



CTP Pest and Building Inspections
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Visual Timber Pest Inspection and Report in Accordance with AS 4349.3-2010



392 Brunner Road Adamstown Heights (Eastern Elevation)

Purpose Of Inspection:

The purpose of this inspection is to give advice about the condition of the property with regard to timber pests.

INSPECTOR DETAILS

Name Of Inspection Firm:	CTP Pest and Building Inspections
Contact Phone:	0402 679 087
Technician Name:	Craig Pearce
Report Prepared Date:	06/10/2021

Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you prior to acting on this report.

Only structures, fences &/or trees within 30m of the building but within the property boundaries were inspected.

CONTACT DETAILS

Inspection Requested By:	Altitude Real Estate 392 Brunner Road Adamstown NSW
Inspection Requested For:	Same as Inspection Requested By
Cost Billed To:	Same as Inspection Requested By
Contact For Access:	Same as Inspection Requested By

INSPECTION DETAILS

Type of inspection:	Timber Pest Inspection AS 4349.3-2010
Timber Pest Inspection Agreement No:	132
Date of Agreement:	06/10/2021
Property Inspected Details:	392 Brunner Road Adamstown NSW
Inspection Date/Time:	06/10/2021 7:15 AM
Weather Condition(s):	Sunny
Non-Standard Tools Used (Thermal Imaging Camera):	Model No. Flir E30
Standard Tools Used:	Binoculars, Compass, Knife, Ladder (3.6m), Magnifying Glass (x10), Moisture meter, Powerful Torch, Sounding Device, Stepladder (2.1m), Screwdriver
Persons Present At Inspection:	Owner
Reference No:	132

If it is more than 30 days from the inspection date, we recommend a new inspection and report.

TIMBER PEST REPORT- SUMMARY

The Summary section is not the complete Report and therefore cannot be relied on completely. The full report must be read together with the summary.

ACCESS

Are there any Area(s) and/or Section(s) to which Access should be gained?	Yes
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TIMBER PEST ACTIVITY

Were active subterranean termites (live specimens) found in any of the structures inspected?	No
Were active subterranean termites (live specimens) found on the site?	No
Was visible evidence of subterranean termite workings or damage found in any of the structures inspected?	Yes
Was visible evidence of subterranean termite workings or damage found on the site?	No
Was visible evidence of borers of seasoned timbers found in any of the structures inspected?	No
Was evidence of damage caused by wood decay (rot) fungi found in any of the structures inspected?	No
Are further inspections recommended?	Yes
Were any major safety hazards related to Timber Pest Activity and/or Damage identified?	No
Degree of risk of subterranean termite infestation:	High

STRUCTURE(S) INSPECTED:

1 STRUCTURE NAME: Main House & Shed

STRUCTURAL DETAILS

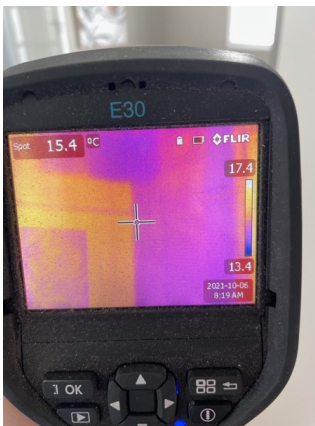
Structure Type:	Double Storey
Orientation:	East
Areas Inspected:	Bathroom, Bedroom 1, Bedroom 2, Bedroom 3, Bedroom 4, Bedroom 5, Decking, Dining Room, Driveway, Ensuite, Entry, External Structure - Shed, Family Room, Roof Exterior, Fences and Gates, Hallway, Kitchen, Laundry, Lounge Room, Paths, Patio, Roof Void, Steps, Subfloor, Toilet, Walls Exterior Areas NOT Inspected: No inspection was made, and no report is submitted, of inaccessible areas. These include, but may not be limited to, cavity walls, concealed frame timbers, eaves, flat roofs, fully enclosed patios subfloors, soil concealed by concrete floors, fireplace hearths, wall linings, landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, hollow blocks/posts, etc.
Furnished:	Yes
Foundations:	Brick Piers, Dwarf Walls, Infill Slab (Strip Footing Slab), Slab on Ground, Suspended Slab
Exterior Walls:	Brick Veneer, Full Brick, Timber Frame - Timber Weatherboard
Roof Structure/s:	Pitched Roof, Skillion
Roof Covering/s:	Metal
Flooring:	Concrete Slab, Tongue and Groove Strip



Moisture content in walls of wet areas is under the maximum of 15%



No thermal anomalies present at time of inspection.



No thermal anomalies present at time of inspection.



Concrete slab edge concealed around perimeter of laundry



Rusted ant capping subfloor

INSPECTION ZONE

Is there a Termite Inspection Zone Present?	Yes Concrete slab edge is concealed around laundry providing concealed entry points for termites I recommend that you expose 75 mm of slab edge to provide adequate inspections for termites, ant capping is rusted in the subfloor I recommend that you contact a licensed builder to replace defective ant capping to reduce the risk of undetected termite entry.
Is the Inspection Zone Clear?	No. Deck Restricted crawl space in subfloor

A **Termite Inspection Zone** is an unobstructed space which the termites must cross or pass around in order to gain access to a building or structure. As a consequence their presence should be revealed during a visual inspection.

ACCESS ISSUE - Subfloor

Access Issue Type:	Restricted Access
Reason(s) Why:	Height



ACCESS ISSUE - Roof Void

Access Issue Type:	Restricted Access
Reason(s) Why:	Foil Insulation, Insulation Old hot water system



Important: If a complete inspection of the above areas was not possible, timber pest activity and/or damage may exist in these areas.

Further Inspections are strongly recommended to areas where Reasonable Access is Unavailable, Obstructed or Restricted or a High Risk of possible Timber Pests and /or Damage exists.

Moisture:	Normal
Termite:	Yes Termite Damage Visible Termite Damage Extent - Moderate Refer to Important Warnings : Invasive Inspection
Borer:	No Borer Identified
Fungal Decay:	No Fungal Decay Identified
Location of Threats Not Limited To:	
Other Comments:	I recommend that you contact a licensed pest control company to undertake a termite management programme to reduce the risk of undetected termite entry.
Is an invasive inspection recommended?	Yes A further invasive inspection gaining full unobstructed access into all restricted and non-accessible areas as these areas could be concealing timber pest activity and or damage.
Are there Major Safety Hazards Related to Timber Pests?	No Important Note: Where a Major Safety Hazard is identified above, it <u>must</u> be attended to and rectified to avoid the possibility of personal injury &/or death.



Important - We claim no expertise in building and if any evidence or damage has been reported then you must have a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement.

CONDUCTIVE CONDITIONS TO TIMBER PEST INFESTATION AND/OR TERMITE ENTRY

Subfloor Conditions:

Drainage Issues Present, Termite Shields Damaged and/or Missing Hot water system pressure relief valve,
I recommend that you contact a licensed plumber to improve subfloor drainage and connect hot water system pressure relief valve to a drain or run 7m away from the perimeter of the building as moisture is conducive to termites, I recommend that you remove timber from in contact with ground and subfloor as it provides concealed entry points for termites. I recommend that you contact a licensed builder to replace defective ant capping to reduce the risk of undetected termite entry.

Exterior Conditions:

Airconditioning/Hotwater System Issues Present, Slab Edge Not Exposed or Not Fully Exposed
I recommend that you contact a licensed plumber to connect hot water system pressure relief valves and air conditioning overflow to a drain or run 7 m from the perimeter of the building as moisture is highly conducive to termite. I recommend that you expose 75 mm of slab edge around perimeter of the laundry to provide adequate inspection for termites and reduce the risk of undetected termite entry.

Interior Conditions:

None
Looked fine at time of inspection.

Roof Void Conditions:

None
Looked fine at time of inspection

Vegetation Against Structures:

Main Structure
I recommend that you remove vegetation away from the perimeter of the building to reduce the risk of undetected termite entry.



Vegetation Eastern side



Slab edge concealed around laundry



Air conditioning overflow Southern side



Hot water system pressure relief valve Southern side



Air conditioning overflow Western side



Drainage subfloor and timber in contact with ground



Rusted ant capping subfloor



Hot water system pressure relief valve subfloor

2: SITE IMPROVEMENTS:

SITE TIMBER PEST ISSUE - Around the yard

Moisture:

Normal

Termite:

No Termite Evidence Identified
Refer to Important Warnings : Invasive Inspection

Borer:

No Borer Identified

Fungal Decay:

Fungal Decay Identified

WARNING: SEE NOTE ON FUNGAL DECAY

Fungal Decay Visible

Fungal Decay Damage Extent: Moderate to Extensive

Location of Threats Not Limited To:

Fungal Decay: Side fences, Stump(s)

Other Comments:

I recommend that you remove rotting stumps and timber from site as rotting timber is highly conducive to termites. I recommend that you contact a licensed builder to replace rotting fencing with non-susceptible timbers as rotting timber provides a food source for termites.

Is an invasive inspection recommended?

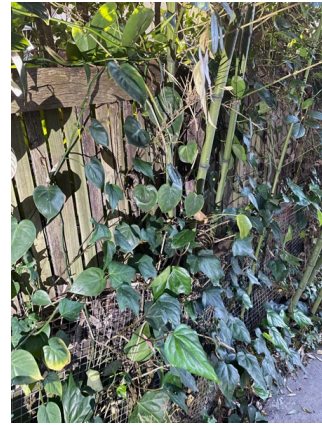
No

Were any major safety hazards related to Timber Pest Activity and/or Damage identified?

No
Important Note: Where a Major Safety Hazard is identified above, it must be attended to and rectified to avoid the possibility of personal injury &/or death.



Rotting stump Eastern side



Rotting fencing Northern side

SITE CONDUCTIVE CONDITIONS PRESENT

Conductive Conditions Present:

Yes. Site adjacent to wooded areas.

Comments:

With wooded areas surrounding the property the environmental termite pressure of the area is high. I recommend that you remove wood chip from site as they provide a good source for termites.



Surrounding wooded areas

SITE ACCESS ISSUES

No site access issues were identified on the day of inspection.

FINAL DETAILS

TERMITE MANAGEMENT STICKER

Is there a Termite Management Sticker?

Yes

WARNING: This firm can give no assurances with regard to work that may have been previously performed by other firms. You should obtain copies of all paperwork and make your own inquiries as to the quality of the treatment, when it was carried out and warranty information. In most cases you should arrange for a treatment in accordance with 'Australian Standard 3660' be carried out to reduce the risk of further attack.

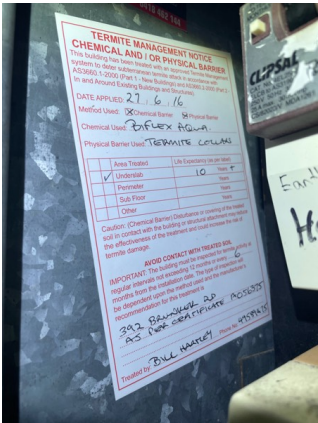
Type of Treatment:

Post-Construction

Environmental Termite Pressure:

Level of Termite Pressure: High
Overall Degree of Risk of Timber Pest Infestation: High

Photo Of Durable Notice



SAFETY HAZARDS

Major Safety Hazards:

No Major Safety Hazards Related to Timber Pest Activity and/or Damage were Identified

RECOMMENDATIONS

Termite Management Recommendation:

Essential

Frequency of Further Inspections:

6 months

Other Inspections Recommended:

Yes

Comment: A further inspection gaining full unobstructed access into subfloor, roof void and all restricted and non accessible areas as these areas could be concealing timber pest activity and/or damage.

FUTURE INSPECTIONS: AS 3660.2-2000 recommends that inspections be carried out at intervals no greater than annually and that, where timber pest "pressure" is greater, this interval should be

shortened. Inspections WILL NOT stop timber pest infestation; however, the damage which may be caused will be reduced when the infestation is found at an early stage.

Warning: In order for you to make a more informed decision regarding the purchase of the property, any other recommended inspections should be carried out PRIOR TO CONTRACTS BEING EXCHANGED.

GENERAL COMMENTS

It is ESSENTIAL that you contact a licensed pest control company to undertake a termite management programme in accordance with A/S3660 to reduce the risk of undetected termite entry due to concealed entry points for termites on site and environmental termite pressure of the surrounding area.

SIGNED BY INSPECTOR

Inspector Name: **Craig Pearce**

License Number:

Date: 06/10/2021

Signed:



TERMS AND CONDITIONS

1. The Inspector inspected all timber structures such as, decking, extensions, patios, dividing fences, retaining walls constructed with timber, tree stumps within 30 metres of the main building and inside the property boundary.
2. The inspection and report are provided in accordance with the Australian Standards (as amended from time to time) to provide a report on timber pest activity.
3. Where the client has requested a pre-purchase Timber Pest Inspection, the Inspection was conducted in accordance with the Australian Standard AS 4349.3-2010 Inspection of buildings - Timber pest inspections.
4. Where the client has only requested a termite Inspection, only the inspections was carried out in accordance with AS3660.2-2017 - Termite management;
5. This report is an assessment of areas which the Inspector can see and access to determine the existence or evidence of activities of Timber Pests namely Subterranean and dampwood termites, borers of seasoned timber and timber decay, rot (fungal decay).
6. Any restricted areas, structures, furniture which prevent or hinder visual inspection was not moved. The inspector did not undertake any invasive digging, cutting, separated, or pulled apart to gain access.
 - (a) No items of property, such as furniture, stored goods, equipment, clothing, toys etc were moved during the inspection.
 - (b) The inspector did not move items or undertake any invasive digging, cutting, unscrewing,

separation of or pulling apart to gain access.

7.

(a) The client acknowledges that a building has many concealed areas and there is no access to some roof areas or areas between floors or eaves because they are simply too low. Floor coverings can be restricted by furniture and belongings. The Inspector did not inspect areas which did not have the minimum space required for inspection as follows:

(b) The client acknowledges that there are areas of a building will not allow physical access. Examples defined as follow: Roof void clearance – 600mm x 600mm, Underfloor clearance – 400mm.

(c) The inspection of Flooring may be restricted by floor covering, furniture or stored items. Examples: Carpets, cupboards, lounges, beds, packing boxes etc.

8. The client acknowledges that some timber pest issues may not be visible and reported on because of weather conditions existing at the time of the inspection.

9. The Inspection did not include the following:

(a) any areas which cannot be seen or where further examination is required;

(b) areas which are obstructed or areas which cannot be assessed readily and safely;

(c) areas which are obstructed or areas which cannot be assessed readily and safely;

(d) Serviceability damp defects including rising damp and condensation;

(e) Body Corporate common property;

(f) Mould;

(g) Asbestos materials;

(h) Magnesite materials;

(i) Foundations footings

11. The Inspector is not required to provide any estimate of repairs and if such estimates are given then it is given as a guide an on to be relied on in determining the likely costs of repairs. The Client shall engage a Builder, engineer and other trades obtain proper quotations for any repairs.

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13. Mediation. In the event of any claim, dispute or other matter arising out of or relating to this Agreement, the parties shall attempt to resolve any dispute amicably at a meeting to be attended by a person nominated by the Australian Mediations Association Limited. The parties shall bear equally the costs of the mediation.

14. Other than inspections conducted in the Australian Capital Territory (ACT) third parties cannot rely

on this report; see The Civil Law (Sale of Residential Property) Act 2003 ACT as amended establishes a process for the making and exchange of contracts for the sale of residential property in the ACT. The ACT details documents that must be obtained and made available to the buyer for inspection before a residential property is offered for sale. These documents include building inspection and Timber Pest inspection reports. The aim is to enhance consumer protection by giving buyers all the relevant information about the property they intend to purchase. Building inspectors are also required to advise when reports on a property have been prepared for an intending seller. This information is then recorded in a public register in the ACT only.

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15. WARNING: It is recommended that the client engages the relevant consultants or builders to investigate and rectify all defects raised in this report otherwise the defects may deteriorate and cause further damage or problems.

16. Exclusions

The Inspection report does not include the following:

(a) the detection of Drywood termites (e.g. *Cryptotermes brevis*) as Drywood termites typically live entirely inside a piece of timber with no visible evidence.

(b) An assessment of the extent or degree of damage caused by Timber Pests as this can only be determined by further invasive investigations by other consultants including plumbers, builders, and Engineers.

(c) the detection non-timber destroying pests on the property such as bedbugs, cockroaches, fleas, rodents etc. Accordingly, these are not defined as Timber Pests and so are not covered within the scope of Inspection.

(d) The inspection does not include any preventative advice or action plans.

17. Glossary

The following definition is to assist you to understand the report:

Subterranean Termites

Subterranean termites also commonly known as "white-ants" are a highly wood destructive timber pest of the Order Isoptera causing major structural timber damage to buildings.

Dampwood Termites

Dampwood termites known as *Termopsidea* infest wood or timber with a high moisture content.

Wood Decay Fungi

Wood-decay fungus is a specie of fungus that digests moist wood, causing it to rot.

Wood Borers

Borers or beetles are small insects that consume wood. They bore into timber and form extensive tunnels over the period of months or years.

Visible Evidence

There are clear signs or evidence of timber damage by Timber or timber pest activity

No Visible Evidence

The Inspector did not detect any visible signs or indication of the presence or activity of timber pests

High Risk

Having regards to the building structure, environment and conditions that there is a high degree of the existence of infestation or timber pest activity.

Serious Safety Hazard is a matter or thing may be regarded as an immediate or imminent risk to life, health or property.

16. Further Notations

The Report is not to be taken as a guarantee but is an opinion of the Inspector of the existence of any infestation.

This is not a report on the structure the building works and if the client requires such a report then the client should engage the appropriate consultant to obtain the reports.

18. Access Comments

Reasons areas did not have reasonable access

Sub Floor level

Example:

No inspections of those parts of sub floor area because insufficient clearance

Roof Void

Example:

No inspections in those parts of roof cavity due to existence of ducting or insulation materials or insufficient clearance

Visual inspections

No inspections of areas because of Visual obstruction -reasons

Areas Obstructed not inspected because of existence of :

Example: carpet, cupboards & furniture

19. Advice on reduction of the risk of Timber termites

- Inspect surroundings of your home –keep vegetation, trees plants or garden beds well away of building weep holes and building lines.
- Repair leaks or moisture issues like inadequate drainage, leaking taps or pipes or poor ventilation.
- Do not accumulate materials under the house as they reduce ventilation space.
- Ensure that there is no timber on the ground in proximity of the dwelling house or structure.
- When building and renovation be aware that some building materials or methodology can reduce termite risks.
- Arrange for timber pest inspection at least once a year and adopt their recommendations.