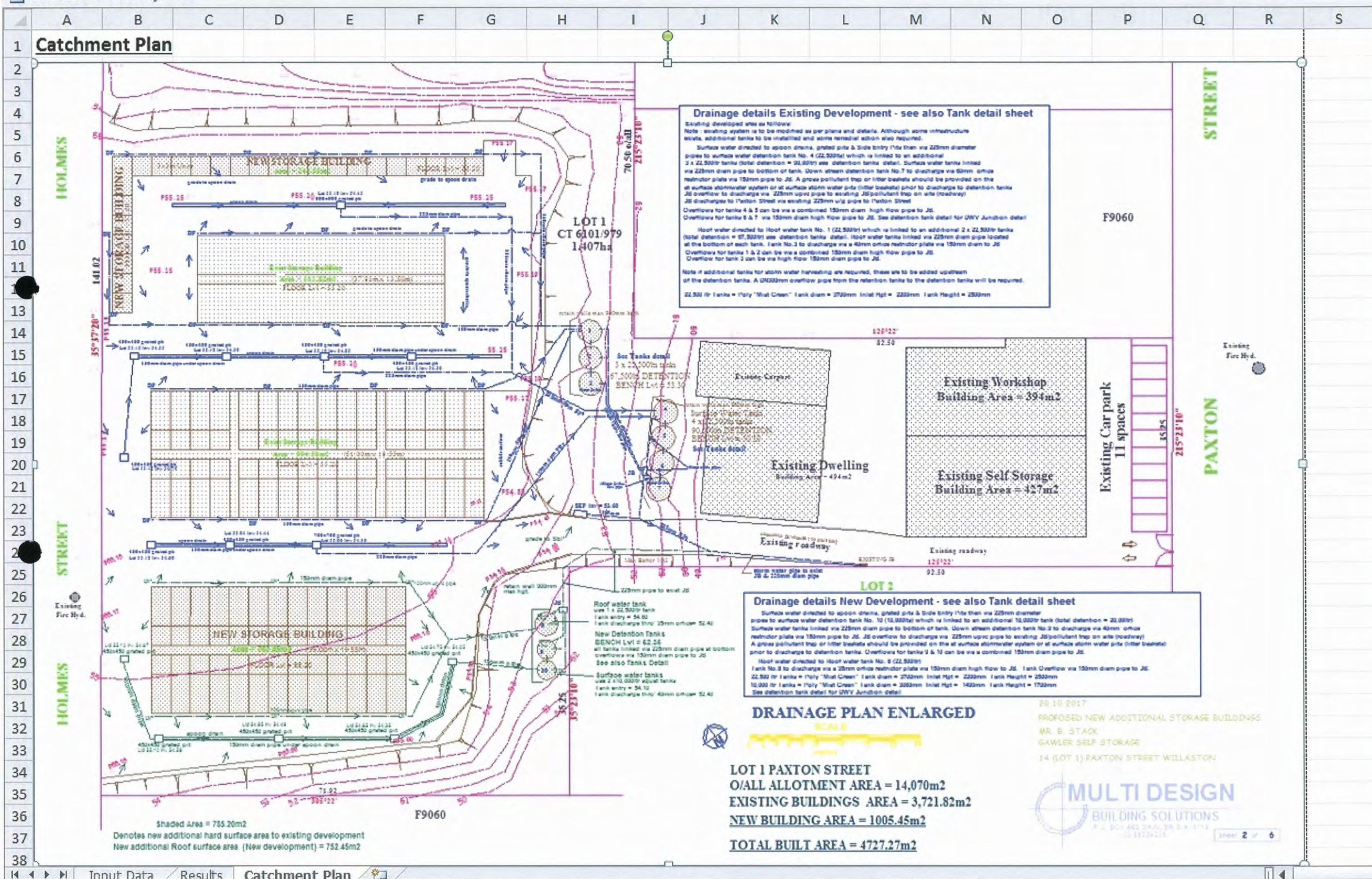
Client MR. B. STACK
GAWLER SELF STORAGE
PO BOX 359 WILLASTON SA 5118
Site 14 (LOT 1) PAXTON STREET
WILLASTON SA 5118

	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R
1	Lot 1 Paxton Street, Willaston																	
2																		
3	At Surface Existing Northern Areas (m2)				Northern Existing and Proposed "L" Shaped Roof Areas (m2)							At Surface New Southern Area (m2)				New Southern Roof Area (m2)		
4		809				994.5							740				762.5	
5		959				512.3												
6		897				243												
7		79																
8																		
9	Total	2744	m2		Total	1750	m2					Total	740	m2		Total	763	m2
10																		
11	Total Area =		4493.8															
12																		
13	Based on original calculations the new PSD is shown below.																	
14	C =	0.25																
15	Tc =	10 min																
16	I5 =	57 mm/h																
17	I10 =	69 mm/h																
18	A =	0.6 ha																
19																		
20	PSD 5-year ARI=		24 L/s															
21																		
22																		
23	Tank Properties																	
24																		
25	ofwater Tanks																	
26	22,500 L Maxiplus tanks																	
27	DN =	3.7 m																
28	H =	2.2 m																
29	Volume =	23.7 m3																
30																		
31	10,000 L Sqat Tanks																	
32	DN =	3.08 m																
33	H =	1.5 m																
34	Volume =	11.2 m3																
35																		
36																		
37	Detention Tank Requirements																	

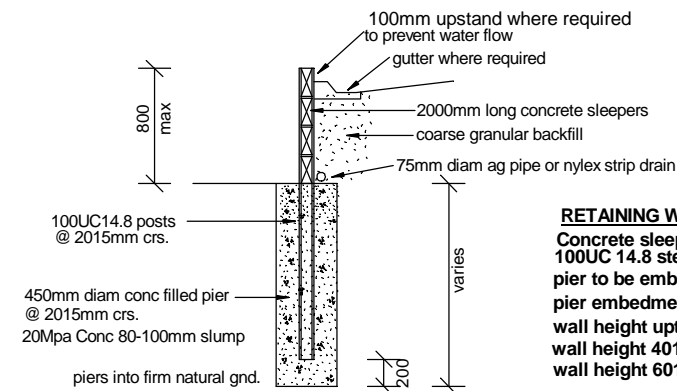
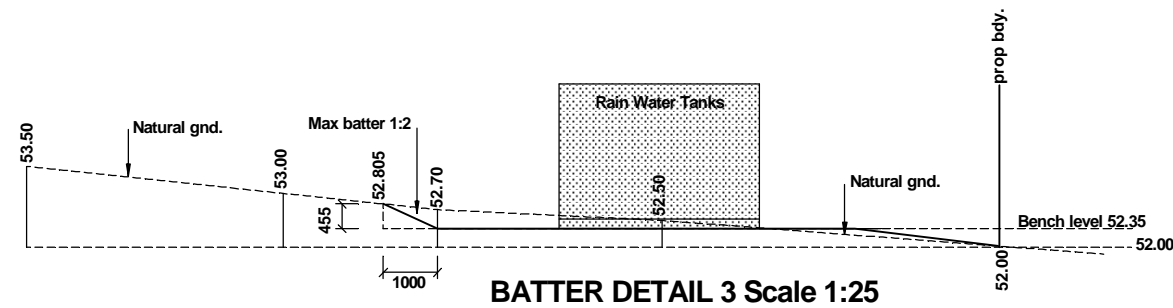
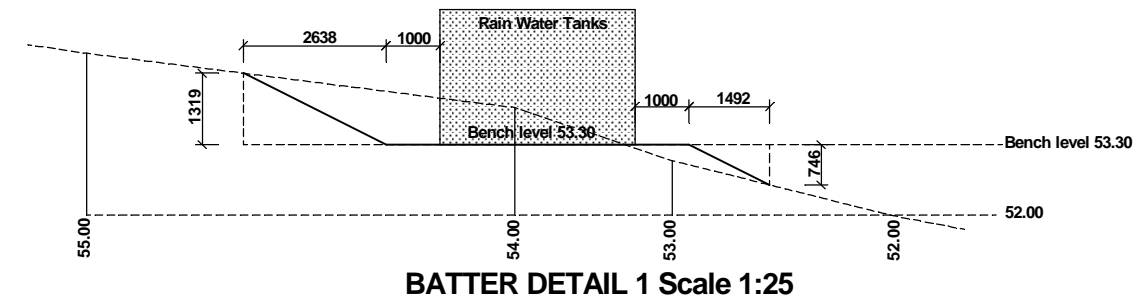
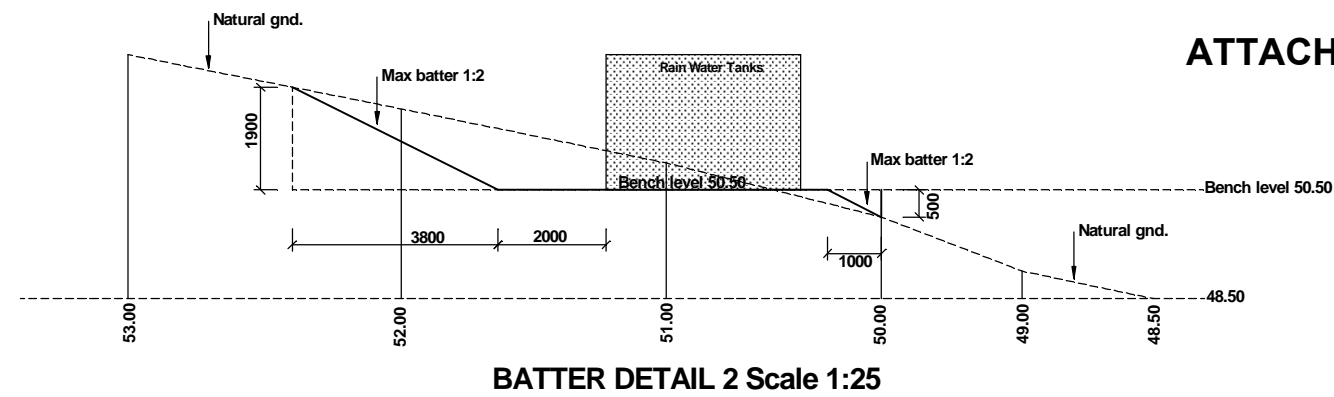
	A	B	C	D	E	F	G	H	I	J	K	L	M	N
36														
37	Detention Tank Requirements													
38	Northern Existing + New "L" Shape Roofwater Detention Tanks													
39	Size	Number of Tanks	Orifice Diameter (mm)											
40	22,500 L	3	40											
41														
42	Northern Existing at Surface Stormwater Detention Tanks													
43	Size	Number of Tanks	Orifice Diameter (mm)											
44	22,500 L	4	60											
45														
46	New Southern Roof Roofwater Detention Tanks													
47	Size	Number of Tanks	Orifice Diameter (mm)											
48	22,500 L	1	35											
49														
50	New Southern Surface Water Detention Tanks													
51	Size	Number of Tanks	Orifice Diameter (mm)											
52	10,000 L Squat	2	40											
53														
54	Each tank is to be connected by a DN225 mm pipe.													
55	A DN225 mm pipe is to be provided on the downstream tank for overflow purposes, with connection to the JB.													
56	A GPT or litter baskets should be provided on the at surface stormwater system or at surface stormwater pits (for litter baskets) prior to discharge to the detention tanks.													
57	Additional tanks for stormwater harvesting and reuse can be added upstream of the detention tanks. A DN300 mm overflow will be required on the retention tanks connecting to the detention tanks.													
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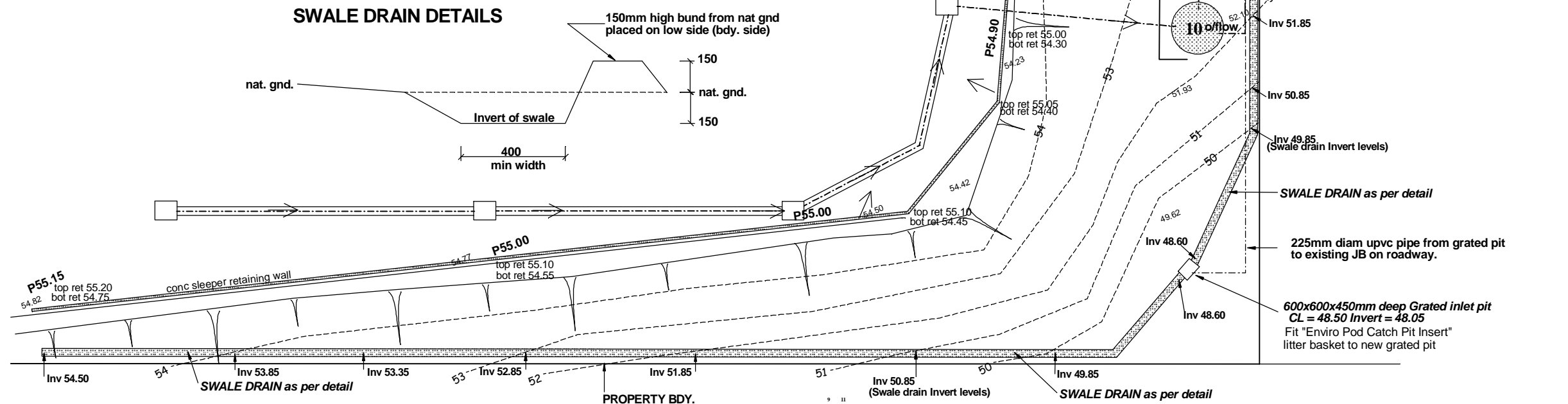


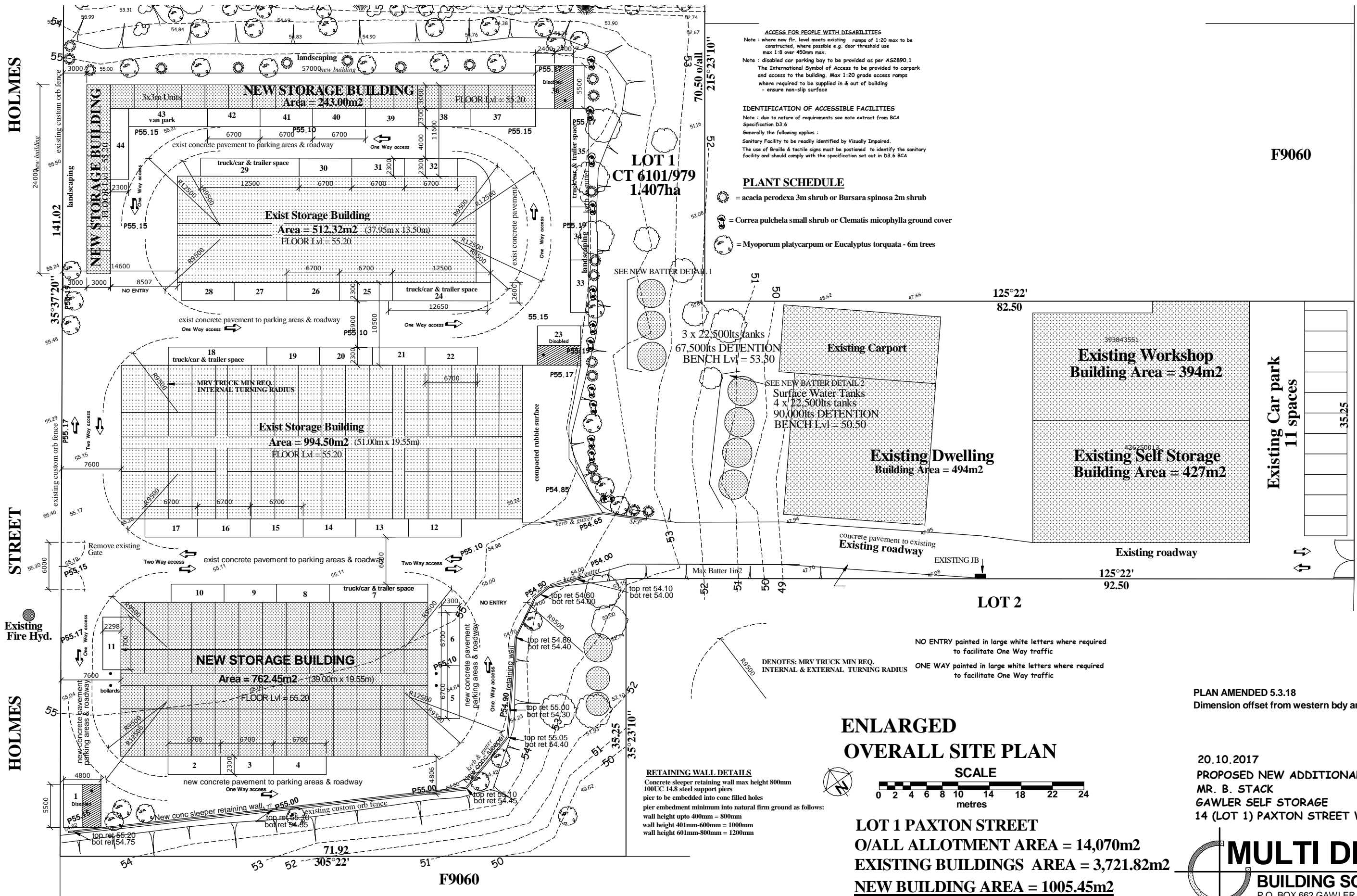


ATTACHMENT 2



SWALE DRAIN DETAILS





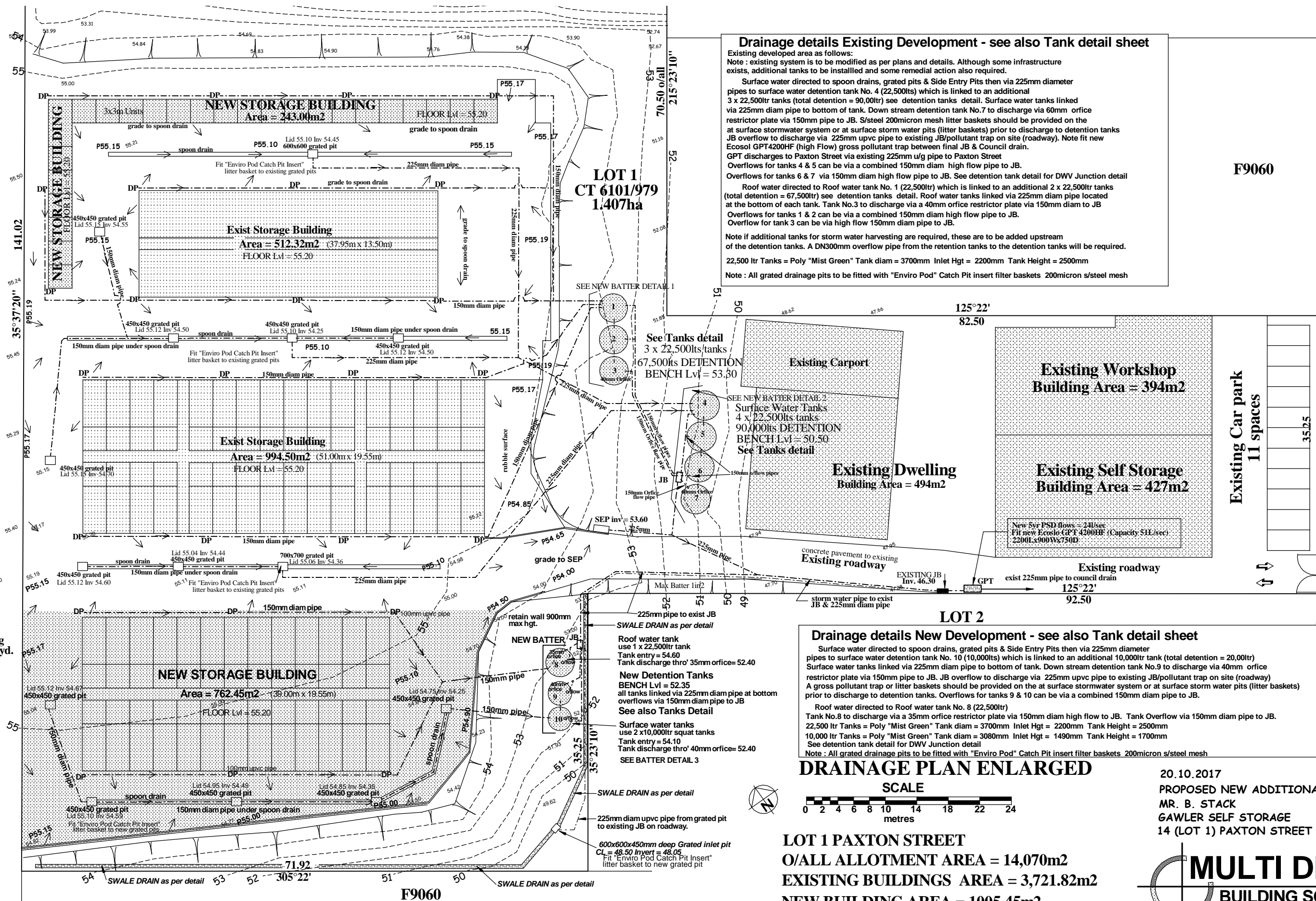
HOLMES

STREET

HOLMES

STREET

PAXTON



STREET

HOLMES

STREET

HOLMES

STREET

PAXTON

Existing Fire Hyd.

Existing Sign

Existing Fire Hyd.

A = easement to the Minister for infrastructure

B

Entry Access

B = free & unrestricted Right Of Way

D32035

F9060

LOT 1
CT 6101/979
1.407ha

ACCESS FOR PEOPLE WITH DISABILITIES

Note : where new fir. level meets existing ramps of 1:20 max to be constructed, where possible e.g. door threshold use max 1:8 over 450mm max.
Note : disabled car parking bay to be provided as per AS2890.1
The International Symbol of Access to be provided to carpark and access to the building. Max 1:20 grade access ramps where required to be supplied in & out of building - ensure non-slip surface

IDENTIFICATION OF ACCESSIBLE FACILITIES

Note : due to nature of requirements see note extract from BCA Specification D3.6
Generally the following applies :
Sanitary Facility to be readily identified by Visually Impaired.
The use of Braille & tactile signs must be positioned to identify the sanitary facility and should comply with the specification set out in D3.6 BCA

PLANT SCHEDULE

- = acacia perodexa 3m shrub or Bursara spinosa 2m shrub
- = Correa pulchella small shrub or Clematis micophylla ground cover
- = Myoporum platycarpum or Eucalyptus torquata - 6m trees

SEE NEW BATTER DETAIL 1

3 x 22,500lts tanks
67,500lts DETENTION
BENCH Lvl = 53.30

Existing Carport

SEE NEW BATTER DETAIL 2
Surface Water Tanks
4 x 22,500lts tanks
90,000lts DETENTION
BENCH Lvl = 50.50

Existing Dwelling
Building Area = 494m²

Existing Workshop
Building Area = 394m²

Existing Self Storage
Building Area = 427m²

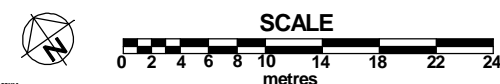
Existing Car park
11 spaces

LOT 2

NO ENTRY painted in large white letters where required to facilitate One Way traffic
ONE WAY painted in large white letters where required to facilitate One Way traffic
DENOTES: MRV TRUCK MIN REQ. INTERNAL & EXTERNAL TURNING RADIUS

PLAN AMENDED 5.3.18
Dimension offset from western bdy amended to 3.0m

ENLARGED
OVERALL SITE PLAN



LOT 1 PAXTON STREET
O/ALL ALLOTMENT AREA = 14,070m²
EXISTING BUILDINGS AREA = 3,721.82m²
NEW BUILDING AREA = 1005.45m²
TOTAL BUILT AREA = 4727.27m²

20.10.2017
PROPOSED NEW ADDITIONAL STORAGE BUILDINGS
MR. B. STACK
GAWLER SELF STORAGE
14 (LOT 1) PAXTON STREET WILLASTON

MULTI DESIGN
BUILDING SOLUTIONS
P.O. BOX 662 GAWLER S.A. 5118
08 85234235

Sheet 1 of 6

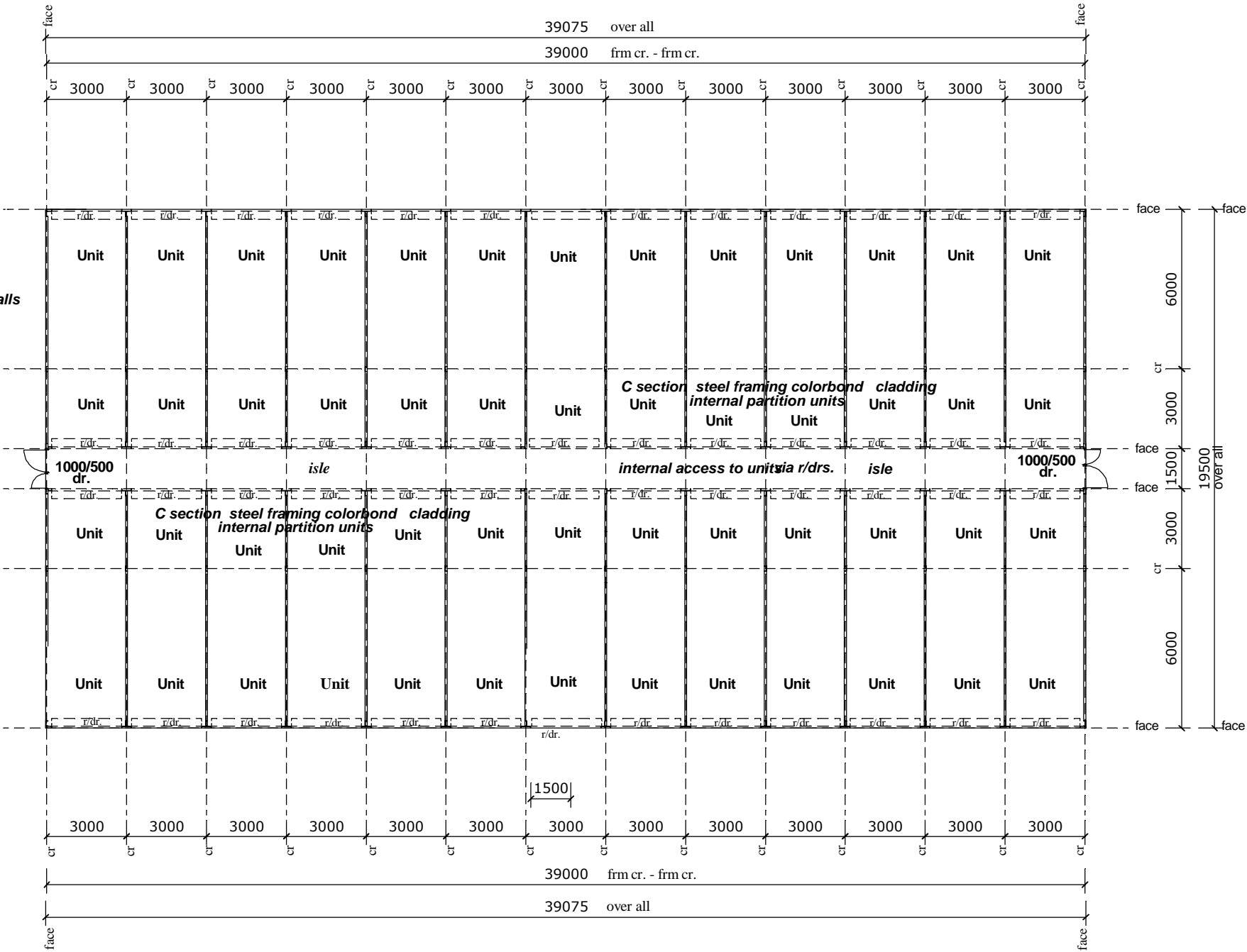
General Construction Notes

DESIGN WIND SPEED N1- 28m/sec

SEE ALSO MANUFACTURERS DETAILS
REFER TO ENGINEERS REPORT FOR ADDITIONAL
INFORMATION ON MEMBERS AND STRUCTURAL DETAIL

Steel frame to storage sheds as per Structural details
Zincalume custom orb cladding to walls
Zincalume "Prodeck" or simmilar roof sheets
"Deep Ocean" colorbond gutters & trims
zincalume roller doors to storage bays 2625mm wide x 2600mm high
100mm Down pipes @ max 12.00m crs.
use ridge vents installed as per manufacturers details
Main Access/entry doors - combination type 1000/500mm

C75mm C section steel stud partition walls
non load bearing
to internal partitioned units



NEW STORAGE BUILDING
BUILDING AREA = 762.45m2

FLOOR PLAN
SCALE 1:200

PLANS FOR PLANNING CONSENT ONLY
Amended 5.3.2018
Wall & Roof colours amended to match existing units

Date	scale	Drawn	Dwg. No
20.10.2017	as shown	J.IAC	GAWLERSTOR201017

Figured dimensions shall take preference over scaled dimensions. Verify dimensions and levels before commencing on site. Any discrepancy to be reported to the designer immediately. Plans to be read with client specs.

©



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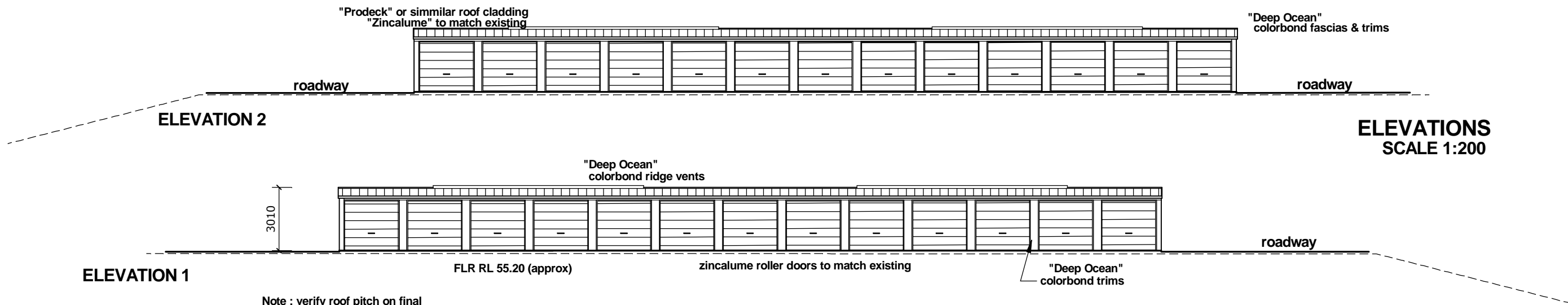
Page 78 of 105

Title
PROPOSED NEW BUILDING AT SELF STORAGE FACILITY

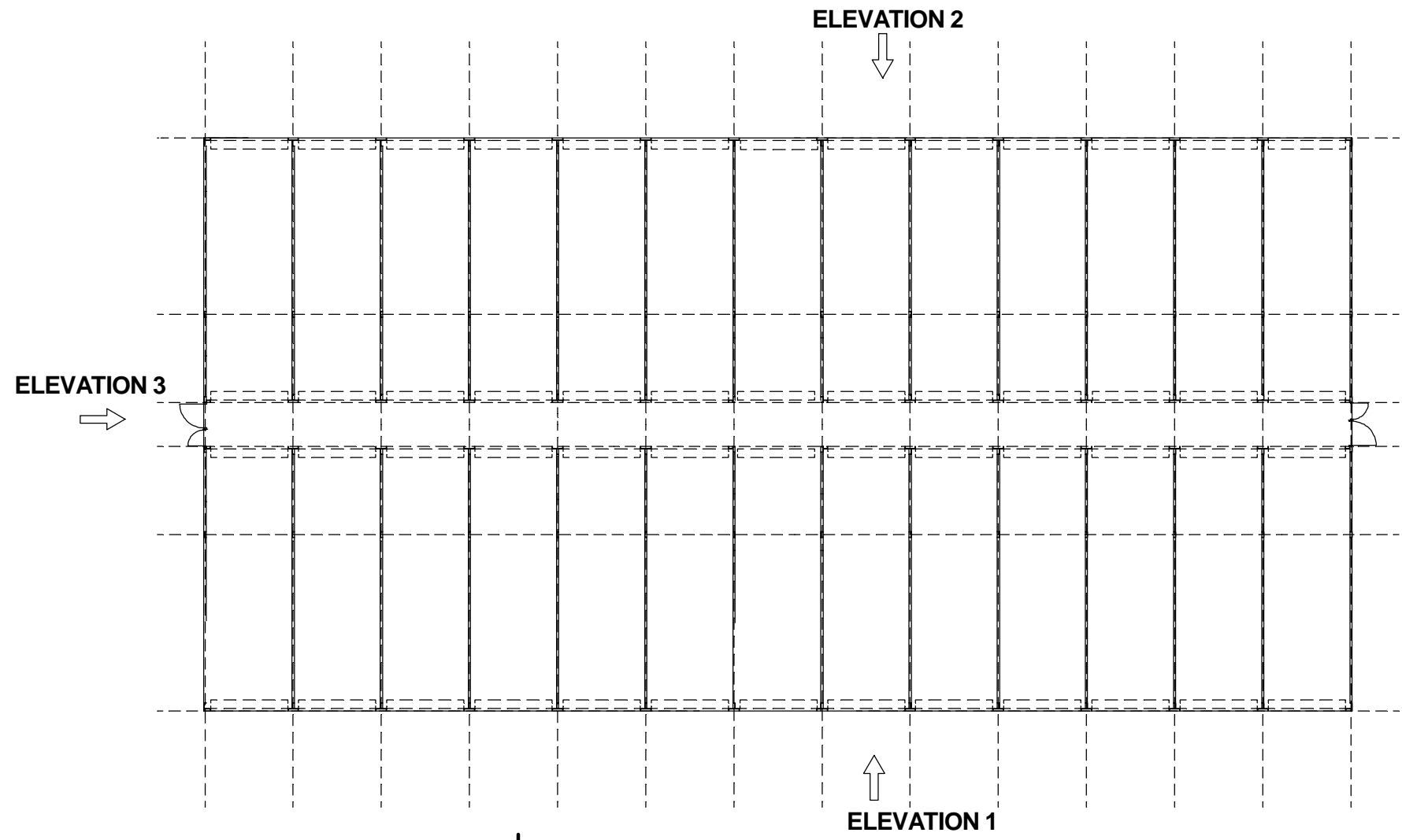
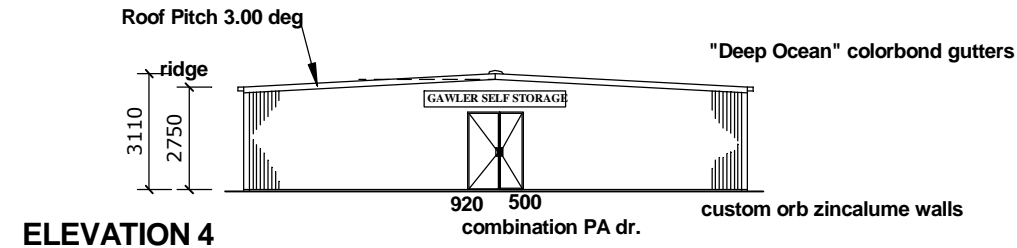
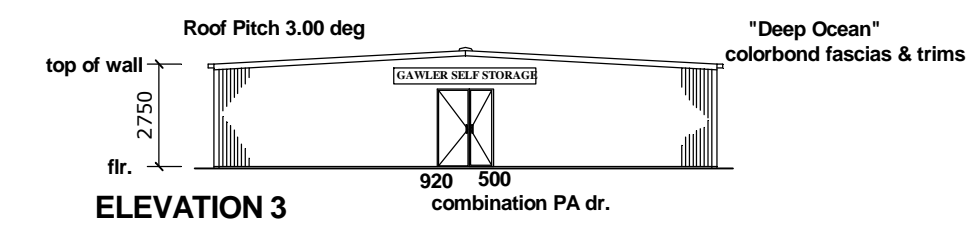
Revision :

Note : No site survey undertaken on this site building offsets to bdys.
approx. only. Owner & builder to determine exact boundary location
plans may need alteration to comply with required bdy. setbacks.

Client	MR. B. STACK GAWLER SELF STORAGE PO BOX 359 WILLASTON SA 5118
Site	14 (LOT 1) PAXTON STREET WILLASTON SA 5118



ELEVATIONS
SCALE 1:200



PLANS FOR PLANNING CONSENT
Amended 5.3.18
Wall & Roof colours amended to match existing units

- Steel C section frame to storage shed
Zincalume custom orb roof cladding
Zincalume custom orb cladding to walls
zincalume roller doors to storage bays
- Internal Steel frame walls to storage bays, walls to full height clad with zincalume custom orb

Date	scale	Drawn	Dwg. No
20.10.2017	as shown	J.IAC	GAWLERSTOR201017

Figured dimensions shall take preference over scaled dimensions. Verify dimensions and levels before commencing on site. Any discrepancy to be reported to the designer immediately. Plans to be read with client specs.



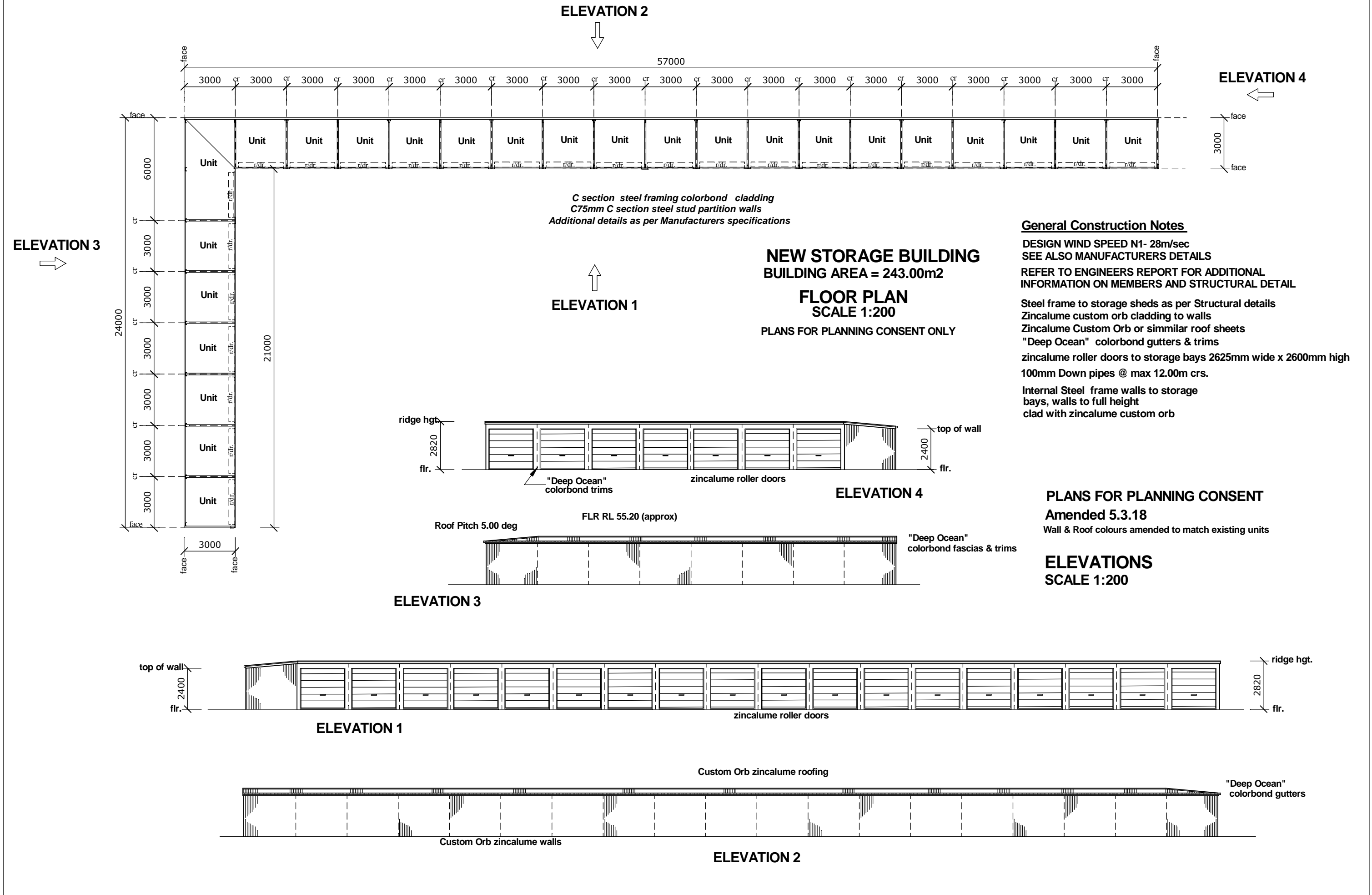
MULTI DESIGN
BUILDING SOLUTIONS
P.O. BOX 662 GAWLER S.A. 5118
08 85234235

Page 79 of 105

Title
PROPOSED NEW BUILDING AT SELF STORAGE FACILITY

Revision :

Client	MR. B. STACK GAWLER SELF STORAGE PO BOX 359 WILLASTON SA 5118
Site	14 (LOT 1) PAXTON STREET WILLASTON SA 5118



General Construction Notes

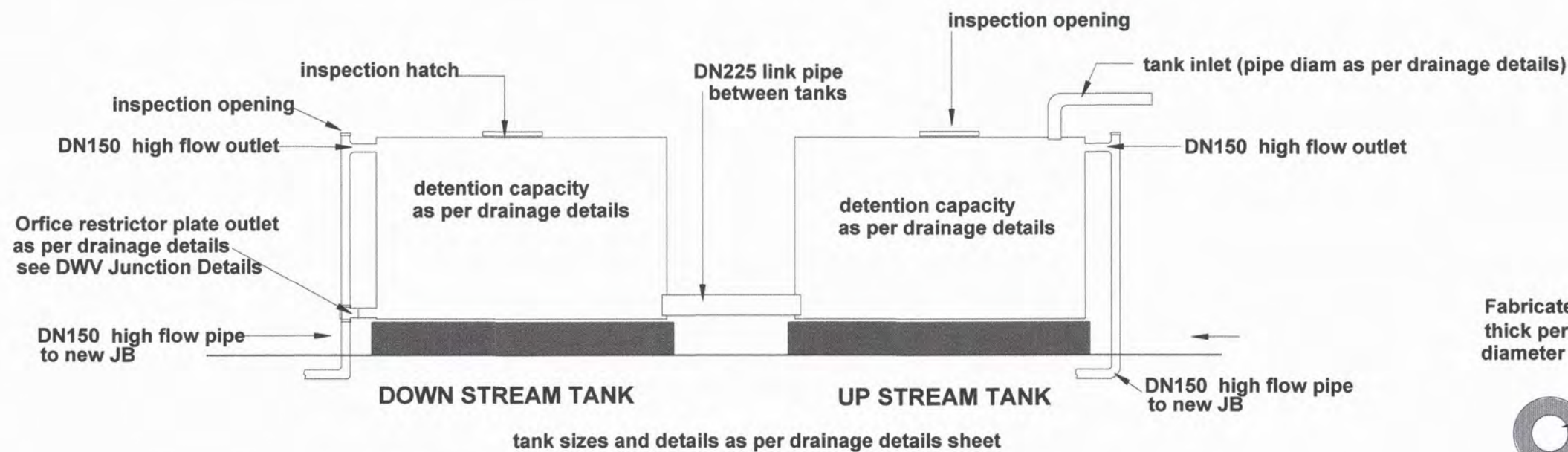
DESIGN WIND SPEED N1- 28m/sec
SEE ALSO MANUFACTURERS DETAILS
REFER TO ENGINEERS REPORT FOR ADDITIONAL INFORMATION ON MEMBERS AND STRUCTURAL DETAIL

Steel frame to storage sheds as per Structural details
Zincalume custom orb cladding to walls
Zincalume Custom Orb or simmilar roof sheets
"Deep Ocean" colorbond gutters & trims
zincalume roller doors to storage bays 2625mm wide x 2600mm high
100mm Down pipes @ max 12.00m crs.

Internal Steel frame walls to storage bays, walls to full height
clad with zincalume custom orb

PLANS FOR PLANNING CONSENT
Amended 5.3.18
Wall & Roof colours amended to match existing units

ELEVATIONS
SCALE 1:200



DETENTION TANKS DETAIL

Fabricate Orifice disk using a hole saw and 10mm thick perspex sheet. centre hole to be drilled to required diameter to suit calculated orifice size

Orifice plate disk
Orifice diameter as per details

Orifice disk to be glued inside DWV junction
The UPVC from the tank is to butt up against the orifice disk

high flow outlet
from top of tank outlet

tank wall

detention tank

outlet pipe

high flow outlet pipe
to new JB

DWV JUNCTION DETAIL

DISABLED PARK DETAIL

To be constructed as per AS/NZS 2890.6

Roadway Side

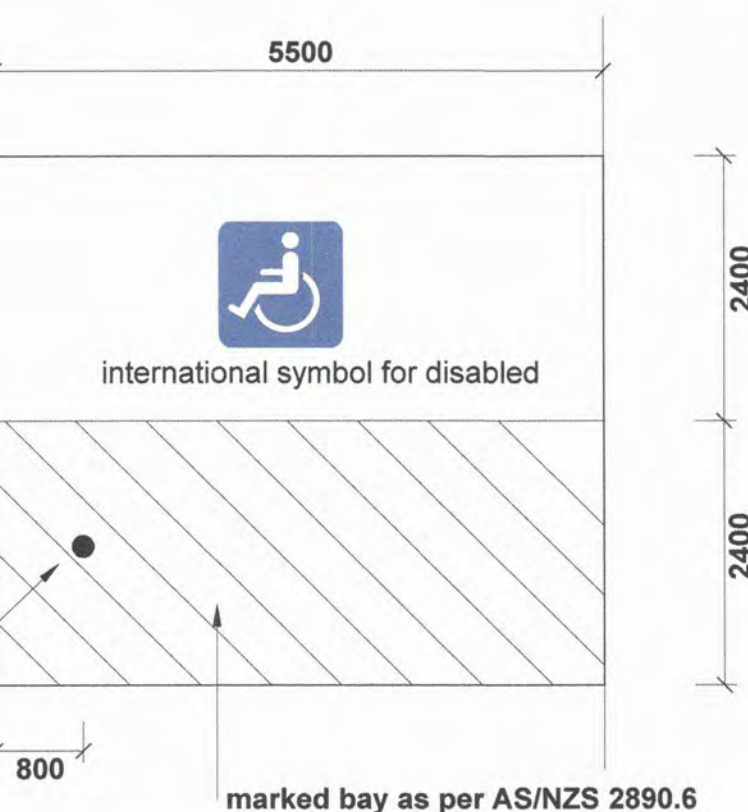


international symbol for disabled

Bollard positioned in the centre of marked bay
800mm in from roadway edge

800

marked bay as per AS/NZS 2890.6



Sheet 6 of 6

Date 20.10.2017
scale as shown
Drawn J.IAC
Dwg. No GAWLERSTOR201017

Figured dimensions shall take preference over scaled dimensions. Verify dimensions and levels before commencing on site. Any discrepancy to be reported to the designer immediately. Plans to be read with client specs.

MULTI DESIGN
BUILDING SOLUTIONS
P.O. BOX 662 GAWLER S.A. 5118
08 85234235

Title PROPOSED NEW BUILDINGS AT SELF STORAGE FACILITY

Revision :

Note : No site survey undertaken on this site building offsets to bdys. approx. only. Owner & builder to determine exact boundary location may need alteration to comply with required bdy. setbacks.

Client MR. B. STACK
GAWLER SELF STORAGE
PO BOX 359 WILLASTON SA 5118
Site 14 (LOT 1) PAXTON STREET
WILLASTON SA 5118



NOTICE OF CATEGORY 2 DEVELOPMENT

Pursuant to Section 38 of the Development Act 1993

DEVELOPMENT NUMBER: 490/613/2017
 APPLICANT: GAWLER SELF STORAGE
 NATURE OF DEVELOPMENT: Expansion of existing storage facility including two (2) new storage buildings, expansion and formalisation of carparking and associated landscaping
 SUBJECT LAND: LOT: 1 PLN: 90262 CT: 6101/979
 10/14 Paxton Street WILLASTON 5118
 ZONE: Light Industry
 POLICY AREA:

My Name: GRAHAM FERGUSON.

Organisation:
(if applicable)

Postal Address: P.O. Box 260 STREAKY BAY

Contact: 0412 319 357

Email: Ferguson.gc8@gmail.com

My representation:
(please tick which applies)

- ☒ supports the proposed development
☐ supports the proposed development but has some concerns
☐ opposes the proposed development

My interests are:
(please tick which applies)

- ☒ owner of local property
☐ occupier of local property
☐ a representative of a company/ organisation affected by the proposal
☐ a private citizen

The address of the property affected is: No 20 (unit) Holmes St WILLASTON SA.

The specific aspects of the application to which I make comment on are:

NOTICE OF CATEGORY 2 DEVELOPMENT
Pursuant to Section 38 of the Development Act 1993

My objections (if any) could be overcome by:

Other Comments:

PLEASE NOTE: IF YOU WISH TO BE HEARD YOU MUST COMPLETE THIS SECTION. IF YOU DO NOT COMPLETE THIS SECTION IT WILL BE TAKEN THAT YOU DO NOT WISH TO BE HEARD.

☐ I wish to be heard by the Development Assessment Panel in support of my representation.

By: ☐ appearing personally
☐ being represented by the following person: _____
(please tick which applies)

Signature:  Date: 23/4/2018

The closing time and date for Representations is 5.00pm on Friday 27 April 2018.

Please note that in accordance with Section 38(8) of the Development Act 1993, a copy of this representation will be forwarded to the Applicant for their information and response. Further a copy of your representation (including your name and address) may be included within a publically accessible Council Development Assessment Panel agenda and uploaded to Council's website.

To submit your representation you may:

- Post it to PO Box 130, Gawler SA 5118; OR
- Email it to planningadmin@gawler.sa.gov.au; OR
- Submit it in person at Town of Gawler Administration Centre, 43 High Street, Gawler East (opening hours: 9:00am – 5:00pm).

(You may attach additional pages and/or other documents such as photographs if necessary)

**TOWN OF GAWLER
NOTICE OF CATEGORY 2
DEVELOPMENT APPLICATION**

Pursuant to Section 38 of the Development Act 1993

Gawler



TRIM reference: DA490/613/17
Contact Officer: Jessica Lewig
Direct Line: 8522 9279
Email: jessica.lewig@gawler.sa.gov.au



Town of Gawler
43 High Street
Gawler East SA 5118
PO Box 130
Gawler SA 5118
Phone: (08) 8522 9211
Fax: (08) 8522 9212
council@gawler.sa.gov.au
gawler.sa.gov.au

12 April 2018

Dear Owner/Occupier,

Notice is hereby given that a development application requiring Category 2 Public Notification has been lodged with Council for development assessment. As an owner or occupier of nearby/abutting land, you are permitted, if you wish, to provide comment in writing (in the form of a representation) to the Council for consideration in the assessment of the proposal. Details of the application are as follows:

DEVELOPMENT NUMBER:	490/613/2017
APPLICANT:	GAWLER SELF STORAGE
NATURE OF DEVELOPMENT:	Expansion of existing storage facility including two (2) new storage buildings, expansion and formalisation of carparking and associated landscaping
SUBJECT LAND:	LOT: 1 PLN: 90262 CT: 6101/979 10/14 Paxton Street WILLASTON 5118
CERTIFICATE OF TITLE :	Volume 6101 Folio 979
ZONE:	Light Industry
POLICY AREA:	-

The application may be examined at either of the following:

- Town of Gawler Administration Centre, 43 High Street, Gawler East, during normal business hours; OR
- <https://www.gawler.sa.gov.au/services/development/category-2-3-notification>

The notification period commences on Friday 13 April 2018, in which case all representations are required to be submitted no later than 5:00 pm Friday 27 April 2018.

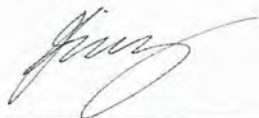
Each person making a representation should indicate whether that person wishes to appear personally or be represented by another party before the Council Assessment Panel in support of the representation. Please note that, pursuant to Section 38(8) of the *Development Act 1993*, a copy of each representation received will be forwarded to the applicant for consideration. Your attention is drawn to the fact that there is **no right of appeal** against a Council's decision on a Category 2 development to the Environment, Resources and Development Court. Only people whom have received this notification directly from Council have rights of Category 2 Notification.

To submit your representation you may:

- Post it to PO Box 130, Gawler SA 5118; OR
- Email it to planningadmin@gawler.sa.gov.au; OR
- Submit it in person at Town of Gawler Administration Centre, 43 High Street, Gawler East (opening hours: 9:00am – 5:00pm).

If you have any questions in relation to this matter, or desire to discuss any aspect of the proposal, please contact the undersigned.

Yours faithfully

Signed: 
Jessica Lewig
Development Assessment Planner

Date: 12 April 2018

NOTICE OF CATEGORY 2 DEVELOPMENT
Pursuant to Section 38 of the Development Act 1993

DEVELOPMENT NUMBER: 490/613/2017
APPLICANT: GAWLER SELF STORAGE
NATURE OF DEVELOPMENT: Expansion of existing storage facility including two (2) new storage buildings, expansion and formalisation of carparking and associated landscaping
SUBJECT LAND: LOT: 1 PLN: 90262 CT: 6101/979
 10/14 Paxton Street WILLASTON 5118
ZONE: Light Industry
POLICY AREA:

My Name: Greg Sambell **Organisation:** Gawler Body Works
 (if applicable)
Postal Address: 15 B Paxton St
Contact: 0410445046 **Email:** greg@gawlerbodyworks.com

My representation:
 (please tick which applies)
☒ supports the proposed development
☐ supports the proposed development but has some concerns
☐ opposes the proposed development

My interests are:
 (please tick which applies)
☐ owner of local property
☐ occupier of local property
☐ a representative of a company/ organisation affected by the proposal
☐ a private citizen

The address of the property affected is:

The specific aspects of the application to which I make comment on are:

(You may attach additional pages and/or other documents such as photographs if necessary)

NOTICE OF CATEGORY 2 DEVELOPMENT
Pursuant to Section 38 of the Development Act 1993

My objections (if any) could be overcome by:

Other Comments:

PLEASE NOTE: IF YOU WISH TO BE HEARD YOU MUST COMPLETE THIS SECTION. IF YOU DO NOT COMPLETE THIS SECTION IT WILL BE TAKEN THAT YOU DO NOT WISH TO BE HEARD.

☐ I wish to be heard by the Development Assessment Panel in support of my representation.

By:

☐ appearing personally

☐ being represented by the following person: _____

(please tick which applies)

Signature: _____

Date: 18-4-18

The closing time and date for Representations is 5.00pm on Friday 27 April 2018.

Please note that in accordance with Section 38(8) of the Development Act 1993, a copy of this representation will be forwarded to the Applicant for their information and response. Further a copy of your representation (including your name and address) may be included within a publically accessible Council Development Assessment Panel agenda and uploaded to Council's website.

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(You may attach additional pages and/or other documents such as photographs if necessary)

**TOWN OF GAWLER
NOTICE OF CATEGORY 2
DEVELOPMENT APPLICATION**

Pursuant to Section 38 of the Development Act 1993

Gawler



TRIM reference: DA490/613/17
Contact Officer: Jessica Lewig
Direct Line: 8522 9279
Email: jessica.lewig@gawler.sa.gov.au

Town of Gawler
43 High Street
Gawler East SA 5118
PO Box 130
Gawler SA 5118
Phone: (08) 8522 9211
Fax: (08) 8522 9212
council@gawler.sa.gov.au
gawler.sa.gov.au

12 April 2018

Dear Owner/Occupier,

Notice is hereby given that a development application requiring Category 2 Public Notification has been lodged with the Council for development assessment. As an owner or occupier of nearby/abutting land, you are permitted, if you wish, to provide comment in writing (in the form of a representation) to the Council for consideration in the assessment of the proposal. Details of the application are as follows:

DEVELOPMENT NUMBER:	490/613/2017
APPLICANT:	GAWLER SELF STORAGE
NATURE OF DEVELOPMENT:	Expansion of existing storage facility including two (2) new storage buildings, expansion and formalisation of carparking and associated landscaping
SUBJECT LAND:	LOT: 1 PLN: 90262 CT: 6101/979 10/14 Paxton Street WILLASTON 5118
CERTIFICATE OF TITLE :	Volume 6101 Folio 979
ZONE:	Light Industry
POLICY AREA:	-

The application may be examined at either of the following:

- Town of Gawler Administration Centre, 43 High Street, Gawler East, during normal business hours; OR
- <https://www.gawler.sa.gov.au/services/development/category-2-3-notification>

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Each person making a representation should indicate whether that person wishes to appear personally or be represented by another party before the Council Assessment Panel in support of the representation. Please note that, pursuant to Section 38(8) of the *Development Act 1993*, a copy of each representation received will be forwarded to the Council for consideration. Your attention is drawn to the fact that there is **no right of appeal** against a Council's decision on a Category 2 development to the Environment, Resources and Development Court. Only people who have received notification directly from Council have rights of Category 2 Notification.

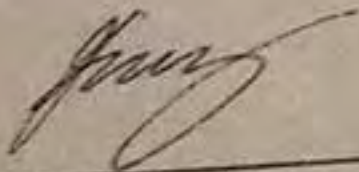
To submit your representation you may:

- Post it to PO Box 130, Gawler SA 5118; OR
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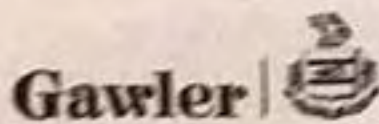
If you have any questions in relation to this matter, or desire to discuss any aspect of the proposal, please contact the undersigned.

Yours faithfully

Signed:


Jessica Lewig
Development Assessment Planner

Date: 12 April 2018



NOTICE OF CATEGORY 2 DEVELOPMENT
Pursuant to Section 38 of the Development Act 1993

DEVELOPMENT NUMBER: 490/813/2017
APPLICANT: GAWLER SELF STORAGE
NATURE OF DEVELOPMENT: Expansion of existing storage facility including two (2) new storage buildings, expansion and formalisation of carparking and associated landscaping
SUBJECT LAND: LOT: 1 PLN: 90262 CT: 6101/978
10/14 Paxton Street WILLASTON 5118
ZONE: Light Industry
POLICY AREA:

My Name: Sarah Groom Organisation: (if applicable)
Postal Address: Unit 1/22 Barnett Rd Evanston
Contact: 0429547760 Email: Sarah.groom1@school.sa.edu.au

My representation:
(please tick which applies)

- ☐ supports the proposed development
☒ supports the proposed development but has some concerns
☐ opposes the proposed development

My interests are:
(please tick which applies)

- ☐ owner of local property
☒ occupier of local property
☐ a representative of a company/ organisation affected by the proposal
☐ a private citizen

The address of the property affected is:

U 2/6 Jarvis St

The specific aspects of the application to which I make comment on are:

I don't know enough about proposed development + how it may impact my property

NOTICE OF CATEGORY 2 DEVELOPMENT
Pursuant to Section 38 of the Development Act 1993

My objections (if any) could be overcome by:

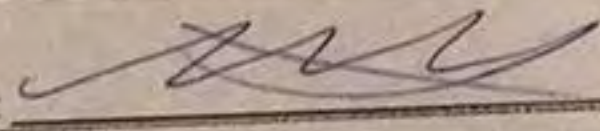
Knowing my property wouldn't
be impacted

Other Comments:

PLEASE NOTE: IF YOU WISH TO BE HEARD YOU MUST COMPLETE THIS SECTION. IF YOU DO NOT COMPLETE THIS SECTION IT WILL BE TAKEN THAT YOU DO NOT WISH TO BE HEARD.

☐ I wish to be heard by the Development Assessment Panel in support of my representation.

By: ☐ appearing personally
☐ being represented by the following person: _____
(please tick which applies)

Signature: 

Date: 26/4/2018

The closing time and date for Representations is 5.00pm on Friday 27 April 2018.

Please note that in accordance with Section 38(8) of the Development Act 1993, a copy of this representation will be forwarded to the Applicant for their information and response. Further a copy of your representation (including your name and address) may be included within a publically accessible Council Development Assessment Panel agenda and uploaded to Council's website.

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(You may attach additional pages and/or other documents such as photographs if necessary)

ATTACHMENT 4

Jessica Lewig

From: John Iacopetta <multidesign@aapt.net.au>
Sent: Wednesday, 02 May 2018 02:29 PM
To: Jessica Lewig
Cc: gawlerselfstore@internode.on.net
Subject: Re Representations DA 490 613 2017

Hi Jessica,

I have received your letter regarding the representations received and discussed with Mr B Stack (Gawler Self Storage).

With regard to the representations received by Mr. G Sambell and Mr. G Ferguson we have no response to those representations.

With regard to the representation by Sarah Groom a resident at Unit 2 at 6 Jarvis Street, I note she supports the application but had a concern.

Her concern is that she didn't know how the development would affect her. It's a pity she had not taken the time to view the plans in detail and perhaps discuss them with a planner if she didn't understand the plans or what the development was going to entail. Given that only the small unit building would be visible or within proximity of her residence and that the site has already been granted approval for storage containers in the same location and of similar size, we believe the impact would be negligible if any at all.

Therefore I do not believe Sarah needs to have any concerns with the proposed development.

Given no one has elected to speak at the meeting we also choose not to be heard.

Regards,

John Iacopetta



Multi Design

PO Box 662 Gawler SA 5118

Phn. 85 234235

**Town of Gawler
Council Assessment Panel**

ATTACHMENTS UNDER SEPARATE COVER

Monday 14 May 2018

Item		Page No
5.4	Development Application: 490/156/2017	91
	Applicant: M M & J MAZZEO	
	Address: 20 Adelaide Road GAWLER SOUTH	
	Nature of Development: Change of use from residential (dwelling) to pet grooming salon and construction of associated car park	
	Attachment 1 - Application Plans and Documentation	93
	Attachment 2 - Category 2 Representation	102
	Attachment 3 - DPTI external referral comment	104

ATTACHMENT 1

From: Moni Mazzeo
To: [Scott Twine](#)
Subject: FW: 490/156/2017 - Additional Information Request - 20 Adelaide Road, Gawler
Date: Tuesday, 30 May 2017 11:46:38 AM
Attachments: [20 Adelaide Rd Plan.pdf](#)

Hi Scott,

Please find the information as follows:

The property is to be used as a pet grooming salon. The property was previously classified as a residential dwelling.

The business's hours of operation will be 9am-5pm, Monday-Saturday.

The business will utilise a maximum of 3 staff members.

As the business operates by appointment will serve a maximum of 2 customers at one time.

No more than 4 animals will be on site at one time, and none will be kept on site outside of business hours.

Standard kerbside collection services will be utilised for waste management.

No deliveries outside standard postal/courier services are required.

Details of the signage (a single sign underneath the front Verandah) has been submitted previously and placed as requested by council.

No painting is required as the existing paintwork is in good condition.

The floor plan remains unchanged at this stage however we will be reconfiguring a wet area as a disabled toilet once we have had a meeting on site with your representative.

Please see the attached plan for all details relating to carparking, landscaping, structures and water drainage.

If you require any further details please contact me via email.

Kindest Regards Moni

Sent on the go with Vodafone

Scott Twine

Subject: FW: 20 Adelaide Road, Gawler

From: Moni Mazzeo [<mailto:moni.mazzeo@bigpond.com>]

Sent: Thursday, 06 April 2017 11:39 AM

To: Scott Twine <Scott.Twine@gawler.sa.gov.au>

Subject: 20 Adelaide Road, Gawler

Re: 20 Adelaide Road.

Hi Scott

Justin is getting all the information together for you. We will be painting this weekend though and I've been waiting for the colour codes from Solver.

They had faded so we had to find the codes.

And to top it off Solver didn't record both colours!

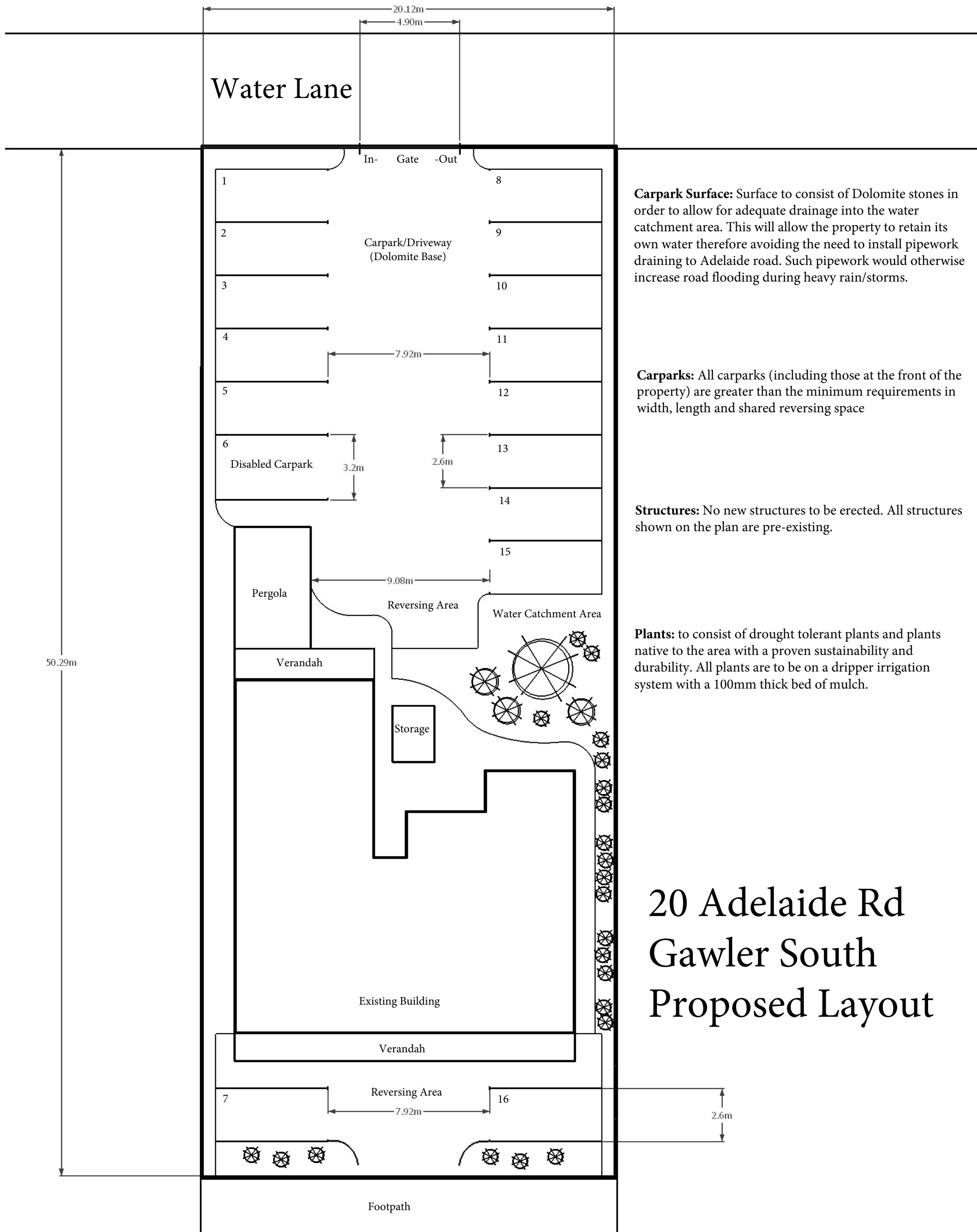
The roof will be the dark grey 'thunderbolt' and the front will be the sandstone colour but we don't have the name yet. I have attached pictures of both. The grey currently on the support posts at the front IS NOT the colour but rather an undercoat! The grey on the side of the tin is the roof colour. Given that it has been used recently on two other buildings in the area I am going to assume that we will be OK with this colour scheme.

Let me know please if you think there will be any issues. I'll send more info through by early next week. Kindest Regards Moni









Carpark Surface: Surface to consist of Dolomite stones in order to allow for adequate drainage into the water catchment area. This will allow the property to retain its own water therefore avoiding the need to install pipework draining to Adelaide road. Such pipework would otherwise increase road flooding during heavy rain/storms.

Carparks: All carparks (including those at the front of the property) are greater than the minimum requirements in width, length and shared reversing space

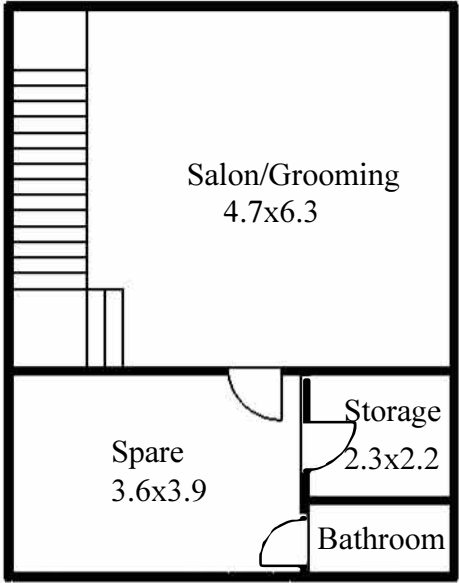
Structures: No new structures to be erected. All structures shown on the plan are pre-existing.

Plants: to consist of drought tolerant plants and plants native to the area with a proven sustainability and durability. All plants are to be on a dripper irrigation system with a 100mm thick bed of mulch.

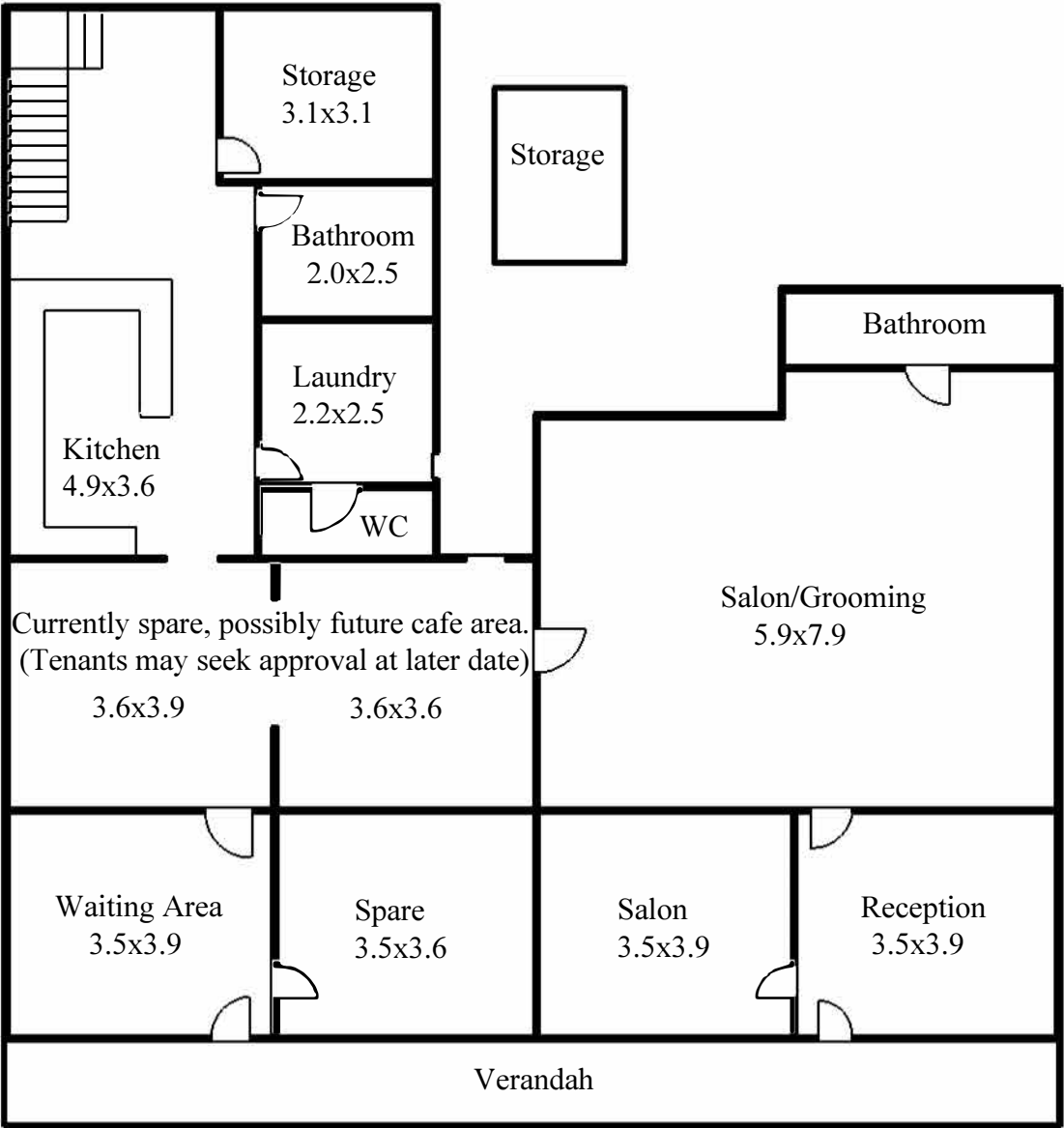
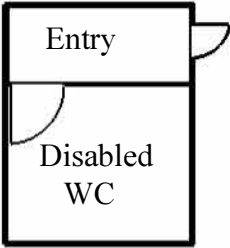
20 Adelaide Rd Gawler South Proposed Layout

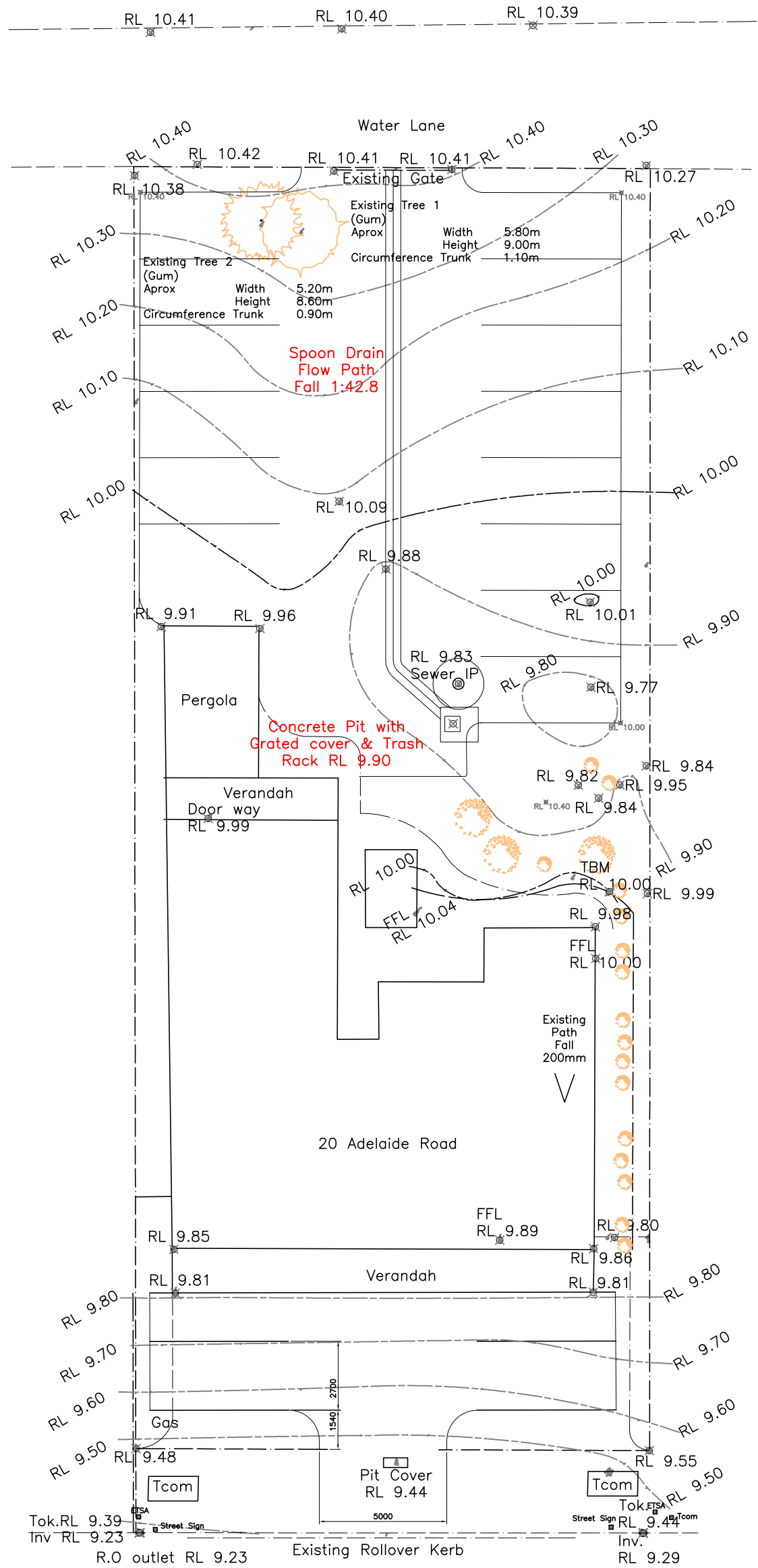
Adelaide Rd

Upper Floor Layout



Option for Disabled WC
(Replaces Laundry and WC)

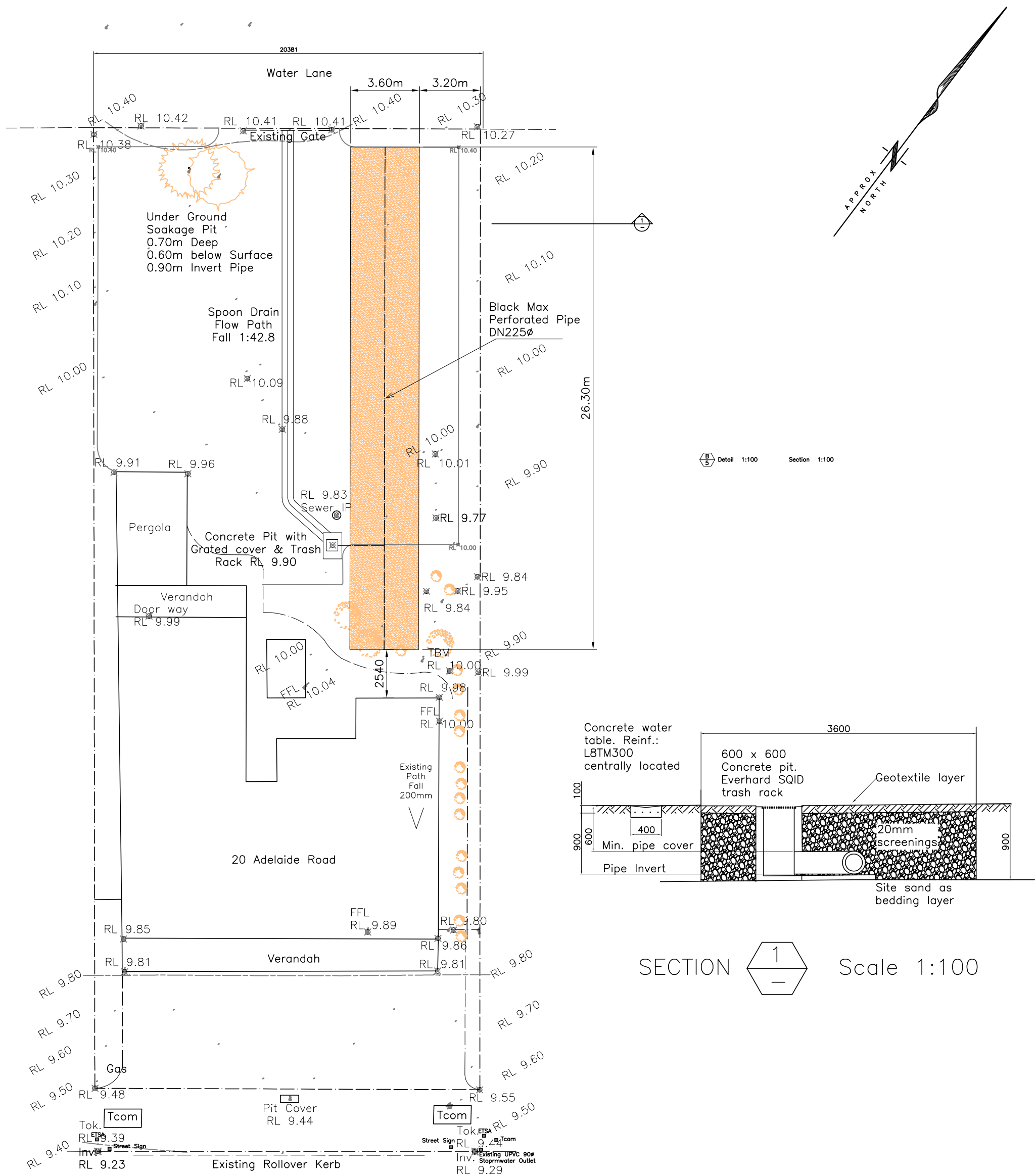




Contour Plan

Amendment a: Front of house parking

Hudson Environ Engineering – Civil, Structural 11 Coombe Street, Gawler East, South Australia 5118 Phone 08 85234088	Proposed Stormwater Management for Rear Carpark Mazzeo 20 Adelaide Road, Gawler South	Issue date: 22 Nov.17 Scale-app: 1:200 Client: Mazzeo Drawn By: A Turne	Hudson Environ Drawing : HE17049 Sheet : 1a
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Drainage Plan



NOTICE OF CATEGORY 2 DEVELOPMENT

Pursuant to Section 38 of the Development Act 1993

DEVELOPMENT NUMBER: 490/156/2017
 APPLICANT: L FRANKLIN
 NATURE OF DEVELOPMENT: Change of Use from Residential (Dwelling) to Pet Grooming Salon and construction of associated car park
 SUBJECT LAND: LOT: 94 PLN: F207124 CT: 5445/293
 20 Adelaide Road GAWLER SOUTH 5118
 ZONE: Town Centre Historic (Conservation)
 POLICY AREA: Gawler South Town Centre Historic (Conservation)

My Name: Rebecca Keckle Organisation: MKRL Property P/L
 (if applicable) Millard Conveyancing
 Postal Address: PO Box 1011 Gawler SA 5118
 Contact: Email:

My representation:
 (please tick which applies)

- ☒ supports the proposed development
☐ supports the proposed development but has some concerns
☐ opposes the proposed development

My interests are:
 (please tick which applies)

- ☒ owner of local property
☒ occupier of local property
☐ a representative of a company/ organisation affected by the proposal
☐ a private citizen

The address of the property affected is:

18A Adelaide Road Gawler 5118.

The specific aspects of the application to which I make comment on are:

This should be allowed as the property has been maintained so much better in the last 6 months than it ever has.

It would be a shame to see this business closed.

NOTICE OF CATEGORY 2 DEVELOPMENT
Pursuant to Section 38 of the Development Act 1993

My objections (if any) could be overcome by:

Other Comments:

PLEASE NOTE: IF YOU WISH TO BE HEARD YOU MUST COMPLETE THIS SECTION. IF YOU DO NOT COMPLETE THIS SECTION IT WILL BE TAKEN THAT YOU DO NOT WISH TO BE HEARD.

☐ I wish to be heard by the Development Assessment Panel in support of my representation.

By: ☐ appearing personally
☐ being represented by the following person: _____
 (please tick which applies)

Signature:  Date: 7/12/17

The closing time and date for Representations is 5.00pm on Tuesday 19 December 2017.

Please note that in accordance with Section 38(8) of the Development Act 1993, a copy of this representation will be forwarded to the Applicant for their information and response. Further a copy of your representation (including your name and address) may be included within a publically accessible Council Development Assessment Panel agenda and uploaded to Council's website.

To submit your representation you may:

- Post it to PO Box 130, Gawler SA 5118; OR
- Email it to planningadmin@gawler.sa.gov.au; OR
- Submit it in person at Town of Gawler Administration Centre, 43 High Street, Gawler East (opening hours: 9:00am – 5:00pm).

(You may attach additional pages and/or other documents such as photographs if necessary)

ATTACHMENT 3

In reply please quote 2017/01885/01, Process ID: 493724
Enquiries to Vittorio Varricchio
Telephone (08) 8226 8393
Facsimile (08) 8226 8330
E-mail dpti.luc@sa.gov.au



Government of South Australia

Department of Planning,
Transport and Infrastructure

01/12/2017



**SAFETY AND SERVICE –
Traffic Operations**

GPO Box 1533
Adelaide SA 5001

Telephone: 61 8 8226 8222
Facsimile: 61 8 8226 8330

ABN 92 366 288 135

Mr Scott Twine
Town of Gawler
PO Box 130
GAWLER SA 5118

Dear Mr Twine,

SCHEDULE 8 - REFERRAL RESPONSE

Development No.	490/156/17
Applicant	Leonie Franklin
Location	20 Adelaide Road, Gawler South
Proposal	Change in use from dwelling to a pet grooming salon

I refer to the above development application forwarded to the Safety and Service Division of the Department of Planning, Transport and Infrastructure (DPTI) in accordance with Section 37 of the *Development Act 1993*. The proposed development involves development adjacent a main road as described above.

The following response is provided in accordance with Section 37(4)(b) of the *Development Act 1993* and Schedule 8 of the *Development Regulations 2008*.

THE PROPOSAL

The application proposes to change the use of an existing building to a retail shop and proposes associated signage.

CONSIDERATION

The subject site abuts Adelaide Road, an arterial road under the care, control and management of DPTI, as well as Water Lane, a local road under the care, control and management of Town of Gawler. Adelaide Road is identified as a Direct Tourist Route, Major Cycling Route and Peak Hour Route under DPTI's 'A Functional Hierarchy for South Australia's Land Transport Network'. This section of Adelaide Road has an AADT of 20,400 vehicles per day (3.0% commercial vehicles) and a speed limit of 50 km/h.

Road Safety and Access

The subject site currently gains access via Adelaide Road and Water Lane. The application proposes to retain both access points to serve the site, with modifications being made to the Adelaide Road access. The proposed Adelaide Road and Water Lane access points are proposed to cater for two-way vehicle movements. Plans provided to DPTI show that it is also intended to modify the parking and access

arrangements along Adelaide Road to minimise the potential for reversing movements onto the road. However, it is DPTI policy to minimise the number of access points on the arterial road network in the interests of road safety, particularly where alternatives exist via the local road network. Research shows that each additional access point along an arterial road contributes to the reduction of efficiency of that road and increased safety hazards.

DPTI generally require parking spaces to be located a minimum of 6.0 metres from the arterial road property boundary in order to ensure that vehicles parking and un-parking do not conflict with vehicles attempting to enter or exit the site. It is noted that proposed car parks 7 and 16 are located closer than 6.0 metres from the property boundary and would be required to manoeuvre within the functional area of the access and would be partly blocking the access upon exiting the site. Consequently, this arrangement is likely to result in vehicular conflict.

In light of the above, DPTI does not support the application in its current form. It is strongly recommended that all vehicular access to/from the site be gained via Water Lane only and the existing Adelaide Road crossover being permanently closed and reinstated to Council standard kerb and gutter at the applicant's expense. Closure of the Adelaide Road access would enable the provision of two additional on-street parking spaces that would make up for the loss of the two spaces at the front of the building.

The above is supported by policy contained within Council's development plan, within the Transportation and Access section as reproduced below:

340. The number of vehicles access points onto arterial roads should be minimised, and where possible access should be:

(a) limited to local roads;

CONCLUSION

DPTI does not support the application in its current form. It is strongly recommended that amended plans showing:

- All vehicular access to/from the site being gained via Water Lane only;
- The existing Adelaide Road access being permanently closed and reinstated to Council standard kerb and gutter at the applicants expense;

be submitted to Council and thence DPTI for review and comment. Should such plans not be forthcoming, refusal of the application is recommended.

Yours sincerely,



MANAGER, TRAFFIC OPERATIONS

For COMMISSIONER OF HIGHWAYS