

**Town of Gawler  
Council Assessment Panel**

**ATTACHMENTS UNDER SEPARATE COVER**

**Monday 25 June 2018**

<b>Item</b>		<b>Page No</b>
<b>5.2</b>	<b>Development Application:</b> 490/562/2017	<b>57</b>
	<b>Applicant:</b> JAG HOMES GAWLER	
	<b>Address:</b> 46 Adelaide Road, Gawler South	
	<b>Nature of Development:</b> Additions and Alterations (rear extension) to Existing Consulting Rooms and associated fence (maximum height of 2.4 metres)	
	Attachment 1 - Application Plans and Documentation	<b>59</b>
	Attachment 2 - Applicants Car Parking Report	<b>64</b>





CT 6152/284  
 Lot 11 Filed Plan 107550  
 In the Area Named GAWLER SOUTH  
 Hundred of MUDLA WIRRA

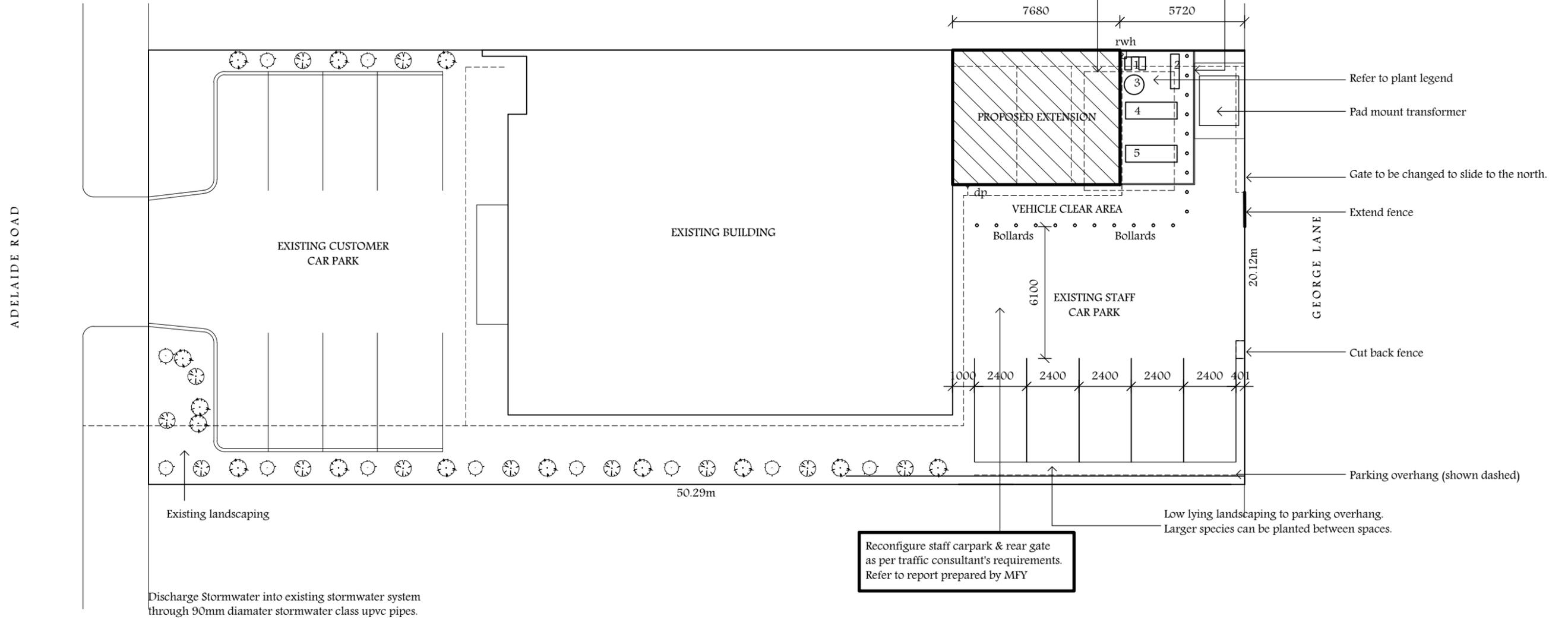
Plant Legend

1. Circulation pumps
2. Air conditioner condenser unit
3. 1000 Litre buffer tank
4. Chiller No. 1 - Daikin  
EWAQ-BAWN - Sound level  
83 dBA Full operation
5. Chiller No. 2 if required.

**ATTACHMENT 1**

2400mm high acoustic screen fence with galvanised steel mesh security screen over.  
 Colorbond custom orb sheeting, fixed to external face of 50mm square steel posts. Provide 50mm, 32kg/m<sup>2</sup> polyester insulation pinned to barrier. Provide colorbond custom orb perforated sheeting to the internal face.

Existing shed to be demolished.  
 Extent shown dashed.

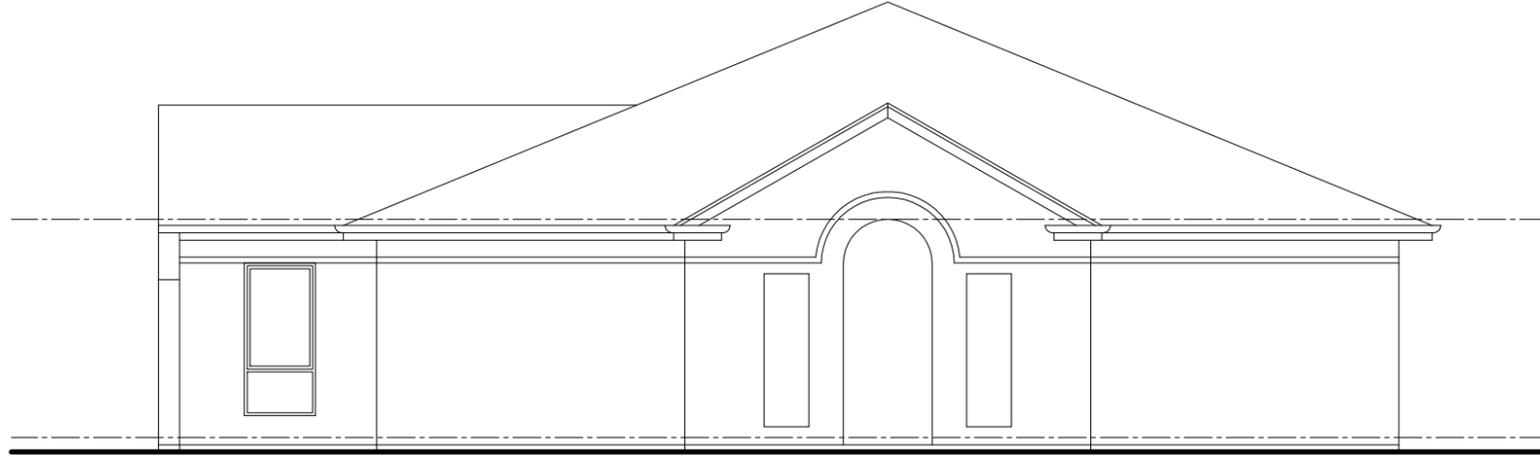


Discharge Stormwater into existing stormwater system through 90mm diameter stormwater class upvc pipes.

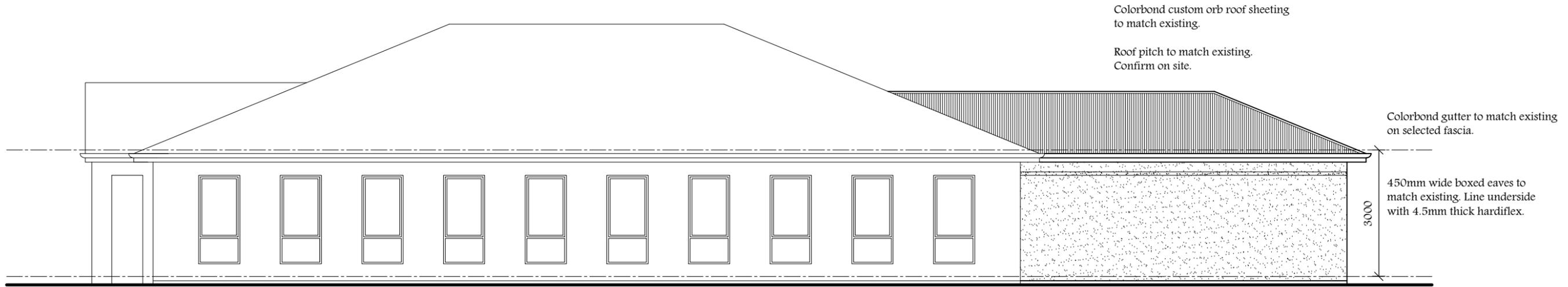
<b>JAG COMMERCIAL SA</b> <b>0411 432 782</b>	AMENDMENTS	Existing. 342.66	DESIGN: BENSON RADIOLOGY - GAWLER SOUTH	SHEET: 01 of 05
	A. Changes made due to traffic consultant's recommendations	Proposed. 48.19	SITE PLAN	JOB NUMBER: S2117
		Porch. 7.96	BENSON RADIOLOGY	REVISION: A
			46 ADELAIDE ROAD, GAWLER SOUTH SA	DATE: 08/03/2018
		Total. 398.81 m <sup>2</sup>		SCALE: 1:100 u.o.n A3 Sheet
		© Copyright This drawing is subject to copyright and unauthorized copying and/or use, whether in part or full is not permitted. Legal action will be instigated against any infringement, without prior approval.	All dimensions are to be confirmed on site PRIOR to commencing any work. Do not rely on dimensions for purchasing materials. Written dimensions take preference to scaling the drawing. DO NOT SCALE the drawings. If in doubt contact the office.	







NORTH-WEST ELEVATION



SOUTH-WEST ELEVATION

Colorbond custom orb roof sheeting to match existing.

Roof pitch to match existing. Confirm on site.

Colorbond gutter to match existing on selected fascia.

450mm wide boxed eaves to match existing. Line underside with 4.5mm thick hardiflex.

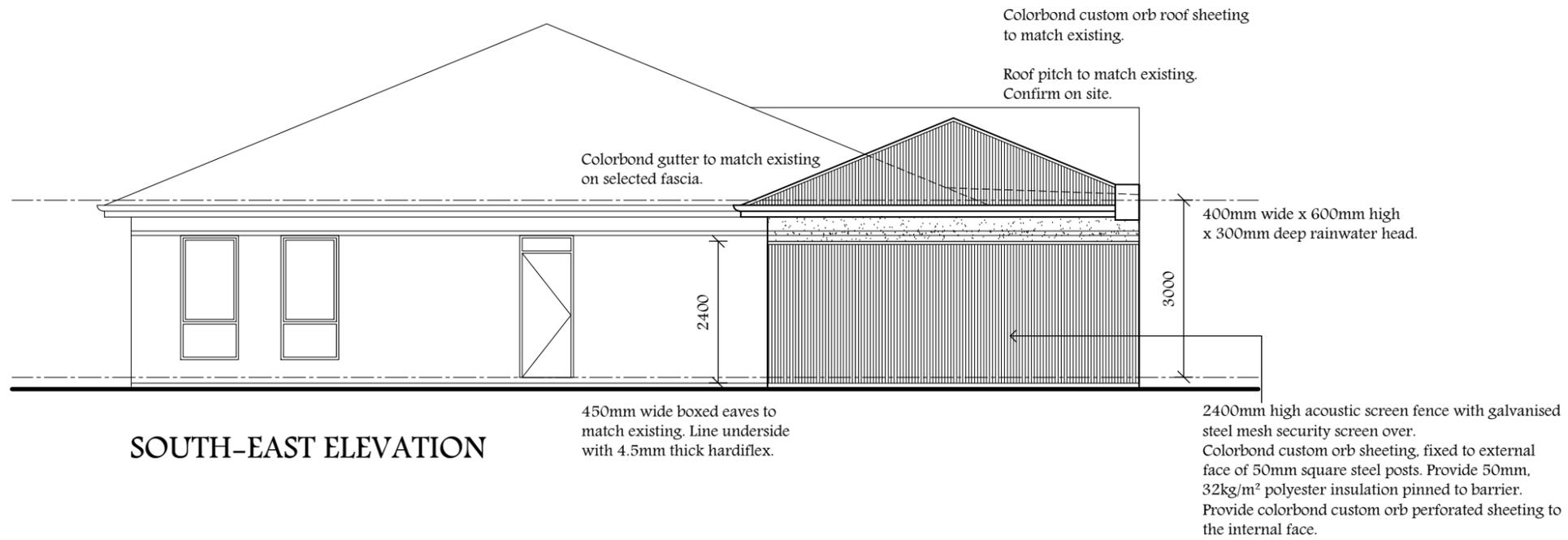
3000

Hebel veneer external wall cladding on 0.5mm thick superviscourse. Rendered finish.

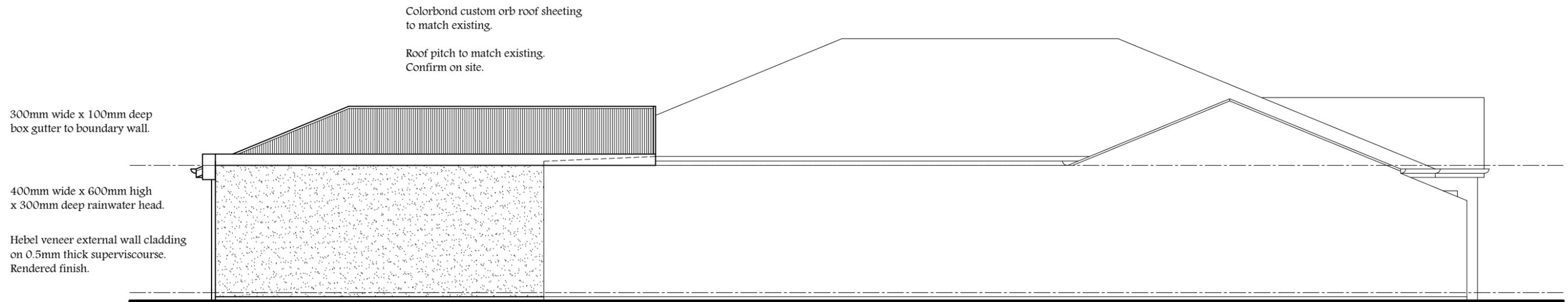
<b>JAG COMMERCIAL SA</b> <b>0411 432 782</b>	AMENDMENTS	Existing. 342.66	DESIGN: BENSON RADIOLOGY - GAWLER SOUTH	SHEET: 04 of 05
	A. Changes made due to traffic consultant's recommendations	Proposed. 48.19	ELEVATIONS - 1	JOB NUMBER: S2117
		Porch. 7.96	BENSON RADIOLOGY	REVISION:
			46 ADELAIDE ROAD, GAWLER SOUTH SA	DATE: 08/03/2018
		Total. 398.81 m <sup>2</sup>		SCALE: 1:100 u.o.n
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**SOUTH-EAST ELEVATION**



**NORTH-EAST ELEVATION**

<b>JAG COMMERCIAL SA</b> <b>0411 432 782</b>	AMENDMENTS	Existing. 342.66	DESIGN: BENSON RADIOLOGY - GAWLER SOUTH	SHEET: 05 of 05
	A. Changes made due to traffic consultant's recommendations	Proposed. 48.19	ELEVATIONS - 2	JOB NUMBER: S2117
		Porch. 7.96	BENSON RADIOLOGY	REVISION:
			46 ADELAIDE ROAD, GAWLER SOUTH SA	DATE: 08/03/2018
		Total. 398.81 m <sup>2</sup>		SCALE: 1:100 u.o.n
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MFY Pty Ltd

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JML/18-0015

14 March 2018

Ms Carly Scheepens  
John Scheepens Design & Construction  
30 Bain Road  
ANGLE VALE SA 5117

Dear Carly,

## **BENSON RADIOLOGY, 46 ADELAIDE ROAD, GAWLER SOUTH**

We are in receipt of email correspondence from Mr Scott Twine of the Town of Gawler to you, identifying, amongst other things, a concern with respect to the parking demand and provision associated with a proposed modification to the use of the existing Benson Radiology building at 46 Adelaide Road, Gawler South. We have reviewed the parking impacts associated with the proposed modification, based on JAG Commercial SA Drawing Site Plan S2117 Sh 01 Rev A dated 8 March 2018, which has been revised in accordance with our advice.

### **1 PARKING RATE**

Council's Development Plan identifies a required parking rate of 9.5 spaces per 100 m<sup>2</sup> for consulting rooms. However, there are a number of factors which are not represented in a blanket square metre rate for this land use which influence the parking demand. For example, and relevant to the subject site, the area occupied by each individual consulting room and whether the rooms are operated concurrently influence the overall parking demand, as these factors directly influence the number of staff and patients on site at any one time. As such, a more accurate assessment of parking can be developed by assessing on first principles:

- the number of rooms which can be used to see patients; and
- the nature and length of these appointments as this affects the number of patients on site at any one time.

Previous surveys undertaken by MFY at medical facilities have identified that short appointment consulting rooms (such as GP practices) generate demand at a rate of five spaces per consultants and longer appointment consulting rooms (such as specialist and radiology clinics) generate parking at a rate of four spaces per consultants or even lower. These lower rates occur because longer consultation times result in a reduced overlap in patients on site at any one time.

These parking rates adopted by MFY are supported by Aurecon's report *Parking Spaces for Urban Places: Car Parking Study, Guideline for Greater Adelaide*, released October 2013, which specifies a parking rate of four spaces per consulting room. It also includes reference to an allowable discount rate of 10 per cent to this figure.

## **2 PARKING DEMAND**

Using the above assessment philosophy the subject proposal to increase the overall size of the facility to accommodate an MRI machine will not proportionally increase demand if it is replacing other services that currently operate within the building.

The proposal includes the removal of one ultrasound consulting room and one x-ray consulting room, meaning that there will in fact be a nett decrease in overall consulting rooms of one room. This will in turn reduce the overall potential staffing and patient load that could be accommodated within the facility. Not only where there be fewer consulting rooms in operation, MRI consultation times are generally longer than either x-ray or ultrasound consultations, which would typically result in less patient overlap and hence further decrease the parking demand when compared to the existing situation.

On this basis, adopting a rate of four space per consulting room for both the existing and proposed facility, the modified building layout will in fact result in a reduction in the existing parking demand of four spaces, rather than the increase which would be suggested using Council's Development Plan square metre rate.

## **3 PARKING PROVISION**

The extension to be built into the rear car park will result in the loss of 3 parking spaces along the north-eastern fence line. However, when combined with the forecast reduction in parking demand identified above, this will result in a nett increase in on-site parking availability of one space when compared to the existing situation.

## **4 PARKING DESIGN**

Mr Twine's email identified a potential concern with respect to the impact the proposed modification may have on drivers manoeuvring to/from the westernmost parking space within the rear car park and requested a swept path analysis of access to this space. Had the parking space/aisle width been retained as per the lodged documents, the proposal would have adversely affected access to this space.

As such, we have recommended modifications to the parking spaces in the rear car park to maintain compliance with the dimensional requirements of the relevant Australian/New Zealand Standard, *Parking Facilities Part 1: Off-street car parking (AS/NZS 2890.1:2004)*. Specifically:

- spaces will be at least 2.4m wide;



- the spaces will be at least 4.8m long with 600m overhang, for a total length of 5.4m;
- the aisle will be at least 5.8m wide;
- spaces will be at least 300mm clear of adjacent obstructions (such as walls, fences and bollards); and
- the aisle will extend 1 m beyond the last parking space.

The rear gate will be relocated to suit the amended aisle location.

As the proposed western parking space will now comply with the dimensional requirements of the Standard, we have not undertaken any further analysis of manoeuvrability as this is not required by the Standard.

## 5 SUMMARY

It is proposed to expand the building footprint of the Benson Radiology clinic in Gawler South to accommodate an MRI machine. The interior layout of the building will be altered to accommodate this machine, and the nett impact of these changes on the existing operations at the site will be the loss of one consulting room, as well as three parking spaces from the rear car park.

The proposed modifications to the rear car park will result in a layout compliant with the requirements of the relevant Australian/New Zealand Standard for staff parking.

We have undertaken a parking assessment of the existing and proposed use of the clinic based on the number of consulting rooms. Such an assessment allows for an analysis of the actual patient and staff demand generated by medical consulting rooms. Using a rate of four spaces per consulting room, and allowing for the reduced parking provision on the site, the proposed on-site parking availability will increase by one parking space as a result of the proposal.

Please do not hesitate to contact me should you require clarification or further information relating to the above.

Yours sincerely,

**MFY PTY LTD**

A handwritten signature in black ink, appearing to read 'Jayne Lovell', written over a light blue rectangular background.

**JAYNE LOVELL**

Senior Associate