

# GAWLER

## Residential Historic (Conservation) Zone Development Design Guidelines

Town of Gawler





# CONTENTS

<b>1</b>	<b>Gawler Residential Historic (Conservation) Zone .....</b>	<b>5</b>
1.1	Extent.....	5
1.2	Development Design Guidelines – Planner’s Handbook.....	5
1.3	Development Applications .....	6
1.4	Seeking Advice On Heritage Places.....	7
1.5	Policy Areas .....	9
1.5.1	Willaston (Redbanks Road) Residential Historic (Conservation) Policy Area 12.....	9
1.5.2	Willaston Historic (Conservation) Policy Area 13.....	10
1.5.3	Gawler East Residential Historic (Conservation) Policy Area 14 .....	11
1.5.4	Gawler South Residential Historic (Conservation) Policy Area 15 ...	12
1.5.5	Light Historic (Conservation) Policy Area 16 .....	13
<b>2</b>	<b>Typologies.....</b>	<b>15</b>
2.1	Detached Dwelling On Generous Allotments.....	15
2.2	Night Cart Lanes .....	16
<b>3</b>	<b>Conservation Guidelines .....</b>	<b>17</b>
3.1	Conservation, Maintenance & Repair .....	17
<b>4</b>	<b>Development Policies &amp; Recommendations.....</b>	<b>21</b>
4.1	Streetscape Character.....	22
4.2	Demolition .....	23
4.3	Sub-Division .....	24
4.4	Building Alignment & Setbacks .....	25
4.5	Building Form–Additions/Alterations .....	26
4.6	Building Form – Infill.....	27
4.7	Plan Form .....	28
4.8	Proportions .....	29
4.9	Materials .....	30
4.10	Garages, Carports & Sheds .....	31
4.11	Landscaping .....	32
4.12	Topography .....	33
4.13	Fences - Front .....	34
4.14	Fences - Side.....	35
4.15	Verandahs.....	36
4.16	Decoration .....	37
4.17	Solar Panels, Satellite Dishes & Air-Conditioning .....	38
4.18	Kerbing .....	39
4.19	Footpath & Driveway Crossovers .....	40
4.20	Street Signage .....	41
4.21	Lighting.....	42
4.22	Street Furniture .....	43
4.23	Stobie Poles & Power Lines .....	44
<b>5</b>	<b>Further Reading .....</b>	<b>45</b>





# 1 Gawler Residential Historic (Conservation) Zone

## 1.1 Extent

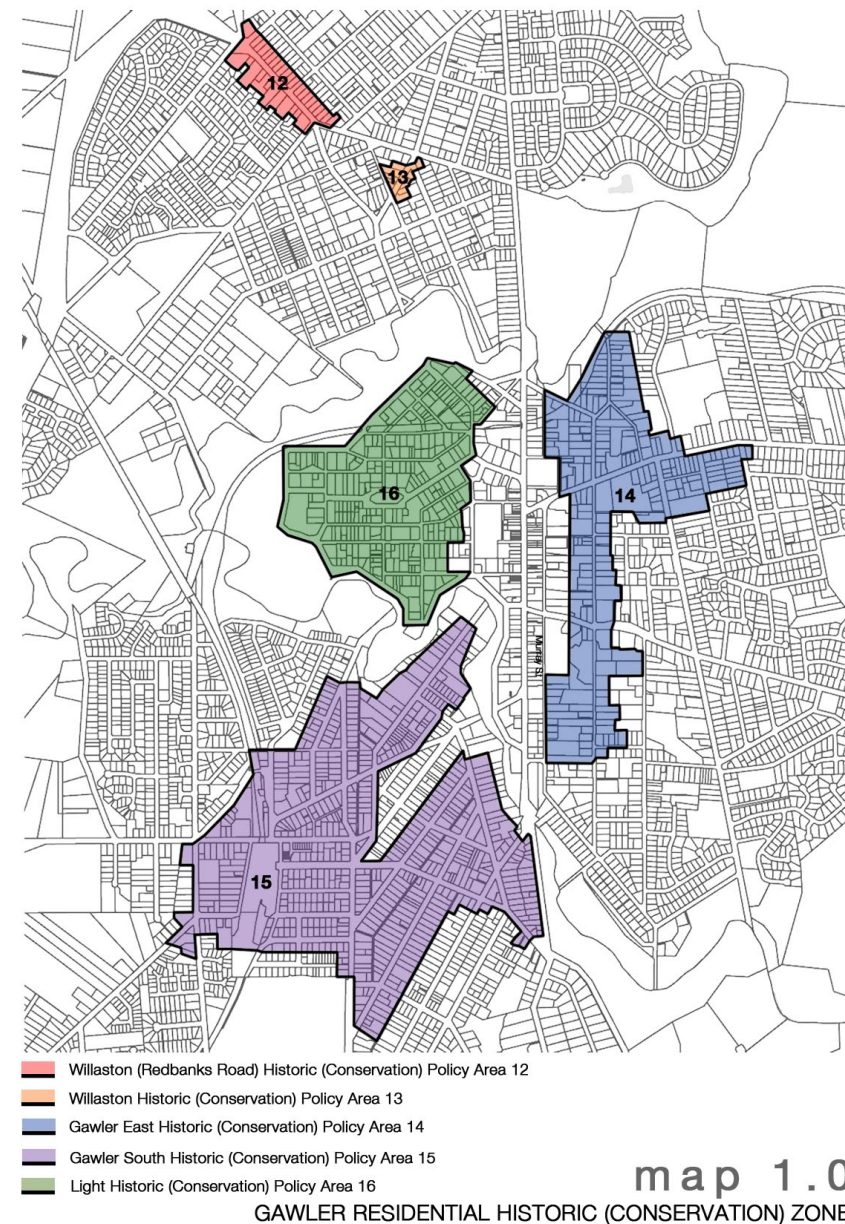
The Gawler Residential Historic (Conservation) Zone is identified on map 1.0 of this report and in the index to the Residential Historic (Conservation) Policy Areas, Figure ResH(C)/1, of the *Gawler Development Plan*. Each of the five Policy Areas identified are further defined on maps 2.0, 3.0, 4.0 (figure ResH(C)/2), 5.0 (figure ResH(C)/3) and 6.0 (figure ResH(C)/4).

Located within the five Policy Areas are Local Heritage Places and Contributory Items, which are listed in tables Ga/6 and Ga/7 and identified in Figures Ga(HPCI)/1-12, of the *Development Plan*. In addition, some of the Policy Areas contain State Heritage Places which, while also subject to guidelines, are referred for assessment to the Heritage Branch of the Department of Environment and Natural Resources (DENR) for development assessment.

## 1.2 Development Design Guidelines – Planner’s Handbook

Infill Development Design Guidelines for the Gawler Residential Historic (Conservation) Zone are presently covered in Table Ga/4 of the *Gawler Development Plan*. The guidelines are focused on infill sites within the zone, or policy areas. This document has reviewed the present Ga/4 guidelines and upgraded them to cover some scenarios not previously addressed, or inadequately illustrated. It also adds new guidelines, which relate to development within the public realm such as suitable street furniture, signage, kerbs, paving, landscaping, outdoor dining and fencing.

The Planner’s Handbook is a reference document only and is for use in-house by Council staff. It will assist Council planners to respond to heritage-related queries and applications by expanding on the contents of Table Ga/4. It is intended to provide accessible and relevant advice to Council staff about conservation and appropriate development in the Historic (Conservation) Zone Policy Areas. The Guidelines provide information and guidance on:



- when an application for development in the Zone is required;
- how to conserve, maintain and repair existing buildings and structures in the Zone;
- appropriate forms and styles for new buildings and structures in the Zone;
- appropriate siting and forms for development within the public realm within the Zone.

### 1.3 Development Applications

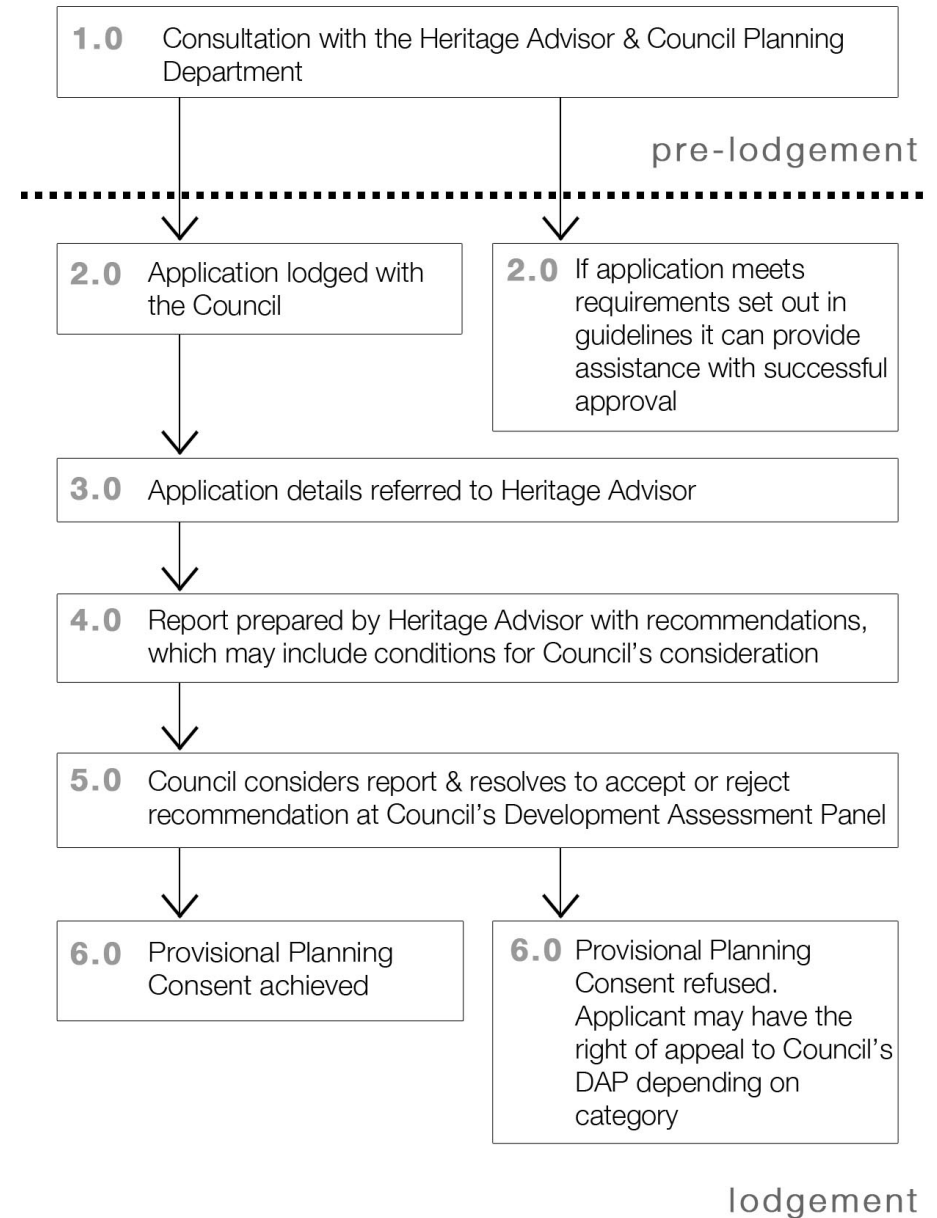
It is desirable to have control over development in the Gawler Residential Historic (Conservation) Zone so that those special qualities of the area are not lost. The areas are defined with the purpose of retaining and strengthening existing historic character. This means that there are obligations placed on the residents, the Council and other bodies that might have an interest in the area, for example, SA Water and ETSA Corporation.

The most important requirement is that all development proposals within the Zone must receive development approval. Development within the Zone includes, but is not limited to:

- Additions to buildings;
- Erection of new buildings, including dwellings, sheds, carports, garages and pergolas;
- Demolition of any building or structure, including fences;
- Changes to external colours of buildings;
- Re-roofing or roofing repair;
- Changes to doors and windows, including the introduction of skylights and security screens;
- Subdivision;
- Removal of mature and significant trees;
- Erection of fences (front, side and rear);

Introduction of exposed external mechanical or telecommunication equipment, including air conditioners, satellite dishes, solar hot water services and antennae.

This list is not exhaustive and Council planners should understand the provisions of the *Development Act*.



#### **1.4 Seeking Advice on Heritage Places**

Prior to lodging a development application, property owners are encouraged to seek advice from suitably qualified heritage consultants or heritage architects.

Via its Heritage Advisory Service, Council provides advice to property owners in relation to building form, scale, materials and other site specific issues when preparing development proposals. This is a free service that endeavors to encourage and advise property owners to develop the area in a manner that does not detract from the heritage significance of the individual place and broader precinct.



## 1.5 Policy Areas

### 1.5.1 Willaston (Redbanks Road) Residential Historic (Conservation) Policy Area 12

#### Significance

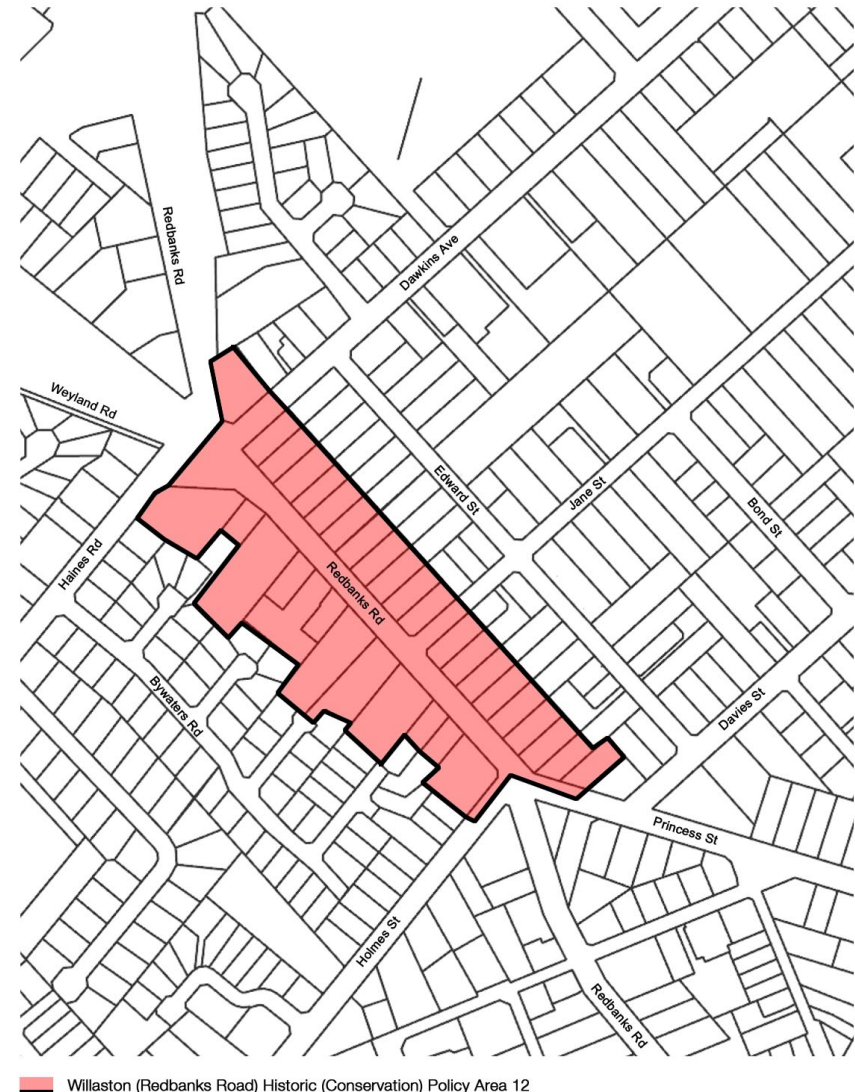
This area, originally known as 'Waltham', contains a number of high integrity residences dating from 1880 – 1915. These illustrate the residential character and continuing expansion of the town of Willaston from the mid 19th century to the early years of the 20th century.

#### Established Character

Redbanks Road is residential in character, with the topography sloping gently downwards towards the south, with a rise towards the north. Large historic dwellings to the south date from 1890 – 1915 and are well set back from the road and neighbouring houses. Medium scale dwellings to the north typically date from 1860 – 1900 and are sited closer to the road and each other than those on the South.

#### Desired Character

- Development is to be complementary to the historic character and significance of the Policy Area.
- There is no potential for infill residential development and the area should continue to be used for detached dwellings on large allotments.
- The retention of all places and items (including landscape elements), which contribute to the historic character of the Policy Area, is encouraged.
- Existing setbacks should be maintained and further division of existing allotments or realignment of existing allotment boundaries should not occur.
- The existing topography should be maintained, and cut and/or fill should be avoided.



map 2.0  
WILLASTON (REDBANKS ROAD) HISTORIC (CONSERVATION) POLICY AREA 12



## 1.5.2 Willaston Historic (Conservation) Policy Area 13

### Significance

Located adjacent to the main township of Willaston, which was laid out in 1848, the predominately residential buildings found within the Policy Area were amongst the first constructed within the township. They were central to the town's community fabric.

### Established Character

The Willaston Policy Area comprises a small group of mostly residential dwellings, with the exception of the former Willaston Uniting Church. Original dwellings are still in use and define the established character of the area. Dwellings are single-storey and modest in scale.

### Desired Character

- The established character of the Willaston Policy Area should be maintained.
- New development should complement and reinforce the historic character of the original dwellings, and should not disturb the existing street pattern of single storey dwellings set back on individual allotments.
- Further subdivision of allotments should not occur.



Willaston Historic (Conservation) Policy Area 13

map 3.0

WILLASTON HISTORIC (CONSERVATION) POLICY AREA 13

### 1.5.3 Gawler East Residential Historic (Conservation) Policy Area 14

#### Significance

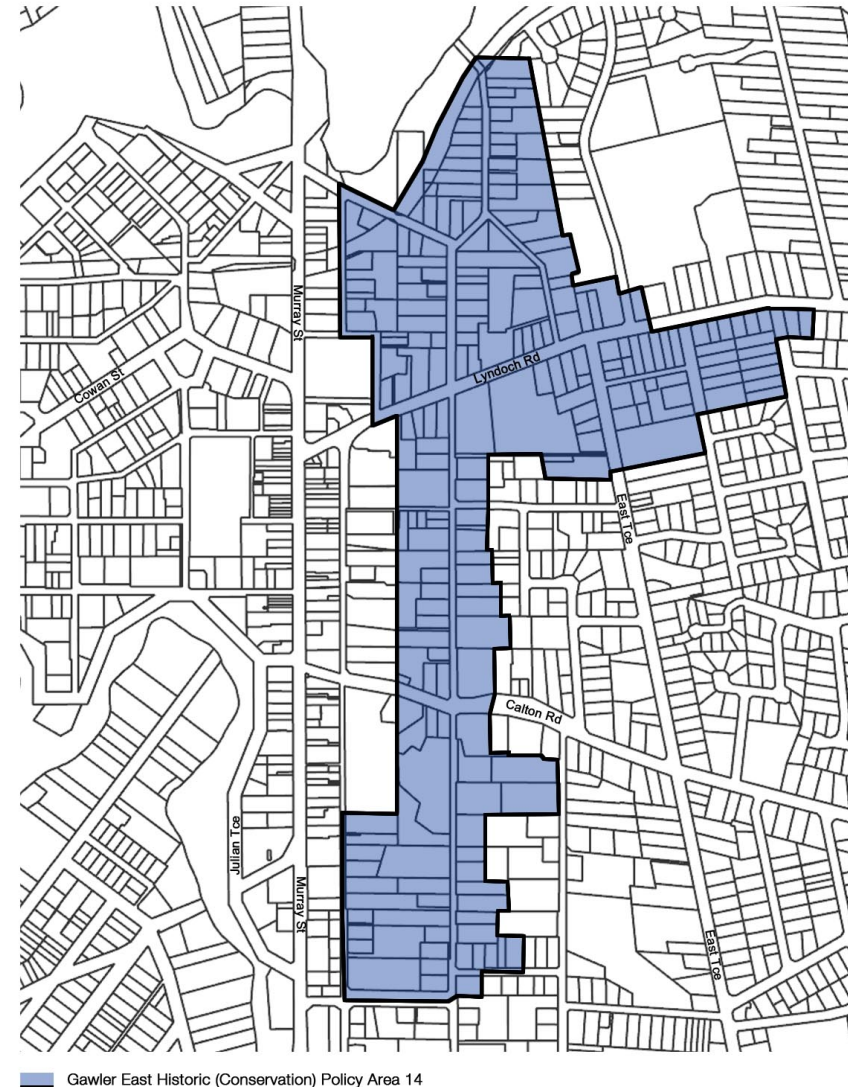
The first settlement to extend beyond the boundary of the original Gawler Plan, the Gawler East Policy Area illustrates the early expansion of residential Gawler in the 19th century. It contains a large number of high-integrity residences. Cottages in Bishop Street are of particular interest, with unusual proportions.

#### Established Character

Located on rising ground overlooking the town centre, the Gawler East Policy Area is divided into two sections by Lyndoch Road. The areas around Daly and Duffield Streets comprise detached dwellings on large allotments with landscaped settings. Fences, generous spacing of built form and substantial building types define the existing streetscape pattern. Further east along Lyndoch Road, smaller allotments contain single-storey cottages and villas. Further north of Lyndoch Road the character is defined by local topography and original survey layout.

#### Desired Character

- Existing streetscape pattern should be maintained, with retention of single detached dwellings on generous allotments.
- Street boundaries should be defined with fencing, and existing topography preserved.
- Generous landscaped settings should remain with limited scope for infill development.
- Non-residential development should retain a local function and character.
- Limited development should occur on sloping ground in the Area, particularly in the escarpment above the town centre and adjoining gullies.
- Appropriate uses include residential and local services.
- Development on northern side of Lyndoch Road should be primarily single-storey, detached dwellings confirming to design guidelines of the Development Plan.



■ Gawler East Historic (Conservation) Policy Area 14

map 4.0  
GAWLER EAST HISTORIC (CONSERVATION) POLICY AREA 14

#### 1.5.4 Gawler South Residential Historic (Conservation) Policy Area 15

##### Significance

Containing a large number of high integrity residences, the Gawler South Policy Area illustrates the character and continuing expansion of residential Gawler in the later half of the 19th century, mostly due to the establishment of the Gawler Railway Station.

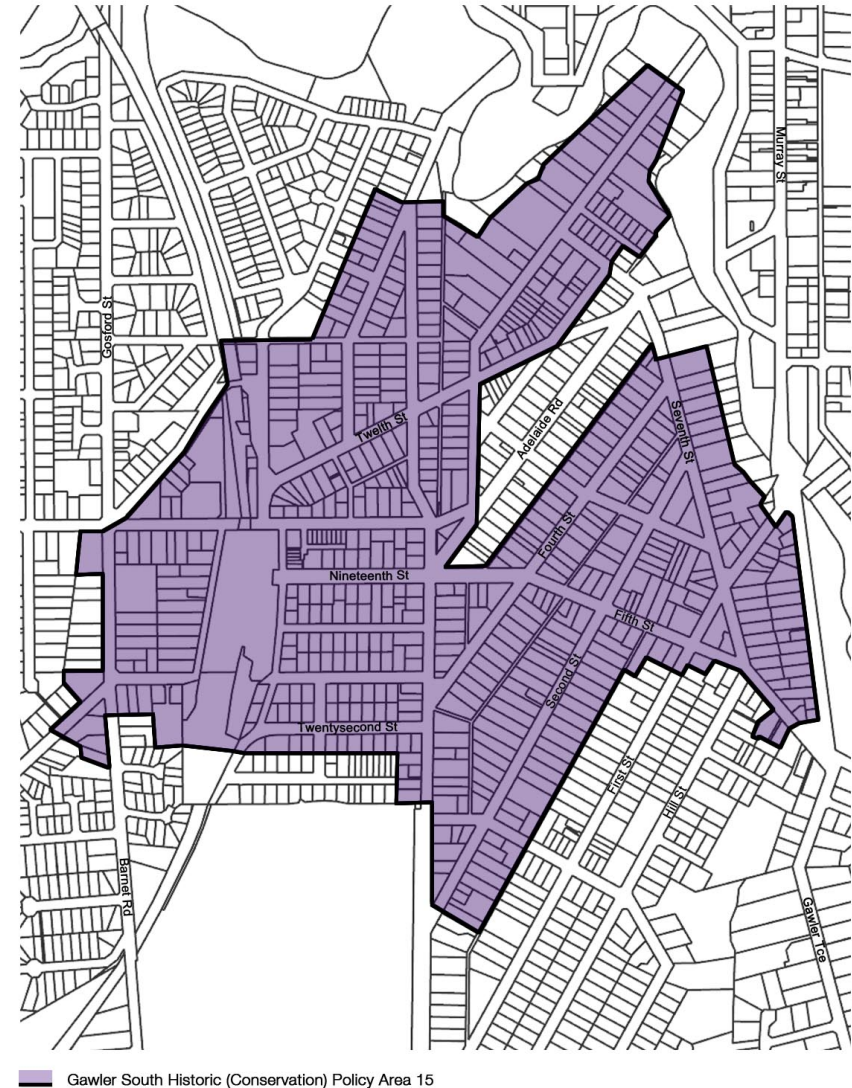
##### Established Character

Predominantly residential in character, dwellings are typically detached and set back from the street and neighbouring houses. Streets have moderate widths and have been laid out in grid pattern. Night cart lanes provide rear vehicular access to allotments, and contribute to the character of the area.

Commercial and retail development can be found closer to the Gawler Railway Station Precinct.

##### Desired Character

- Streetscape pattern should be maintained and new development in residential areas should complement the historic character.
- Street boundaries should be defined with fencing, to maintain and enhance the streetscape.
- There is potential for increased residential development along the edges of the Gawler Railway Station Precinct, with the redevelopment of buildings and sites with no historic value, or sympathetic reuse of buildings with historic value.
- Nineteenth Street, which has a strong visual axis to the Railway Station Building should be enhanced as a boulevard of considerable style and urban character with the identified precinct for mixed use development.
- Large allotments should not be reduced in size of attractive garden settings will be compromised.





### 1.5.5 Light Historic (Conservation) Policy Area 16

#### Significance

Designed and laid out by Light, Finnis & Co., the Light Policy Area clearly shows the extent of the original town and the principles of which it was laid out; a successful example of a grid plan adapted to the distinctive topography and natural features. The area also contains many of the early buildings of Gawler, illustrating the built form of the town in the 19th century. Within the Light Policy Area is the Church Hill State Heritage Area and a large number of state, local and contributory places.

#### Established Character

Residential character defines the areas to the north and south of the State Heritage Area, consisting of mostly smaller detached single-storey cottages and villas with minimal setback from the street. The Church Hill State Heritage Area is located at the centre of the Policy Area. It contains unique residential character, due to the topography and is designed around the location of churches. A mix of elements that make up the Church Hill historic character, including walls, fences, trees, open public space, roads and kerbing.

#### Desired Character

- New residential development should be sympathetic in design to its specific setting.
- The elements which make up the historic character of the Policy Area should be retained and undisturbed.
- Development should complement the character of existing historic built form.
- Existing streetscape patterns should be maintained, as should streets and squares.
- Development should reference historic built form of the nineteenth and early twentieth century type, topography and preservation of mature vegetation.
- Articulation of buildings is important with use of verandahs and balconies.
- Large landscaped allotments should not be subdivided if attractive building settings are compromised.
- Fences which define street boundaries are critical to maintain and enhance streetscape.

Specific development guidelines for the Church Hill State Heritage Area are available from the Department of Environment, Water and Natural Resources.



**map 6.0**  
LIGHT HISTORIC (CONSERVATION) POLICY AREA 16



## 2 Typologies

Individual buildings and places in Gawler's Residential Historic (Conservation) Zone have historic merit and their own appreciable characteristics. However, the overall layout, location and type of buildings also form a distinctive and historically significant townscape character. New development within any Historic (Conservation) Policy Area should respect this character, and should conserve and protect the historical and cultural significance of the town as a whole.

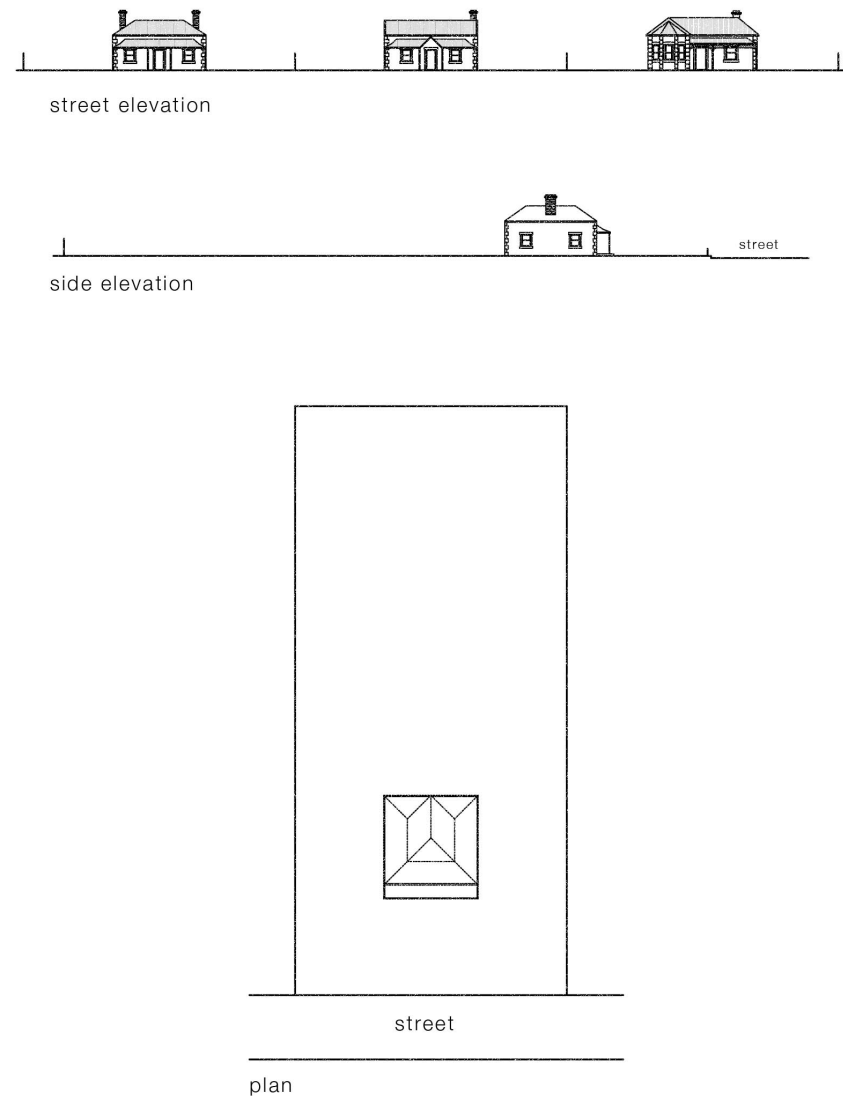
The following section describes common allotment types that contribute to the historic character of various policy areas.

### 2.1 Detached Dwelling on Generous Allotments

These allotment types are commonly found throughout the Gawler Residential Historic (Conservation) Zone and represent the historic pattern of development. Higher density built form is generally not appropriate on these generous allotments, and development should be contained to a single detached dwelling (with the exception of carports and sheds – refer to section 5.8). Subdivision may be permitted, providing the visual cohesiveness of the streetscape pattern is not disturbed.

Refer to section 5.2 for recommendations on subdivision and associated built form.

Typical example of detached dwelling on generous allotment:



## 2.2 Night Cart Lanes

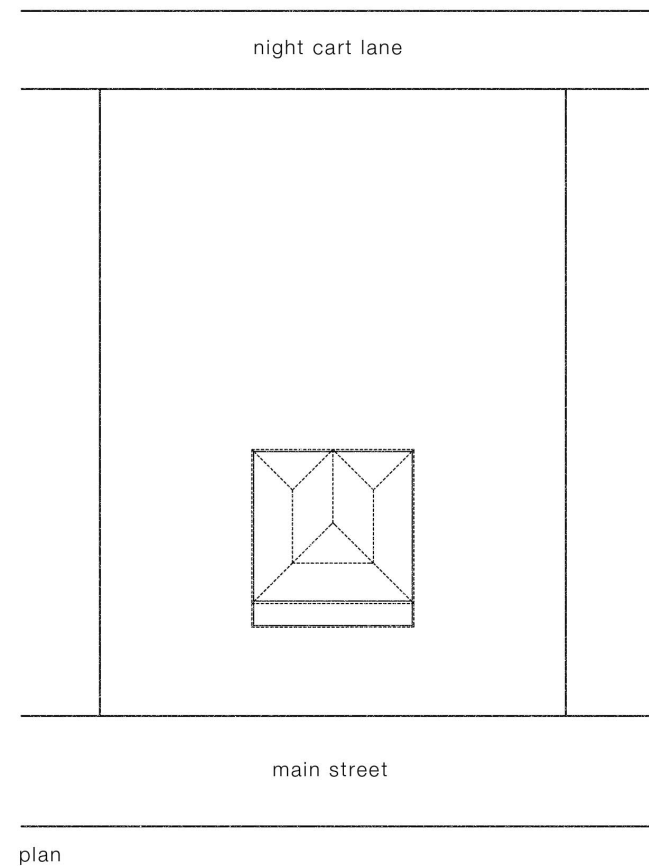
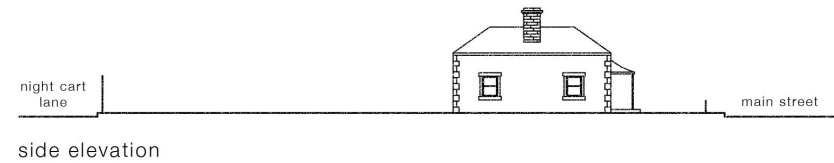
Allotments with night lanes are commonly found in the **Gawler South Policy Area**. They represent the historic street layout and pattern of development.

Night cart lanes should only be used for vehicular rear access to single detached dwellings. Higher density development along these lanes is undesirable. Existing widths and alignments of night cart lanes should be preserved.

The use of night cart lanes as the main entry to new development is inappropriate.

Refer to section 5.2 for recommendations on subdivision and associated built form.

Typical example of an allotment with night cart lane:



### 3 Conservation Guidelines

Principles that guide the conservation and management of heritage places in Australia are set out in *The Burra Charter* (1999). The following definitions drawn from *The Burra Charter* can help in understanding the conservation process:

**Conservation** means all the processes of looking after a place to retain its cultural significance. This includes retaining the contribution that the setting, and related places and objects, make to the significance of a place.

**Maintenance** means the continuous protective care of the fabric and setting of a place, and is to be distinguished from repair. Repair involves restoration or reconstruction

**Preservation** means maintaining the fabric of a place in its existing state and retarding deterioration. Eg, treating termite infestation will stop the cause of deterioration completely.

**Restoration** means returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material. Eg, where a conservation plan recommends restoring an open space by the removal of walls that presently divide it.

**Reconstruction** means returning a place to a known earlier state and is distinguished from restoration by the introduction of new material into the fabric. New material may include recycled material from other places. The new material should not convey false impressions of the history and characteristics of the place.

**Adaptation** means modifying a place to suit the existing use or a proposed use. Eg, interpretive signage and paths. The aim of adaptation work is to modify existing buildings so that they can fulfil new functional requirements with minimal changes to their fabric. It is important that any work carried out is minimal and that any changes are reversible so that if the buildings function later changes, the original building may be adapted again. This also means any changes must be easily identifiable from the original building.

#### 3.1 Conservation, Maintenance & Repair

The first step in conserving a building is to learn as much about the building as possible. Who lived there and how was the place used? Are any old photographs in existence? This could provide information about original materials, colour (where appropriate) and the location of outbuildings. Repair and maintenance work on any unstable sections of the building should be the first priority. Below is a brief reference guide to conservation work for buildings in Gawler's Residential Historic (Conservation) Policy Areas.

##### Roofing Repairs

Most historic buildings within Gawler were traditionally clad in corrugated galvanised iron, which was available in 6 or 8 foot lengths. Rust normally commenced where these sheets over-lapped. These may have been painted at a later date when rust became visible.

Technology now enables corrugated iron sheets to be manufactured in any length and, as a consequence, roofs may be covered from ridge to gutter in one length.

Traditional sheets were treated with a galvanised iron finish to provide greater life. The galvanised finish would in time 'go off' to provide a visually appealing soft grey finish. Galvanised corrugated iron is still available and ideal for re-roofing, as opposed to modern 'Zincalume' finish, which should not be used.

When replacing roofing materials, original profiles and materials should be copied. Replacement corrugated iron may, therefore, be galvanised, individually painted, or pre-coated in traditional colours. New gutters and downpipes should be similar to the original profile. Usually gutters were ogee profile and downpipes circular, not rectangular.

##### Window and Door Reconstruction

The configuration of doors and windows to front and side walls, particularly where visible from the street, should be retained in their original proportions with timber frames. Window frames of metal (including aluminium) or plastic are not appropriate. Most dwellings within Gawler's Residential Historic (Conservation) Policy Areas have true double hung windows; the top window sash originally slid down to provide ventilation whilst maintaining a level of privacy (and security) at the lower level. Reinstating the top sash to an operative condition with window locks should be considered.

Traditionally, unadorned bars were fixed to windows to provide security. Externally-mounted expanded metal mesh security door and window grilles, roller window shutters, externally mounted or canvas roller shades are not appropriate, particularly where visible from the street. If security window bars, timber screen doors or metal security doors are installed, these should be of an unadorned and traditional style. Using laminated glass or clear acrylic sheet to glaze windows is an unobtrusive method of providing an additional level of security.

## **Fences**

Remaining original fences in Gawler's Residential Historic (Conservation) Policy Areas reflect the style and period of the dwelling they enclose. These original fences should be retained and repaired. Replacements should replicate the same appearance and detailing wherever possible.

When the original fence has been lost and no evidence, such as early photographs, exists, then a new fence sympathetic to the style and period of the house should be used.

Gabled cottages and small, symmetrical cottages usually had front fences of timber pickets, woven wire or low random rubble limestone walls with a brick header course. Typically, these traditional fences were built with sufficient height to enclose the property but low enough for neighbourliness and to allow appreciation of the house and garden.

Early cottages tended to have timber pickets of simpler profile than the more elaborate late-Victorian villas. Similarly, the decoration of fence posts and the profile of pickets between the posts tended to become more elaborate with the rise of Victorian decoration towards the latter part of the nineteenth century.

High front fences, whether of timber, stone, sheet metal, brick, brush or tubular metal are not typical within the Residential Historic (Conservation) Policy Areas and disrupt the traditional open nature of the streetscape. If privacy is desired, this can be achieved by the careful selection of bushy shrubs or hedging.

## **Reconstruction and Additions**

Reconstruction of demolished or collapsed parts of the building should follow the form of the original, but there may be opportunity to incorporate changes and extensions.

Additions to an existing building can form part of the overall conservation strategy by making the place more useable. They could take the form of a simple verandah, a new outbuilding or a relatively large lean-to extension (refer to fig 1 and fig 2). See Section 4 for detailed advice on new construction in Gawler

## **Painting**

Traditional buildings within Gawler's Residential Historic (Conservation) Policy Areas will always appear their best when painted in an appropriate colour scheme, using colours commonly available from that period.

Most paint manufacturers now provide colour charts with traditional colours and indicative colour schemes. Additional information on traditional paint decoration can be found in the reference books listed within these guidelines.

Paint scrapes are a method of determining the early colour schemes used on a building. It is best to investigate paint in protected areas such as under the eaves or areas that are away from the direct sunlight to obtain a truer rendition of the original colour. Early colour schemes were sometimes quite adventurous and when correctly applied to a building can be outstanding.

Changes to the external colours of a building require development approval.

Stripping back and polishing architectural elements and fittings should be avoided, particularly those which were originally intended to be painted, such as skirtings and architraves.

For painting interiors, see Interiors.

## **Interiors**

The significance of interiors of buildings in Gawler's Residential Historic (Conservation) Policy Areas should be determined prior to the undertaking of work, with the exception of all State Heritage Places and some Local Heritage Places located within the Zone, interiors are not subject to development controls or guidelines. Notwithstanding this, the Development Plan should be checked to confirm the status of the interior of a subject development. If the interior is subject to controls, then the following guidelines apply.

Generally work that is proposed to the interior of a building should retain the historical integrity and significance of the building. With interiors, it is most often necessary to balance modern living, worship or other standards within the retention of significance.

Before undertaking seemingly inconsequential internal work, first carefully consider the consequences. There may be some real economic benefit in maintaining the integrity of the building through retention of original features, including colour scheme, interior decoration, joinery and other features.

Interiors of buildings that are included on the Register or State Heritage Places are protected under the Heritage Act. In many cases the significance of an interior may have already been affected by the removal of original finishes or previous alteration. In these situations a lower level of significance may apply and the need for protection of the interior may be removed.

The Heritage Advisory Service provides advice for interior work and this could include an assessment of the significance of an interior.





## 4 Development Policies & Recommendations

Significant buildings and landscape elements which contribute to the historic character of the Zone should be retained and enhanced in any new development. The following section provides advice on likely specific scenarios, including recommendations on how this can be achieved.

While the following section covers a broad range of development types and property types, it is not exhaustive; and some variations will occur which are not covered. Each development application should be assessed on its individual merit.

Each sub-section identifies the relevant objectives and principles of development control from the Gawler Development Plan.

Next, it explores the 'intent' of the identifiable objectives and principles.

Finally, it illustrates the recommended approach, or guideline.

## 4.1 streetscape character

### DEVELOPMENT PLAN

Zone: Development should conserve, maintain, enhance and reinforce the existing streetscape character of the Zone and Policy Area.

### INTENT

Zone: Any development that occurs within the Zone must not impact on the existing streetscape character by varying the pattern, spacing, or setbacks of existing buildings and landscape elements. New development should be sympathetic to these existing patterns. These can include setbacks, spacing, materials, building heights, built-form, fencing types and landscaping.

Each Policy Area has its own established streetscape character which should determine the acceptability of any proposed development.

## 4.2 demolition

### DEVELOPMENT PLAN

Zone: Places and items identified in Table Ga/3, Ga/6 or Ga/7 of the *Gawler Development Plan* should not be demolished, but instead be retained, upgraded and adapted.

Demolition of a significant place should not be undertaken unless the building, item, structure or place is so structurally unsound it represents a risk to public safety and is beyond economic repair. Unsympathetic (later) additions may be demolished if it does not contribute to the historic character of the place.

**Non-complying development:** Demolition, in total, or of the frontage or side returns visible from a street or other elements visible from a public space of a place listed in Table Ga/3 and Ga/6 of the *Gawler Development Plan*.

### INTENT

Zone: State, Local or Contributory listed items should not be demolished. These places should be protected, restored if required, and maintained.

Any development to these places should enhance its historic significance. The extent of the each listing should be identified to ensure its protection.

Demolition of a non-contributory place within a Policy Area is permissible.

## 4.3 sub-division

### DEVELOPMENT PLAN

**Zone:** Division of an allotment containing a historically significant place or item should not be undertaken if it detrimentally affects its heritage significance.

New allotments should reinforce the integrity of and complement the local historic character.

**Policy Areas:** In **Willaston, Willaston (Redbanks Road)** and **Gawler East Policy Areas**, further division of existing allotments either resulting in the creation of additional allotments or the substantial realignment of existing allotment boundaries should not occur.

In **Gawler South Policy Area**, residential 'night cart lanes' should only be used primarily for rear of dwelling vehicular access and the residential densities should not be increased.

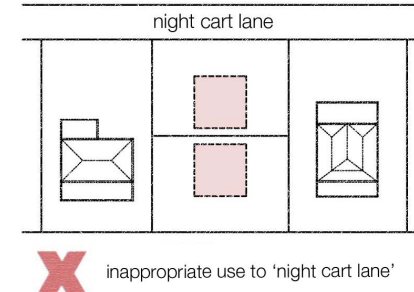
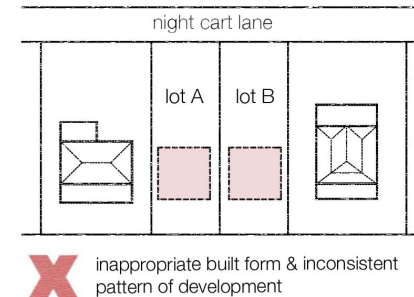
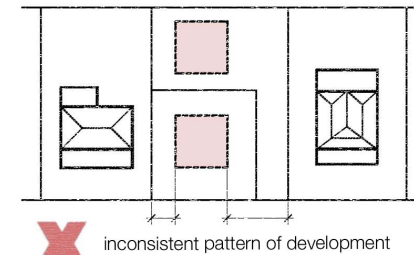
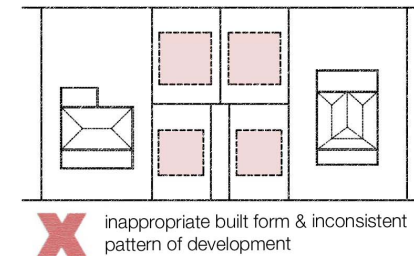
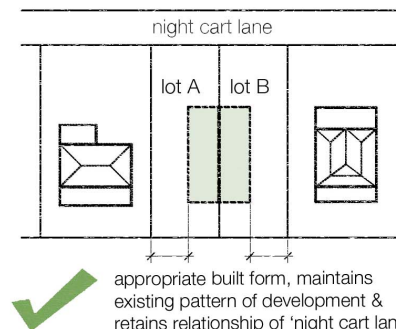
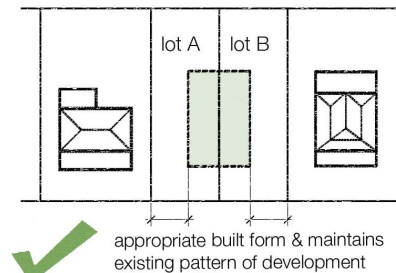
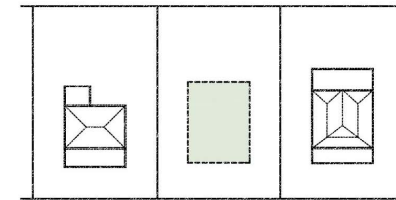
In **Light Policy Area**, sub-division should not occur unless to reinstate the original subdivision pattern as designed by Light, Finniss & Co.

### INTENT

**Zone:** Where permissible, sub-division should be undertaken in a way that does not interrupt the existing pattern of development. Sub-division that results in undesirable higher density development should not occur, unless the appearance of built form maintains the existing pattern of development. A common occurrence is generously sized allotments with a detached dwelling. These sites contribute to the established character of the Policy Area and land-division, combined with the resultant built form, should reflect this.

On allotments where 'night cart lanes' occur, subdivision should be undertaken in a way that does not affect the existing use or relationship of the lane or divide the lane from its associated original dwelling.

### RECOMMENDATION



## 4.4 building alignment & setbacks

### DEVELOPMENT PLAN

**Zone:** Development should be set back from the street and neighbouring buildings consistent with the historic setback on the site. Additions should minimize their impact on the streetscape by siting them to the rear or the side of existing buildings and not forward of existing buildings.

**Policy Areas:** In **Gawler East Policy Area** on the northern side of Lyndoch Road, all buildings require a minimum of 1.5m setback from the side and rear boundaries of an allotment.

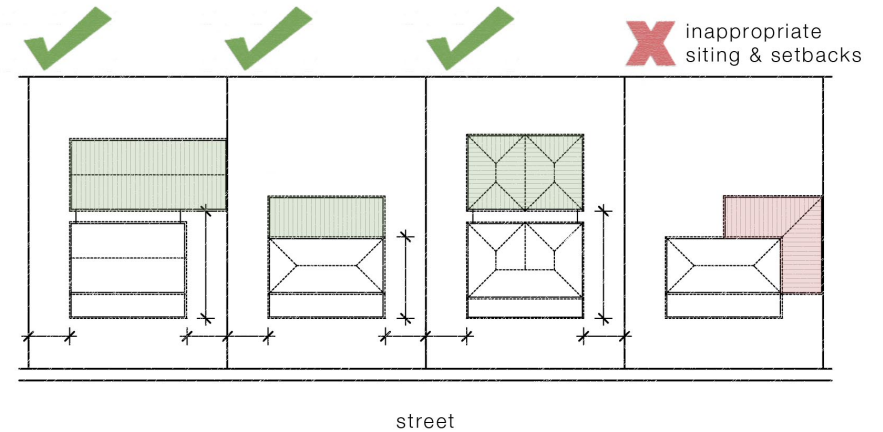
### INTENT

**Zone:** Additions and alterations should be located at the rear of the existing dwellings to not detract from the significant characteristics of the Policy Area. Additions may be permitted to extend to the side boundary providing they are sited to the rear of the original dwelling volume and do not alter the pattern of development.

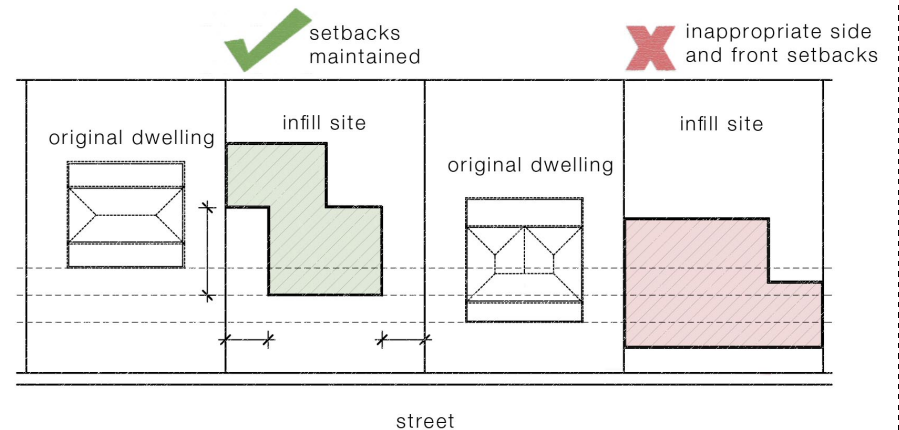
Infill development should reflect the existing setbacks of historic buildings neighbouring the allotment. Where these existing setbacks vary significantly, new buildings should be located with a similar setback from front and side boundaries of the most adjacent contributory building.

### RECOMMENDATION

additions & alterations:



infill development:



## 4.5 building form–additions/alterations

### DEVELOPMENT PLAN

**Zone:** Additions and alterations should reinforce and complement the historic character of the place in terms of its design, scale, built form and height. The height of eaves and gutters of additions should be complementary with the existing building. Use proportions of existing building elements, such as doors and windows, which reflect those of Heritage Places in the locality.

Roof conversions or additional upper floors are not desirable where they compromise the historic integrity of the building or the view of the building from the street. They are acceptable where the alterations are fully incorporated under the existing roof.

**Policy Areas:** In **Gawler South Policy Area**, roofs for rear additions to existing buildings of heritage value may be of skillion construction provided they do not extend greater than 4 metres from the main building.

### INTENT

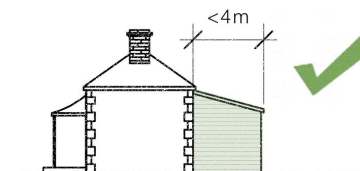
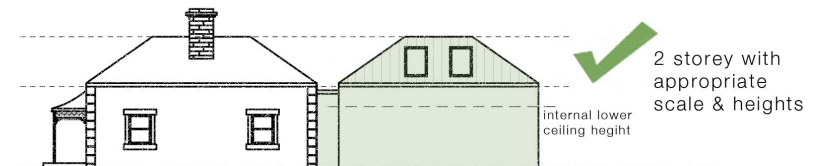
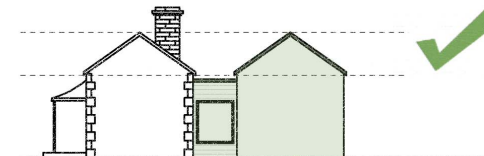
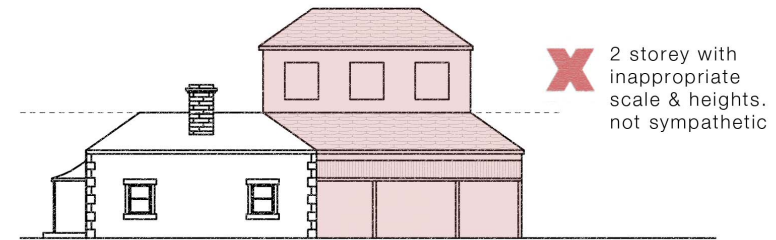
**Zone:** Additions should maintain scale, mass and proportions of the original section of the house. The design of these additions should be undertaken in a sympathetic manner, and form should follow either a lean-to construction or semi-detached additions.

Roof form should preferably follow that of the existing dwelling. Roofs extending less than 4 metres may be skillion.

Two storey additions may be permissible, providing they are contained within the roof space, do not affect the proportions or visual cohesiveness of the building from the streetscape and roof, gutter and eaves heights are maintained.

Pseudo-heritage developments are not permitted.

### RECOMMENDATION



## 4.6 building form – infill

### DEVELOPMENT PLAN

**Zone:** Development should enhance and contribute to visual cohesiveness, and any new buildings should be of complementary height, scale, set-back, form, and display creative and diverse examples of high standard contemporary architecture.

**Policy Areas:** In **Gawler East Policy Area** on the northern side of Lyndoch Road, new dwellings should be 1 storey high, have a minimum eaves height of 3 metres and roof pitch between 25 -35 degrees.

In **Gawler South Policy Area** within the Gawler Railway Station Precinct, 2 storey residential development is well suited to the edges of the Station precinct.

In **Light Policy Area**, one, one and a half and two storey development is appropriate and should be considered for sloping sites to avoid excessive cut and fill.

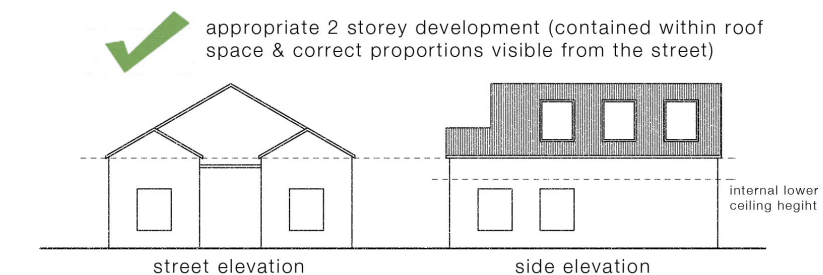
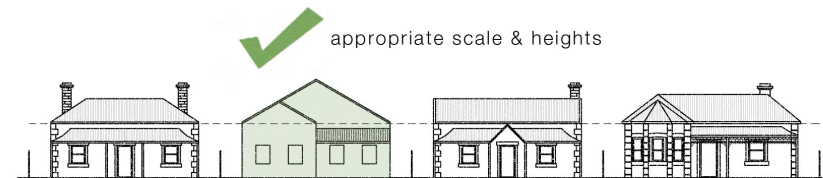
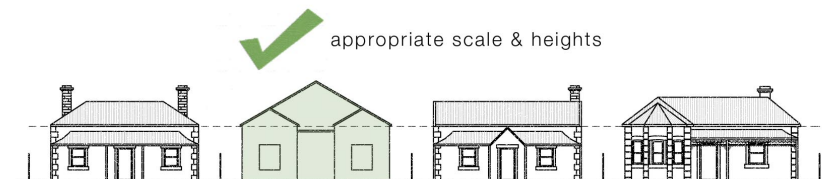
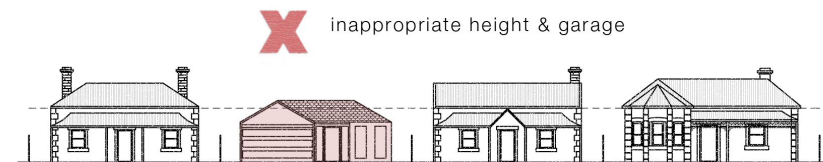
### INTENT

**Zone:** Infill development should be consistent with the typical scale and proportion of contributory buildings. New development should match the height at the eaves line of adjacent contributory buildings and be consistent with the predominant eaves and ridge heights of other contributory buildings within the streetscape.

On sites where development is predominantly one storey, two storey development is permissible providing it is contained within the roof space and does not affect the proportions or visual cohesiveness of the streetscape.

Other forms of 2 storey development can be appropriate on sites where topography allows. Refer to section 5.11 for Topography.

### RECOMMENDATION



## 4.7 plan form

### DEVELOPMENT PLAN

Zone: Development abutting or in close proximity to a significant place or item should be compatible in respect of its building and roof shape.

### INTENT

Zone: Development should reflect the simple plan form of the existing buildings within the surrounding area. A simple roof plan should follow a simple plan form.

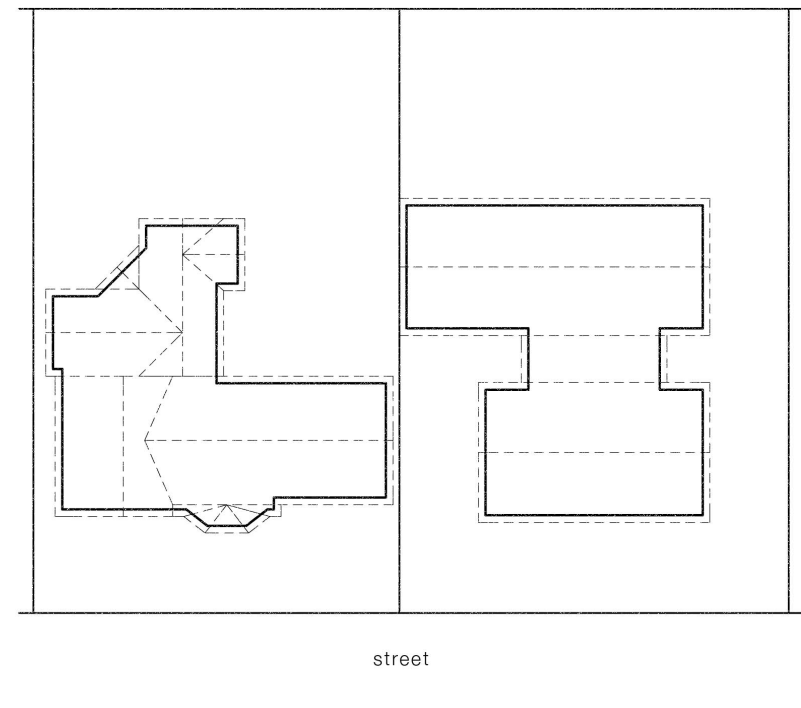
A simple plan does not only mean a small building floor area. A large floor area can be achieved by utilising a series of simple connected plan forms.

It is critical to design the plan form as a response to site conditions and street character.

### RECOMMENDATION

**X** complicated plan and roof form

**✓** simple plan and roof form





## 4.8 proportions

### DEVELOPMENT PLAN

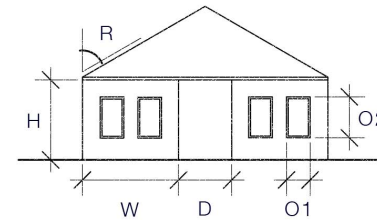
Zone: The proportions (vertical and horizontal) of additions visible from the street should be complementary with those of the existing buildings.

Development abutting or in close proximity to a significant place should respect the historic character of the area and the integrity of the particular place or item of significance and be designed to a high architectural standard.

### INTENT

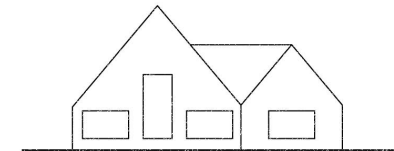
Zone: New development, including infill development, should reinforce and complement the historic character of the Policy Area of which it is within. Contributory buildings should guide the form of new dwellings, including height, roof pitch, window proportions and location, door openings and general massing of the building.

### RECOMMENDATION

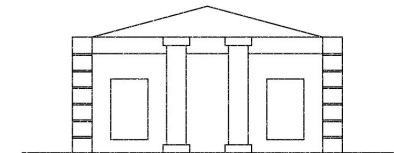


existing proportions

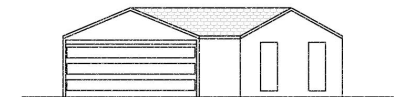
**X** incorrect proportions



**X** incorrect proportions & inappropriate style



**X** incorrect proportions & inappropriate garage



## 4.9 materials

### DEVELOPMENT PLAN

Zone: The external materials and finishes of additions to existing structures of heritage value should complement those of the original building.

Materials may include masonry (stone and brick) render, timber boarding and corrugated steel sheeting (walls and roof). Materials such as mirror glass, flat profile steel sheeting, unpainted zincalume sheeting, wide fibre cement sheet planking and polished face concrete panels should not be used where visible from the street.

External colour schemes should be contemporary, but should not dramatically contrast with the original colour scheme of the existing place.

### INTENT

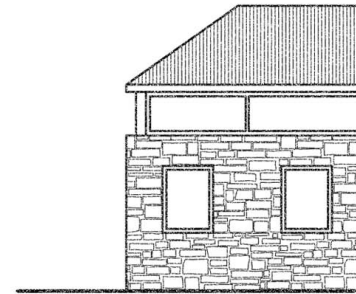
Zone: New dwellings should use materials that will complement the dominant colour and texture of the materials of those contributory buildings within the surrounding streetscape. Pseudo-heritage, such as imitation bluestone, reproduction cast iron decoration, false glazing bars and leadlight to principal windows is inappropriate. Stone veneer, such as 'stacked stone' and 'cultured stone' is not appropriate.

Acceptable materials listed in the Development Plan can be combined to introduce pattern and texture.

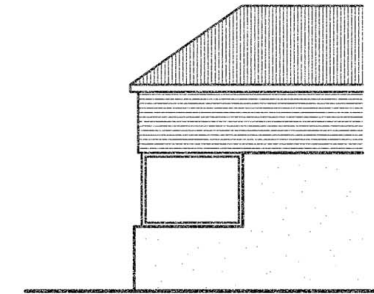
### RECOMMENDATION



stone veneer



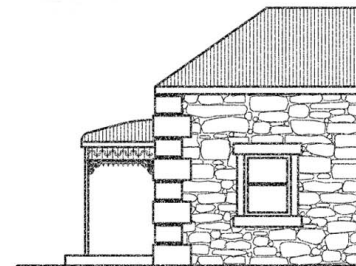
render, corrugated steel sheeting



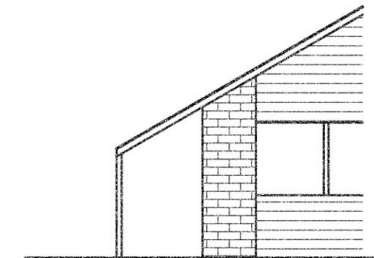
mixing of approved materials to create pattern & texture



imitation-bluestone, reproduction verandahs



brick, timber



mixing of approved materials to create pattern & texture

## 4.10 garages, carports & sheds

### DEVELOPMENT PLAN

Zone: Carports and garages affecting historic places should be located behind the principal façade of the building, may be freestanding and should not visually dominate the façade of the building when viewed from the street.

### INTENT

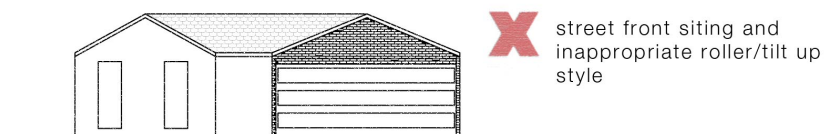
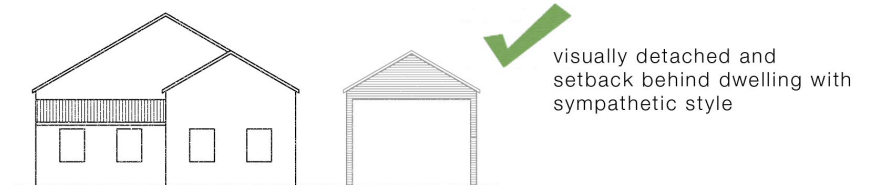
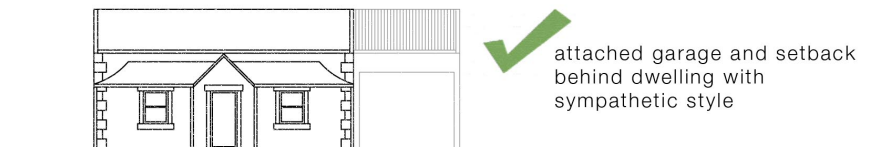
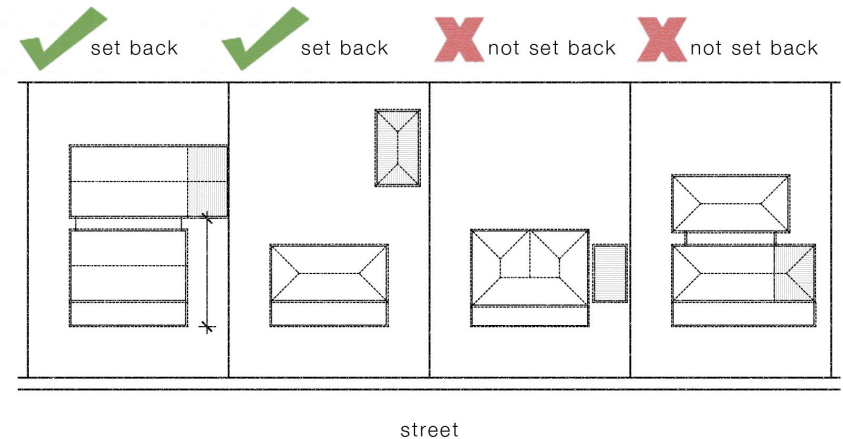
Zone: No building should take place between the front street boundary and existing buildings of heritage value, with the exception of repair or replacement to, or of, original elements or features.

Garages, carports and sheds should be located behind the main dwelling and should be constructed to reflect, in a simplified version, the architectural style of the dwelling. Typically, roof and materials should match that of the house.

Roller or tilt up doors to carports on street frontages or closing driveways are not appropriate.

Carport construction should utilize timber framework for the structural support, with corrugated galvanized iron roofing either in pitched or lean-to configuration. Steel framed carports are not appropriate.

### RECOMMENDATION



## 4.11 landscaping

### DEVELOPMENT PLAN

Zone: Landscaping, which should include fencing at the street boundary, should complement and reinforce the historic character of the Zone generally.

Policy Area: In **Gawler South Policy Area & Light Policy Area**, gardens should be in scale with existing buildings and large allotments should not be reduced in size if attractive building settings, which are provided by gardens and significant trees, will be compromised or put at risk.

### INTENT

Zone: A tree planting and tree maintenance programme should be prepared to preserve, reinforce and enhance the character by provided by existing trees. New street plantings should be based on appropriate species selection and placement.

Landscaping should be considerate of the existing pattern of development. Existing squares, open spaces and gardens in large allotments and should not be compromised for higher density development.

## 4.12 topography

### DEVELOPMENT PLAN

**Council Wide:** Filling of land should be kept to a minimum and should not exceed 1m above existing ground level.

The depth of excavation should not exceed 2m below existing ground level, except for the portion of excavation that is within a building so that it is fully underground.

**Zone:** Maintenance of the existing topography and retention of historic townscape vistas and views.

**Policy Area:** In **Gawler East Policy Area**, development should preserve the existing topography and the relationship of site to street levels and not involve substantial cut and/or fill sites.

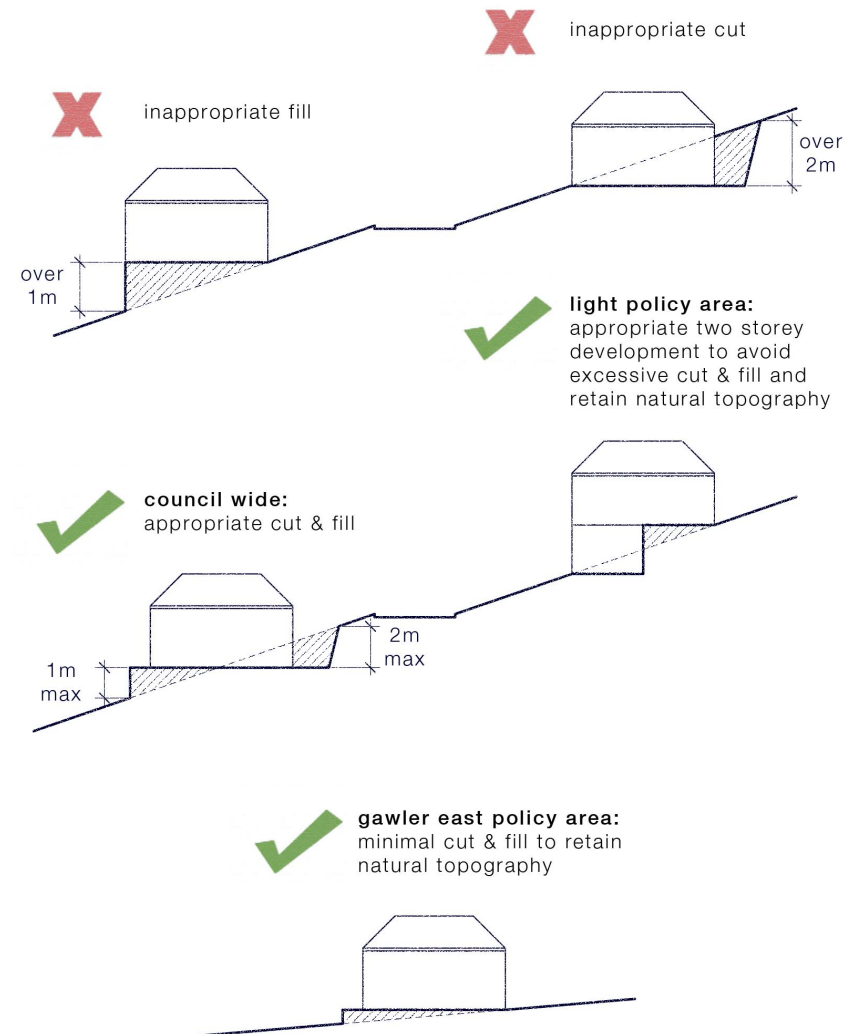
### INTENT

**Zone:** Excessive cut and fill should be avoided on sites where the natural topography forms a significant part of the historic character of the area, in particular **Gawler East Policy Area** and **Light Policy Area**.

In **Light Policy Area**, two storey development should be considered on sites where topography allows, to avoid excessive cut and fill. Development should address the street and variations in floor levels are encouraged to reduce the need for cut and fill, therefore retaining the natural topography.

In **Gawler East Policy Area**, development should avoid excessive cut and fill and the natural topography should be retained.

### RECOMMENDATION



## 4.13 fences - front

### DEVELOPMENT PLAN

**Zone:** Development should have fences to define street boundaries that complement the historic fences found in the locality. Existing traditional front fencing should be preserved in the Zone.

Front fences should complement historic adjacent fences in height.

Materials appropriate for front fences are timber picket, metal palisade, woven wire mesh between timber posts, hedges or rendered masonry with brick copings or other traditional materials. High brush or corrugated steel fences are not appropriate.

**Policy Area:** In **Light Policy Area** within the Church Hill State Heritage Area, maximum height for new front fencing should not exceed 1 metre for cottages. Larger villas may have higher fencing, but these should retain an open nature to enable viewing of the dwelling and front yard.

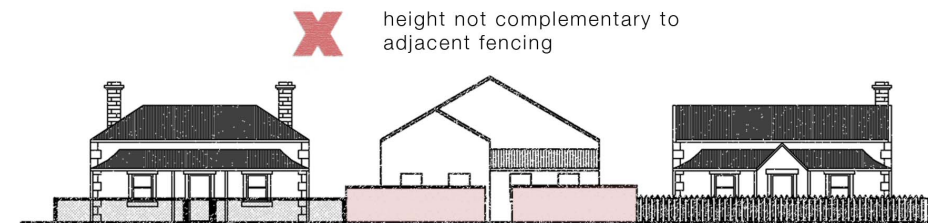
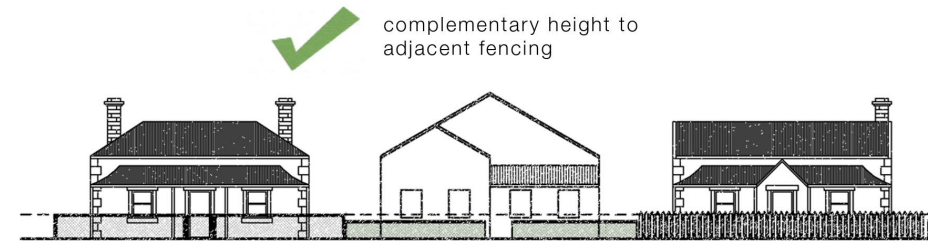
Front and side fencing for the depth of the front yard should be between 1 and 1.4m in height above footpath level.

Where corrugated iron is used, finish should be galvanised or in traditional colours.

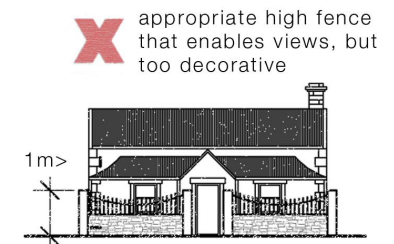
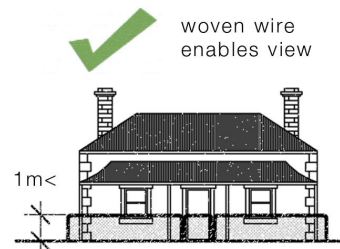
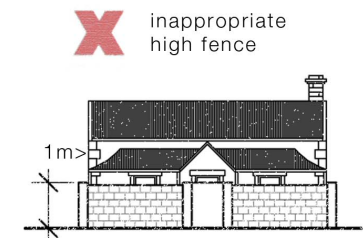
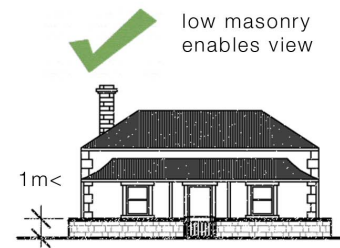
### INTENT

**Zone:** New front fencing should be simple and not highly decorative, yet it should complement historic fence styles in scale and material. Fencing should enable a view of the house and yard from the street. This will ensure that contemporary fences maintain the traditional pattern of allotment enclosure and do not dominate the significant streetscape or individual places.

### RECOMMENDATION – FRONT



#### light policy area:



## 4.14 fences - side

### DEVELOPMENT PLAN

Zone: Side fences should match the front fence in height for the depth of the front yard.

Side and rear fences should be timber picket or board, corrugated steel sheeting (natural galvanized or painted finish), hedges or rendered masonry with brick copings or other traditional materials

Policy Area: In **Light Policy Area** within the Church Hill State Heritage Area, rear fencing and side fencing behind the alignment of the front of the building should generally not exceed 1.5m in height.

Where new side and rear fencing abuts a public road the height, style and materials should be consistent with the characteristics of the adjacent predominate traditional fencing.

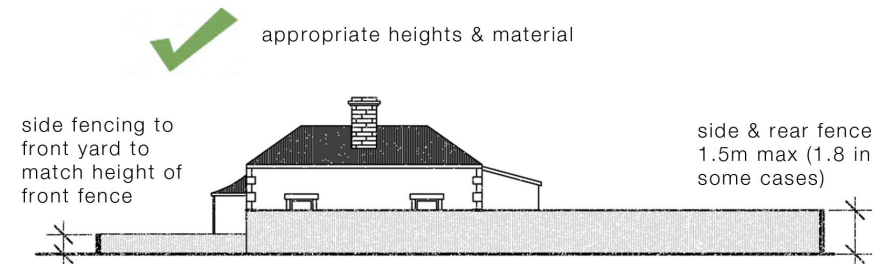
Corrugated side and rear fencing should be galvanized (unpainted or painted in traditional colours) or pre-coated in traditional colours.

### INTENT

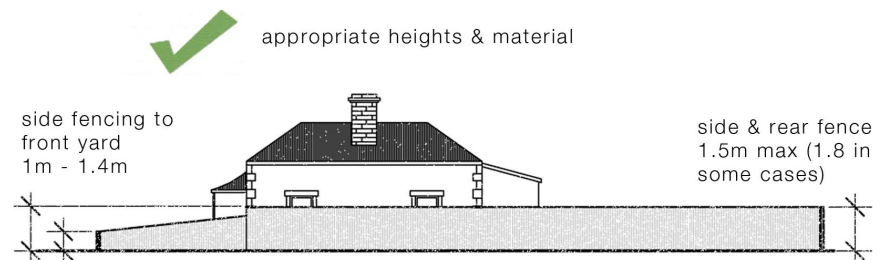
Zone: New side fencing should be simple and not highly decorative. Materials used for side fences should reflect the existing surrounding fence materials.

Corrugated profile fences in galvanized or traditional colours are encouraged. In some cases, side fences may exceed 1.5m if overlooking is an issue.

### RECOMMENDATION – SIDE



light policy area  
(church hill state heritage area):



## 4.15 verandahs

### DEVELOPMENT PLAN

Council Wide: Residential building appearance should be compatible with and should not detract from the existing or desired character of the locality in terms of built form elements such as verandahs, eaves and parapets.

### INTENT

Zone: Functional verandahs, canopies and overhangs are encouraged.

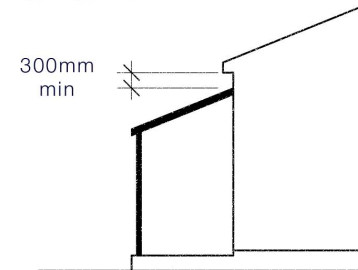
Verandah form and pitch should be designed in proportion to wall height. Verandah extensions of the main roof are the most suitable approach for lower wall heights. For higher wall heights, a visual separation of 300mm minimum between the gutter line and verandah is preferable.

Verandahs should follow traditional form in terms of design. Profiles most commonly used are ogee, concave and bull-nosed.

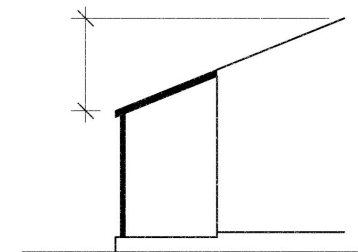
Acceptable materials include corrugated iron cladding (painted or pre-coated in traditional colours) with timber structure.

### RECOMMENDATION

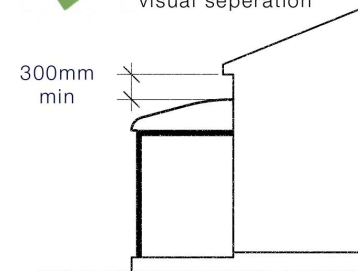
✓ visual separation



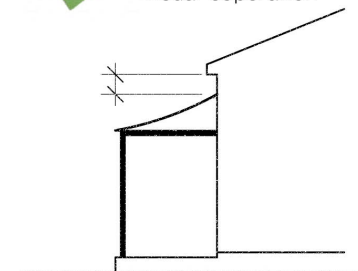
✓ extension of roof/verandah



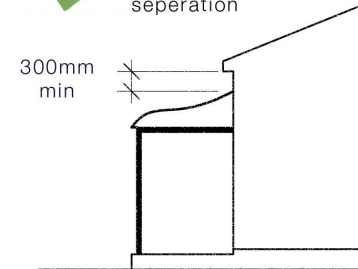
✓ bull-nosed profile with visual separation



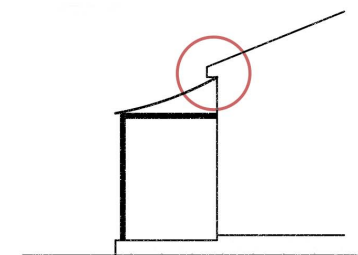
✓ concave profile with visual separation



✓ ogee profile with visual separation



✗ no visual separation





## 4.16 decoration

### DEVELOPMENT PLAN

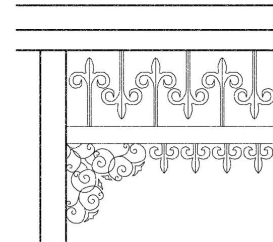
Zone: Development abutting, or in close proximity to, a historic place should respect the historic character of the area and the integrity of the particular place or item of significance and be designed to a high architectural standard.

### INTENT

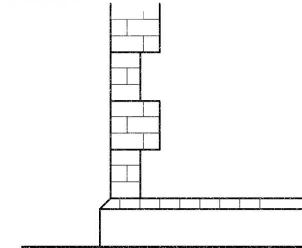
Zone: Traditional decorative elements such as finials, decorative timber fretwork, iron lacework, ogee gutters, toothed quoins and bay windows on new additions or infill development only mimic the historic character of existing buildings and create pseudo-heritage.

### RECOMMENDATION

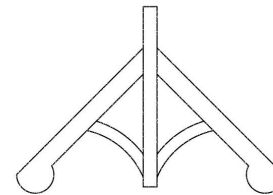
**X** imitation lacework



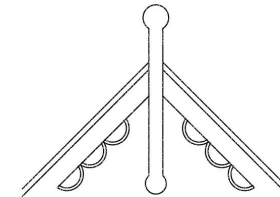
**X** brick quoins on new buildings



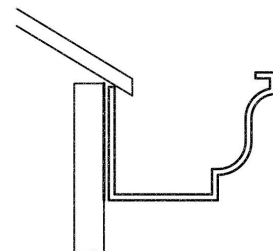
**X** over decorative timber



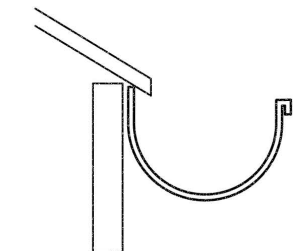
**X** over decorative timber



**X** ogee profile gutter



**✓** half-round profile gutter



## 4.17 solar panels, satellite dishes & air-conditioning

### DEVELOPMENT PLAN

Council Wide: Roof orientation should facilitate efficient use of solar collectors and photovoltaic cells.

Policy Area: Roof mounted plant and equipment should be located so as to minimize their visibility from any public place.

### INTENT

Zone: The form of satellite dishes and solar panels are very distinctive and not easily disguised. If visible from the street, they can disrupt the historic street pattern of an area. Therefore, solar panels should not be located on the street facing roof, or the side roofs of significant dwellings. The location of solar panels should be carefully considered and all options exhausted before mounting on a significant building.

Satellite dishes located on the ground and concealed with planting.

Air conditioning units should also be concealed behind roof lines or located out of site on the ground.

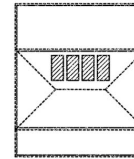
### RECOMMENDATION



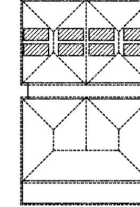
not visible  
from street



not visible  
from street



mounted on  
contemporary  
addition



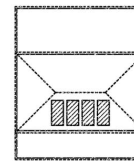
mounted on  
contemporary  
detached building



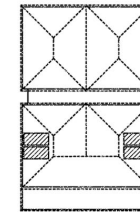
street



street facing



mounted on significant  
dwelling and visible  
from street



street

## 4.18 kerbing

### DEVELOPMENT PLAN

**Zone:** Development should not adversely impact on the character of an adjacent street, for example by introducing new entrances that require removal of historic kerbs.

**Policy Area:** In **Light Policy Area**, original streets not used or not paved should not be modified, widened, closed or redirected and if paved and kerbed this should be in a manner complementary to the detail of other streets in the Policy Area.

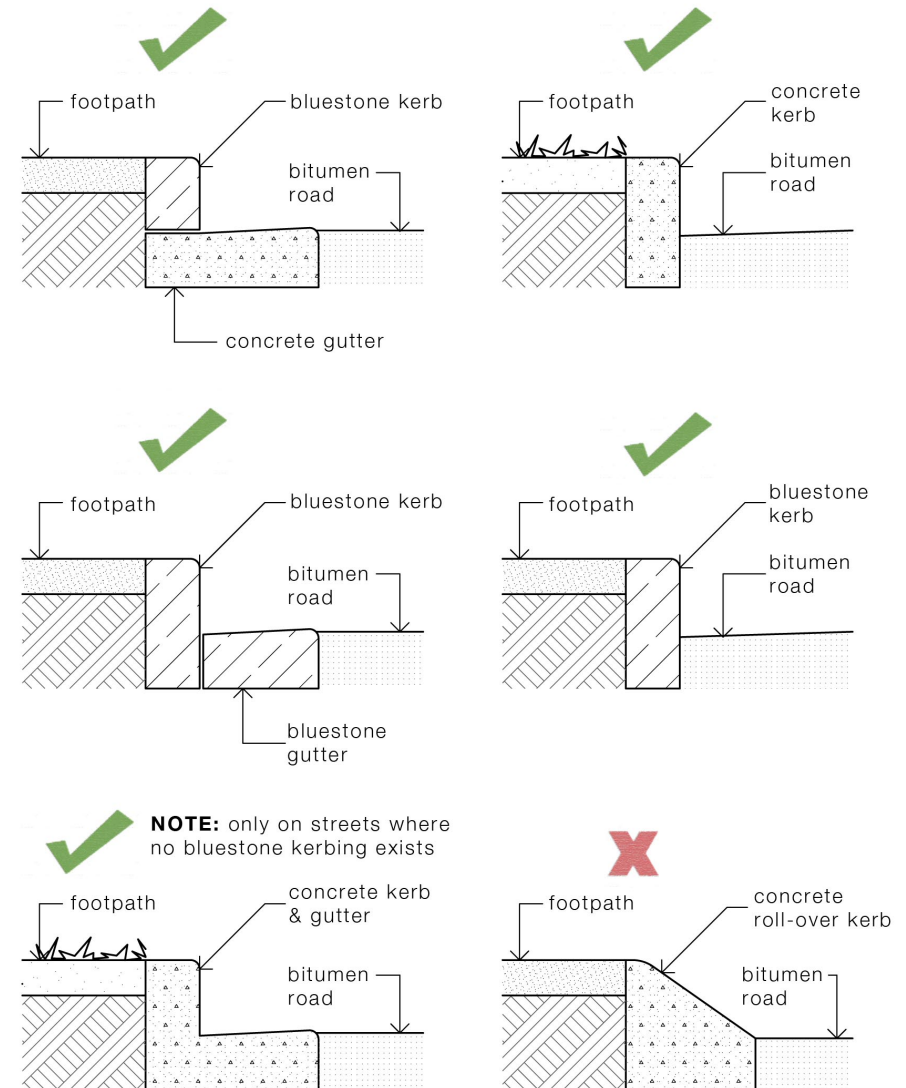
### INTENT

**Zone:** New and replacement kerbing should be undertaken in a way that reflects the existing adjacent kerbing types. Original bluestone kerbing should be maintained and reinstated where possible, and on streets where bluestone kerbing exists in sections, new kerbing should be of bluestone construction.

In other areas where there is no bluestone kerbing, upright concrete kerbing or new bluestone kerbing should be used. Rollover concrete kerbing is inappropriate and should not be used.

Where bluestone kerbing is removed for new cross-overs or ramps, the stone should be retained and used to reinstate kerbing elsewhere within the Zone.

### RECOMMENDATION



## 4.19 footpath & driveway crossovers

### DEVELOPMENT PLAN

**Zone:** Development should not adversely impact on the character of an adjacent street, for example by introducing new entrance surfaces inside property boundaries or on the adjacent street such as concrete or paving which is inconsistent with the historic character of footpaths and street surfaces.

**Policy Area:** In **Light Policy Area**, original streets not used or not paved, should not be modified, widened, closed or redirected and if paved and kerbed this should be in a manner complementary to the detail of other streets in the Policy Area.

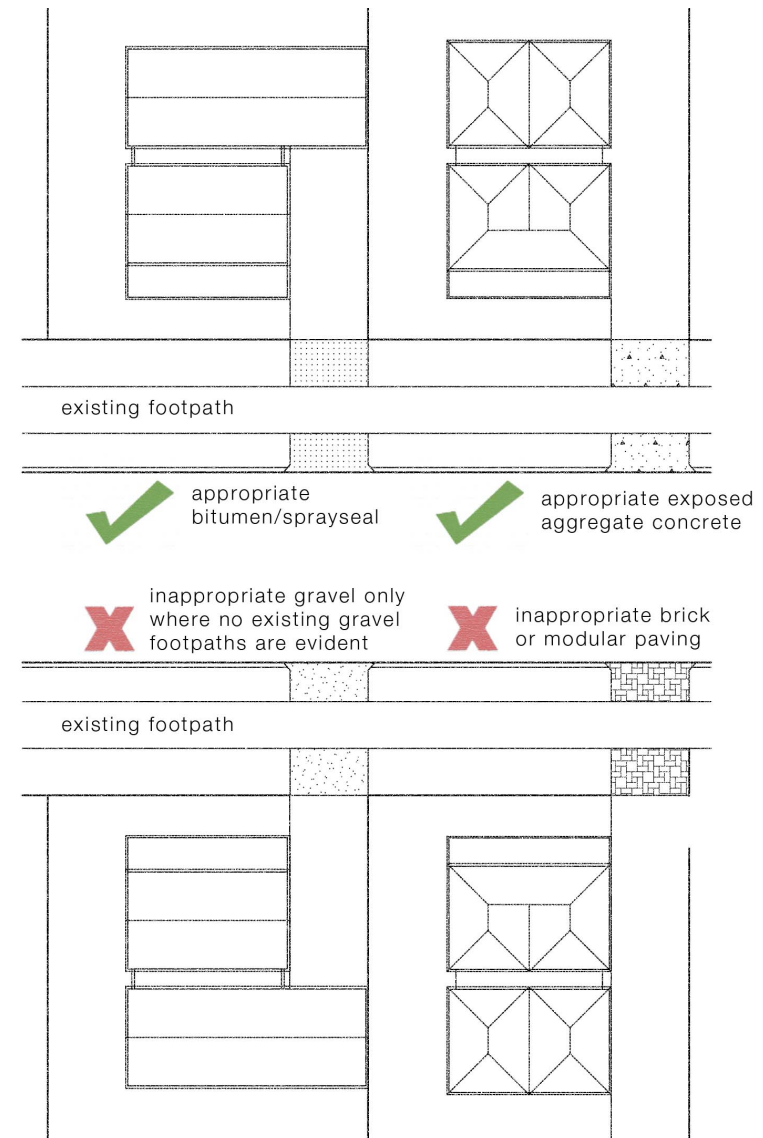
### INTENT

**Zone:** Where required, resurfacing of footpaths or entrances to driveways should be undertaken in a way that reflects the existing adjacent pathway surface material. Existing gravel entrances to driveways on streets where the existing footpath material is gravel should remain as gravel.

Generally, acceptable driveway surface materials include bitumen/spray seal and exposed aggregate concrete. Broom finished concrete is not preferred, but acceptable subject to policy area locality and existing footpath material.

Brick or modular paving should not be used.

### RECOMMENDATION



## 4.20 street signage

### DEVELOPMENT PLAN

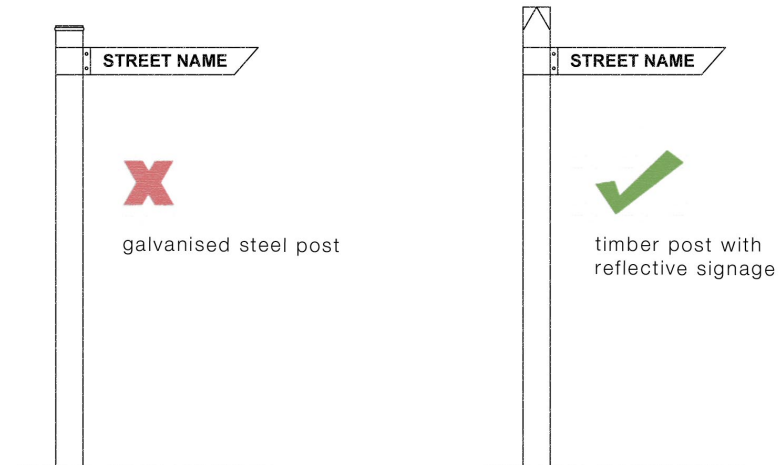
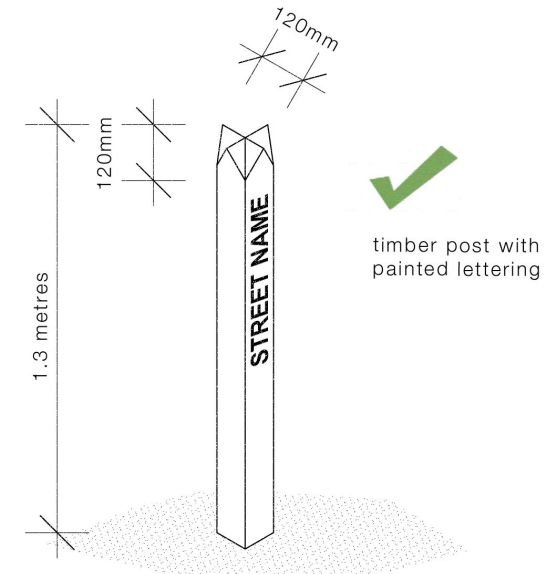
Council Wide: Development should enhance public spaces in its locality, and reflect the character sought to be achieved in the relevant zone or policy area.

### INTENT

Zone: Current street signs within the Gawler Residential Historic (Conservation) Zone comprise reflective type signage panels supported on galvanized steel posts typical of street signs elsewhere throughout Gawler and suburban Adelaide. These signs, do not reflect any specific character or historical connection to the Zone.

The provision of street signs attached to timber sign posts with top detail of post reflecting the cruciform shape. The signage panel may reuse the existing reflective sign or preferably should incorporate a new timber sign as indicated on the sketch. An alternative for the aerial type sign is the use of painted or inscribed lettering on a timber post approximately 1.3m high with the top of the post also treated in the cruciform manner.

### RECOMMENDATION



## 4.21 lighting

### DEVELOPMENT PLAN

Council Wide: Development should enhance public spaces in its locality, and reflect the character sought to be achieved in the relevant zone or policy area.

Open spaces and recreation areas should be located and designed to maximize safety and security by providing lighting around facilities such as toilets, telephones, seating, litter bins, bike storage and car parks.

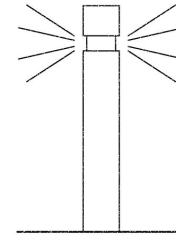
### INTENT

Zone: New street lighting should be low key particularly with regard to height, spacing and design of fixtures to be used and should not be pretentiously pseudo-reproduction gasoliers, with the exception of the placement of gasolier type fittings where an historic precedent exists.

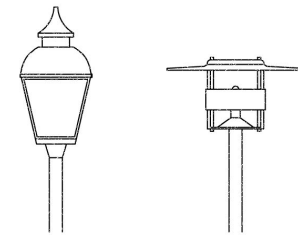
Lighting should be located in a way that does not detract from historical character of the area, for example in-ground up lighting. Bollard lighting is not appropriate.

### RECOMMENDATION

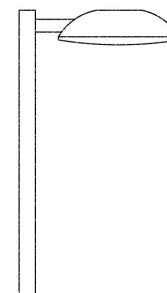
**X** bollard lighting



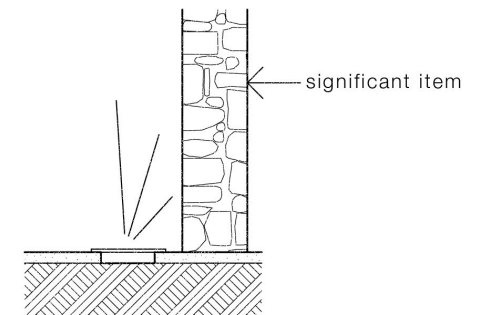
**X** imitation gasoliers and over decorative lighting



**✓** low key & simple lighting designs



**✓** low key in-ground up lighting



## 4.22 street furniture

### DEVELOPMENT PLAN

Council Wide: Development should enhance public spaces in its locality, and reflect the character sought to be achieved in the relevant zone or policy area.

### INTENT

Zone: Street furniture, including park furniture, should be simple and contemporary in design so not to detract from the historical character of the area.

Highly decorative or pseudo heritage style street furniture is not appropriate.

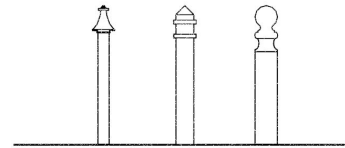
Street furniture can include, but is not limited to, benches, litter bins, bus stops, bollards, barbeques, shade structures and bike racks.

Rubbish receptacles in public spaces should be selected to reflect the historic character of the Zone. Cast iron or simple timber framed rubbish bins are an appropriate treatment. Tubular steel, perforated or roll formed sheet rubbish bins or enclosures are not appropriate.

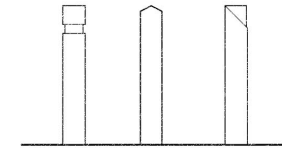
### RECOMMENDATION



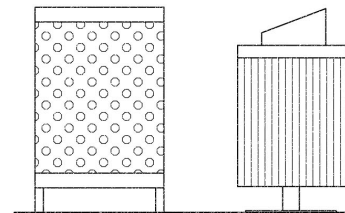
over decorative



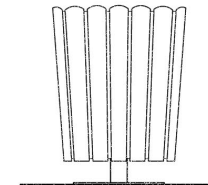
simple design



perforated or roll formed sheet inappropriate



cast iron or simple timber frame appropriate



## 4.23 stobie poles & power lines

### DEVELOPMENT PLAN

Council Wide: Development should not occur without the provision of adequate utilities and services, including electricity supply.

Electricity infrastructure should be designed and located to minimize its visual and environmental impacts.

### INTENT

Zone: High tension power lines are visually obtrusive and the removal of these should be encouraged. Similarly stobie poles and aerial cables including bundled overhead cables, are discordant within The Gawler Residential Historic (Conservation) Zone. Their removal should be encouraged by the provision of underground cables.

No additional aerial cabling should be installed.



## 5 Further Reading

Heritage Branch and Planning SA Publications:

### Planning SA

Guide for Applicants: Submitting an application for approval of development available online at <http://www.planning.sa.gov.au>

For printed copies contact the Development Assessment Branch, Planning SA, Phone (08) 8303 0731 or email: [plnsa.assessment@saugov.sa.gov.au](mailto:plnsa.assessment@saugov.sa.gov.au)

The Gawler (CT) Development Plan is the statutory document against which the Development Assessment Commission has to assess development applications and can be found at the Planning SA website: <http://www.planning.sa.gov.au>

### Heritage Branch

The following relevant publications are available from the Heritage Branch either electronically or in hard copy. Most publications are free, but some incur a charge. For more information go to the 'Publications' page of <http://www.heritage.sa.gov.au> or contact the Department for Environment, Water and Natural Resources Information Line, Phone (08) 8204 1910.

- State Heritage Places Owners' Guide
- Gawler Heritage Survey, 1998.
- Guidelines 2.4: Alterations and Additions
- Heritage Information Leaflet 1.2: Guidelines to Approaches for Conserving Heritage Places
- Heritage Information Leaflet 1.8: Heritage Funding in South Australia
- Technical Notes 3.1: An Owner's Guide to the Maintenance of Historic Buildings
- Technical Notes 3.8: Rising Damp and Salt Attack

### Internet Resources

Database of registered State, Local and Contributory Heritage Places in South Australia: <http://www.planning.sa.gov.au/go/heritagesearch>

Town of Gawler Council website: [www.gawler.sa.gov.au](http://www.gawler.sa.gov.au)

Heritage Branch website: [www.heritage.sa.gov.au](http://www.heritage.sa.gov.au)

[www.stateheritageareas.sa.gov.au](http://www.stateheritageareas.sa.gov.au)