

STANDARD PROPERTY & TIMBER PEST REPORT

Report number: **1604913661804**
Inspection date: **05-11-2020**
Client:
Property address: **44 Florida Avenue New Lambton**



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If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

Form: SPTPR V3.1 - 17th January 2016

Service

As requested and agreed with the Client, the inspection carried out by the Building Consultant and Timber Pest Detection Consultant is a Standard Property & Timber Pest Report comprising a Property Report and a Timber Pest Report.

“Client” means the person or persons, for whom the Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

“Building Consultant” means a person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 ‘Inspection of Buildings. Part 1: Pre-Purchase Inspections – Residential Buildings’. The consultant must also meet any Government licensing requirement, where applicable

“Timber Pest Detection Consultant” means person who meets the minimum skills requirement set out in the current Australian Standard AS 4349.3 Inspections of Buildings. Part 3: Timber Pest Inspection Reports or state/territory legislation requirements beyond this Standard, where applicable.

This Standard Property & Timber Pest Report was produced for the exclusive use of the Client. The consultant, their company or firm is not liable for any reliance placed on this report by any third party.

Terms on which this report was prepared

Property report

PURPOSE OF INSPECTION The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection.

SCOPE OF INSPECTION This Report only covers or deals with any evidence of: Structural Damage; Conditions Conducive to Structural Damage; any Major Defect in the condition of Secondary Elements and Finishing Elements; collective (but not individual) Minor Defects; and any Serious Safety Hazard discernible at the time of inspection. The inspection is limited to the Readily Accessible Areas of the Building & Site (see Note below) and is based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

DEFINITIONS

“Structural Damage” means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

- (a) Structural Cracking and Movement – major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.
- (b) Deformation – an abnormal change of shape of Primary Elements resulting from the application of load(s).
- (c) Dampness – the presence of moisture within the building, which is causing consequential damage to Primary Elements.
- (d) Structural Timber Pest Damage – structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites.

“Structure” means the loadbearing part of the building, comprising the Primary Elements.

“Primary Elements” means those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term ‘Primary Elements’ also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

“Conditions Conducive to Structural Damage” means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

“Major Defect” means defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

“Secondary Elements” means those parts of the building not providing loadbearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-loadbearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

“Finishing Elements” means the fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term ‘Finishing Elements’ does not include furniture or soft floor coverings such as carpet and lino.

“Minor Defect” means defect other than a Major Defect.

“Serious Safety Hazard” means any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

“Tests” means where appropriate the carrying out of tests using the following procedures and instruments:

- (a) Dampness Tests - additional attention to the visual examination was given to those accessible areas which the consultant’s experience has shown to be particularly susceptible to damp problems. Instrument testing using electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.
- (b) Physical Tests - the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster.

ACCEPTANCE CRITERIA

The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Unless noted in “Special Conditions or Instructions”, the Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint;
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS

The Client acknowledges:

1. ‘Visual only’ inspections are not recommended. A visual only inspection may be of limited use to the Client. In addition to a visual inspection, to thoroughly inspect the Readily Accessible Areas of the property requires the Consultant to carry out when ever necessary appropriate Tests.

2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).
3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct expertise.
4. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
5. Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) solving or providing costs for any rectification or repair work;
- (iii) the structural design or adequacy of any element of construction;
- (iv) detection of wood destroying insects such as termites and wood borers;
- (v) the operation of fireplaces and chimneys;
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (vii) lighting or energy efficiency;
- (viii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (ix) any appliances such as dishwashers, insinkerators, ovens, stoves and ducted vacuum systems;
- (x) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (xi) a review of environmental or health or biological risks such as toxic mould;
- (xii) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (xiii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone;
- (xiv) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

Timber pest report

PURPOSE The purpose of this inspection is to assist the Client to identify and understand any Timber Pest issues observed at the time of inspection.

SCOPE OF INSPECTION This Report only deals with the detection or non detection of Timber Pest Attack and Conditions Conducive to Timber Pest Attack discernible at the time of inspection. The inspection was limited to the Readily Accessible Areas of the Building & Site (see Note below) and was based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

DEFINITIONS

"Timber Pest Attack" means Timber Pest Activity and/or Timber Pest Damage.

“Timber Pest Activity” means telltale signs associated with ‘active’ (live) and/or ‘inactive’ (absence of live) Timber Pests at the time of inspection.

“Timber Pest Damage” means noticeable impairments to the integrity of timber and other susceptible materials resulting from attack by Timber Pests.

“Major Safety Hazard” Any item that may constitute an immediate or imminent risk to life, health or property resulting directly from Timber Pest Attack. Occupational, health and safety or any other consequence of these hazards has not been assessed.

“Conditions Conducive to Timber Pest Attack” means noticeable building deficiencies or environmental factors that may contribute to the presence of Timber Pests.

“Timber Pests” means one or more of the following wood destroying agents which attack timber in service and affect its structural properties:

- (a) Chemical Delignification - the breakdown of timber through chemical action.
- (b) Fungal Decay - the microbiological degradation of timber caused by soft rot fungi and decay fungi, but does not include mould, which is a type of fungus that does not structurally damage wood.
- (c) Wood Borers - wood destroying insects belonging to the order ‘Coleoptera’ which commonly attack seasoned timber.
- (d) Termites - wood destroying insects belonging to the order ‘Isoptera’ which commonly attack seasoned timber.

“Tests” means additional attention to the visual examination was given to those accessible areas which the consultant’s experience has shown to be particularly susceptible to attack by Timber Pests. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

“Instrument Testing” means where appropriate the carrying out of Tests using the following techniques and instruments:

- (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements;
- (b) stethoscope - an instrument used to hear sounds made by termites within building elements;
- (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees;
- (d) sounding - a technique where timber is tapped with a solid object.

“Subterranean Termite Management Proposal” A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.

ACCEPTANCE CRITERIA Unless noted in “Special Conditions or Instructions”, the building being inspected was compared with a similar building. To the Consultant’s knowledge the similar building used for comparison was constructed in accordance with generally accepted timber pest management practices and has since been maintained during all its life not to attract or support timber pest infestation.

Unless noted in “Special Conditions or Instructions”, this Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. This Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which this Report was based please discuss your concerns with the Consultant on receipt of this Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS

The Client acknowledges:

1. This Report does not include the inspection and assessment of matters outside the scope of the requested inspection and report.
2. The inspection only covered the Readily Accessible Areas of the Building and Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
3. The detection of drywood termites may be extremely difficult due to the small size of the colonies. No warranty of absence of these termites is given.
4. European House Borer (*Hylotrupes bajulus*) attack is difficult to detect in the early stages of infestation as the galleries of boring larvae rarely break through the affected timber surface. No warranty of absence of these borers is given. Regular inspections including the carrying out of appropriate tests are required to help monitor susceptible timbers.
5. This is not a structural damage report. Neither is this a warranty as to the absence of Timber Pest Attack.
6. If the inspection was limited to any particular type(s) of timber pest (e.g. subterranean termites), then this would be the subject of a Special-Purpose Inspection Report, which is adequately specified.
7. This Report does not cover or deal with environmental risk assessment or biological risks not associated with Timber Pests (e.g. toxic mould) or occupational, health or safety issues. Such advice may be the subject of a Special-Purpose Inspection Report which is adequately specified and must be undertaken by an appropriately qualified inspector. The choice of such inspector is a matter for the Client.
8. This Report has been produced for the use of the Client. The Consultant or their firm or company are not liable for any reliance placed on this report by any third party.

EXCLUSIONS

The Client acknowledges that:

1. This Report does not deal with any timber pest preventative or treatment measures, or provide costs for the control, rectification or prevention of attack by timber pests. However, this additional information or advice may be the subject of a timber pest management proposal which is adequately specified.

Special conditions or instructions

There are no special conditions or instructions

The parties

Pre-engagement inspection agreement number (if applicable):

Name of Client:

Name of Principal (if applicable):

Address of Client:

Client's email:

Client's telephone number:

Consultant's name: **Blake Nixon**

Consultant's licence number (if applicable): **5078053**

Consultant's mobile number: **0432631287**

Company name: **East Coast Building And Pest Services**

Company address and postcode: **PO Box 4057 Edgeworth NSW 2285**

Company email: **admin@ecbaps.com.au**

Company telephone number: **0421436920**

Company fax number:

Section A Results of inspection - summary

This Summary is not the Report. The following Report MUST be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

Property report - summary

In respect of significant items:

Evidence of Serious Safety Hazards **WAS OBSERVED - SEE SECTION D, ITEM D1.**

Evidence of Major Defects **WAS OBSERVED - SEE SECTION D, ITEM D2-D21.**

Evidence of Minor Defects **WAS OBSERVED - SEE SECTION D, ITEM D22.**

Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects including structural damage and conditions conducive to structural damage was considered: **MODERATE-HIGH**

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on the implementation of a preventative maintenance program see Section G "Important Notes".

Timber pest report - summary

In respect of significant items:

Evidence of active (live) termites **WAS NOT FOUND**.

Evidence of termite activity (including workings) and/or damage **WAS FOUND - SEE ITEM E3**.

Evidence of a possible previous termite management program **WAS NOT FOUND**.

The next inspection to help detect any future termite attack is recommended **IN 12 MONTHS**

Evidence of chemical delignification damage **WAS FOUND - SEE ITEM E6**.

Evidence of fungal decay activity and/or damage **WAS FOUND - SEE ITEM E7**.

Evidence of wood borer activity and/or damage **WAS NOT FOUND**.

Evidence of conditions conducive to timber pest attack **WAS FOUND - SEE ITEM E9 - E13**.

Evidence of major safety hazards **WAS NOT FOUND**.

Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected timber pest attack and conditions conducive to timber pest attack was considered **MODERATE-HIGH**

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on how to help protect against financial loss due to timber pest attack see Section G "Important Notes".

Section B General

The records of the appropriate local authority should be checked to determine or confirm:

- whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip or tidal inundation, or if it is flood prone;
- the status of the property and services (e.g. compliance of the building with the provisions of any building Act, code, regulation or by-laws); and

- whether council has issued a building certificate or other notice for the dwelling.
Where appropriate, legal advice (e.g. from a solicitor) should be sought to explain title and ownership matters and to deal with matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters.

General description of the property

Residential building type: **Detached house.**

Number of storeys: **Two storey.**

Building age (approx): **75 years.**

Approximate year when the property was extended (if applicable): **25 years.**

Smoke detectors: **4 fitted, but not tested**

IMPORTANT NOTE The adequacy and testing of smoke detectors is outside the scope of this standard inspection and report. Accordingly, it is strongly recommended that a further inspection be undertaken by a suitably qualified person.

Siting of the building: **Towards the front of a medium block**

Gradient: **The land is sloping**

Site drainage: **The site appears to be poorly drained**

Access: **Reasonable pedestrian and vehicular access**

Main utility services:

**Sewerage
Electricity
Mains water
Gas**

Occupancy status:

Unoccupied and unfurnished

Orientation (to establish the way the property was viewed):

The façade of the building faces east

Note. For the purpose of this report the façade of the building contains the main entrance door.

Prevailing weather conditions at the time of inspection: **Prolonged wet spell**

Other:

Primary method of construction

Main building – floor construction:

**Timber staircase
Brick foundation walls
Suspended timber framed
Brick piers
Floorboards
Suspended slab
Timber deck
Balcony
Slab-on-ground**

Main building – wall construction:

**Timber framed
External weatherboards
Finished with plaster
Internal gypsum plasterboard
External cladding
Fibre-cement sheeting
Internal brick walls have been finished with render in places.**

Main building – roof construction:

**Pitched roof
Timber framed
Finished with sheet metal roofing
Solar panels**

Other (timber) building elements:

Timber wall cladding
Timber decking
External timber joinery
Timber handrails
Internal timber joinery
Timber door frames
Floorboards
Timber window frames

Other:

Overall standard of construction:

Acceptable

Overall quality of workmanship and materials:

Acceptable

Level of maintenance:

Reasonably maintained

Incomplete construction

No evidence of incomplete construction was found

The term 'incomplete construction' means where the original construction and any alterations or additions to the building are not complete in the work synonymous with construction (but does not include building services).

Note. This is only a general observation/comment except where any part of the building structure is, or is likely to be, at risk due to this condition.

Accommodation & significant ancillaries

Storey	Living rooms	Bedrooms	Bathroom / Ensuite	Separate toilet	Kitchen	Laundry	Swim Pool*	Other
Lower ground	0	0	0	0	0	1		0
Ground	3	4	1	1	1	0	0	0
First	0	0	0	0	0	0		0
Second	0	0	0	0	0	0		0
Third	0	0	0	0	0	0		0

Attic/Loft	0	0	0	0	0	0	0	0
Detached	0	0	0	0	0	0	0	0
Totals	3	4	1	1	1	1	0	0

(* A ground floor swimming pool denotes an internal swimming pool / A detached swimming pool denotes an external swimming pool)

Parking

Type	Off street parking spaces (uncovered)	Garage (covered)	Car-port (covered)
Attached	0	1	0
Detached	0	0	0
Totals	0	1	0

Section C Accessibility

Unless noted in “Special Conditions or Instructions”, the inspection only covered the Readily Accessible Areas of the Building & Site (see Note below).

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

“Readily Accessible Areas” means areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. The term ‘readily accessible’ also includes:

- accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide);
- areas at the eaves of accessible roof spaces that are within the consultant’s unobstructed line of sight and within arm’s length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

“Building & Site” means the inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries.

For the Timber Pest Report, the term “Building & Site” is extended to include the main building (or main buildings in the case of a building complex) and all timber structures (such as outbuildings, landscaping, retaining walls, fences, bridges, trees and stumps with a diameter greater than 100 mm and timber embedded in soil) and the land within the property boundaries up to a distance of 50 metres from the main building(s).

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas, which are not normally accessible, were not inspected and include - but not limited to - the interior of a flat roof or beneath a suspended floor filled with earth. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder’s debris, vegetation, pavements or earth.

Areas inspected

The inspection covered the Readily Accessible Areas of **Subfloor space**

the property including:

The site
Building exterior
Roof exterior
Building interior

Areas not inspected

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. The Consultant did not move or remove any obstructions which may be concealing evidence of defects such as timber pest attack. Areas, which are not normally accessible, were not inspected. Evidence of defects in obstructed or concealed areas may only be revealed when the items are moved or removed or access has been provided.

Strata or company title properties

Not applicable

NOTE. If the inspection was limited to assessing the interior and immediate exterior of a particular unit, the Client may have additional liability for defects, faults or timber pest attack in the common property. This additional liability can only be addressed through the undertaking of a Special-Purpose Inspection Report which is adequately specified.

Obstructions

Building interior:

Fittings
Wall linings
Flooring
Brickwork
Floor coverings
Curtains / blinds
Ceilings
Built-in cupboards
Internal render

Building exterior:

Earth abutting the building
Grass-covered areas abutting the building
Decking
Thick foliage
Cladding
Brickwork
Built-up areas abutting the building
Duct work
Landscaping abutting the building
Vegetation

Roof exterior:

Roofing
Leaves

Roof space:

**Not inspected due to construction design
Not inspected due to height restrictions**

**Access hole in linen cupboard did not allow
suitable access and due to low pitch roof access
could not be obtained to roof space.**

Subfloor space:

**Formwork
Builder's debris
Pipe work**

The site:

**Vegetation covering fences
Thick foliage
Vegetation
Stored articles**

Inaccessible areas

Building interior:

**All the normally accessible areas permitted
entry**

Building exterior:

**In inspecting the building exterior, there was no
inspection of the walls where the area of
accessibility was more than 3.6 metres above
ground or floor levels**

Roof exterior:

**In inspecting the roof exterior, there was no
inspection of the roof where the area of
accessibility was more than 3.6 metres above
ground or floor levels**

Roof space:

Not inspected due to construction design

There was no inspection of the roof space due to height restrictions

Subfloor space:

In inspecting the subfloor space, there was no inspection of those parts where the area of accessibility was less than 400 mm high x 600 mm wide

The site:

All the normally accessible areas permitted entry

Undetected defect risk assessment

Subfloor space:

Partly accessible for inspection.

Building interior / exterior & site:

Not all areas were 'Readily Accessible'.

Roof space:

Not accessible for inspection.

Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects such as structural damage, conditions conducive to structural damage, timber pest attack and conditions conducive to timber pest attack was considered:

MODERATE-HIGH

A further inspection is strongly recommended of areas that were not readily accessible, and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This may require the moving, lifting or removal of obstructions such as floor coverings, furniture, stored items, foliage and insulation. In some instances, it may also require the removal of ceiling and wall linings, and the cutting of traps and access holes. For further advice consult the person who carried out this report.

Section D Property report

The following items and matters were reported on in accordance with the Scope of Inspection. For building elements not identified in this condition report, monitoring and normal maintenance must be carried out (see also Section G 'Important note').

Serious safety hazards

As a matter of course, in the interests of safety, an inspection and assessment of the electrical and plumbing/gas installations should be carried out by a suitably qualified person.

D1 Serious safety hazards

Evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent serious safety hazard:

The following evidence was found



#1. Handrail doesn't meet current standard, however is in reasonable condition

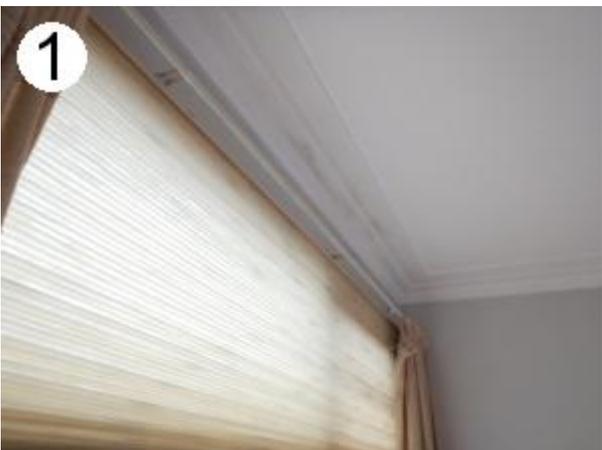


#2. Rear RH side bedroom window sill heights are <865mm from finished floor height and fixed fly screens are not installed, this creates a potential fall hazard

Inside condition - major defects

D2 Ceilings

No evidence of Major Defects was found



#1. Mould on the ceiling in areas, building should be well ventilated as it has been locked up for some time, monitor condition and repair as required

D3 Internal Walls

No evidence of Major Defects was found



#1. Mould is present on Internal walls in areas, as the property is vacant building should be well ventilated and areas monitored.

D4 Floors

No evidence of Major Defects was found

D5 Internal Joinery (e.g. doors, staircase, windows and all other woodwork, etc)

No evidence of Major Defects was found

D6 Built-in fittings (built in kitchen and other fittings, not including the appliances)

No evidence of Major Defects was found

D7 Bathroom fittings

No evidence of Major Defects was found

D8 Other inside detail (e.g. fireplaces, chimney breasts and the outside of flues)

The following evidence of Major Defects was found



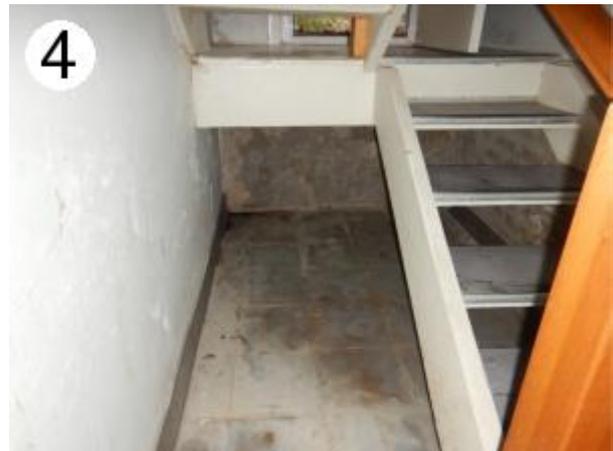
#1. Stair stringer is been affected by fungal decay, this is consistent with rising damp and elevated moisture, contact carpenter for further advice



#2. Sodium on brick work is consistent with rising damp and poor drainage, monitor condition and repair as required



#3. Sodium on brick work and paint peeling is consistent with rising damp and poor drainage, monitor condition and repair as required



#4. Flooring is wet under stairs, this is consistent with the age of the property no poor site drainage, monitor condition and repair as required

D9 Roof space

No evidence of Major Defects was found

D10 Subfloor space

No evidence of Major Defects was found



#1. Subfloor is damp in areas, site drainage should be improved

Outside condition - major defects

D11 External walls

No evidence of Major Defects was found



#1. Settlement cracking to front foundation wall, this is consistent with the age of the property, monitor condition



#2. External boards have been affected by fungal decay in areas, this is consistent with the age of the property, monitor condition and repair as required



#3. External boards have been affected by fungal decay in areas, this is consistent with the age of the property, monitor condition and repair as required

D12 Windows

No evidence of Major Defects was found



#1. Timber windows have been affected by moisture in areas, this is consistent with the age of the property, monitor condition and repair as required, regular maintenance is required



#2. Windows are tight to operate, regular maintenance is required



#3. Windows are tight to operate and are weathered, regular maintenance is required

D13 External doors (including patio doors)

No evidence of Major Defects was found

D14 Platforms (including verandahs, patios, decks and the like)

No evidence of Major Defects was found

D15 Other external primary elements

No evidence of Major Defects was found

D16 Other external secondary & finishing elements

No evidence of Major Defects was found



#1. Tile is cracked to the front patio



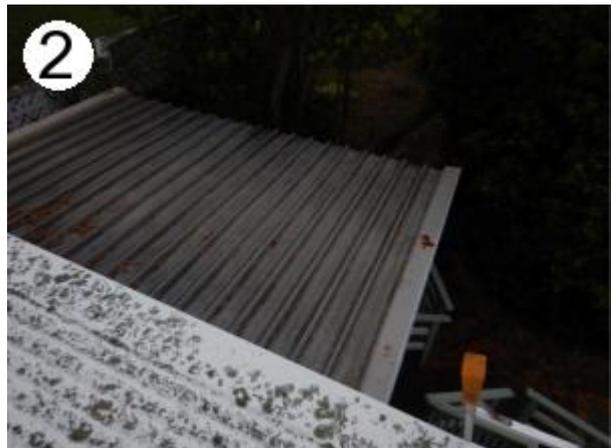
#2. Brick is not secured as intended

D17 Roof exterior (including roof covering, penetrations, flashings)

No evidence of Major Defects was found



#1. Fungal decay is affecting fascia boards to the rear of the building, this is consistent with the age of the building, monitor condition and repair as required



#2. Flashing above decking area are showing signs of rusting in places, monitor condition and repair as required, this is consistent with the age of the property



#3. Fungal decay is affecting timber barge board, this is consistent with the age of the property, monitor condition and repair as required

D18 Rainwater goods

No evidence of Major Defects was found



#1. Guttering should be installed to both sides of the front patio



#2. Guttering should be installed to the rear of the decking



#3. Down pipe is showing signs of rusting, monitor condition

D19 The grounds

No evidence of Major Defects was found



#1. Brick garden edging is cracked in places, this is consistent with the age of the property, monitor condition and repair as required



#2. Settlement cracking to brick retaining wall, this is consistent with the age of the property, monitor condition



#3. Settlement cracking bush rock retaining wall in areas, this is consistent with the age of the property, monitor condition



#4. Settlement cracking bush rock retaining wall in areas, this is consistent with the age of the property, monitor condition

D20 Walls & fences

No evidence of Major Defects was found



#1. Rear fence is in poor condition as it's leaning over, vegetation restricted access

D21 Outbuildings

No evidence of Major Defects was found

Minor defects

The report describes the overall extent of any minor defects and imperfections:

D22 Minor defects

There are some Minor Defects. Monitoring and normal maintenance must be carried out (see also Section G 'Important note').



#1. Window is cracked rear bedroom



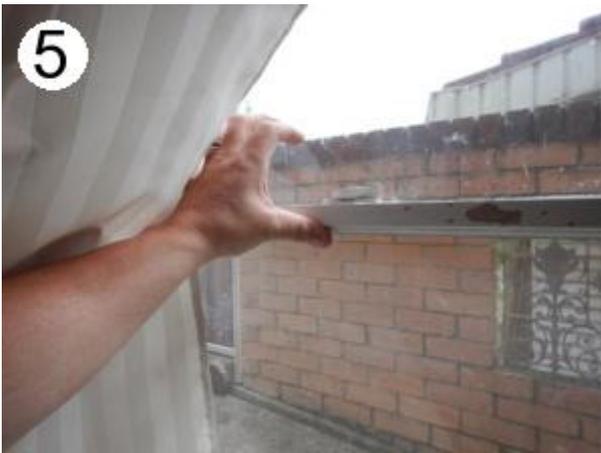
#2. Grout is cracked between wall and floor tiles to the bathroom in areas, this is consistent with the age of the property and movement with in the building, monitor condition, recommended to be repaired with a suitable silicone material



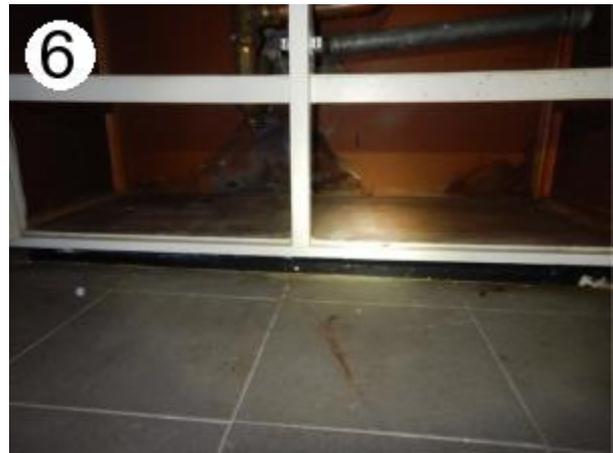
#3. Paint is peeling in areas to brick work to lower level, this is consistent with an elevation in moisture, monitor condition and repair as required



#4. Moisture staining to ceiling near bathroom, area was tested for moisture and no elevated moisture was detected, monitor condition



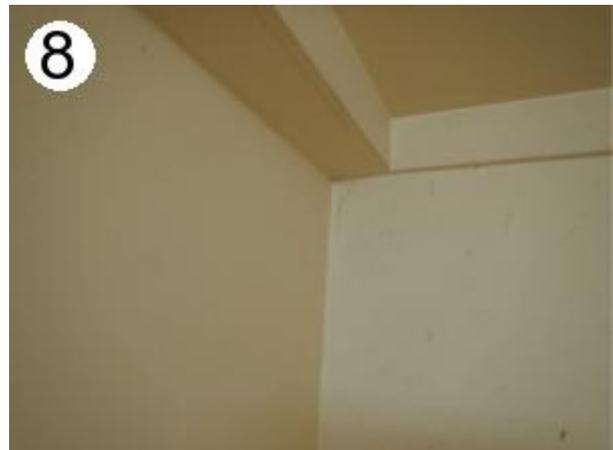
#5. Laundry window has been screwed closed



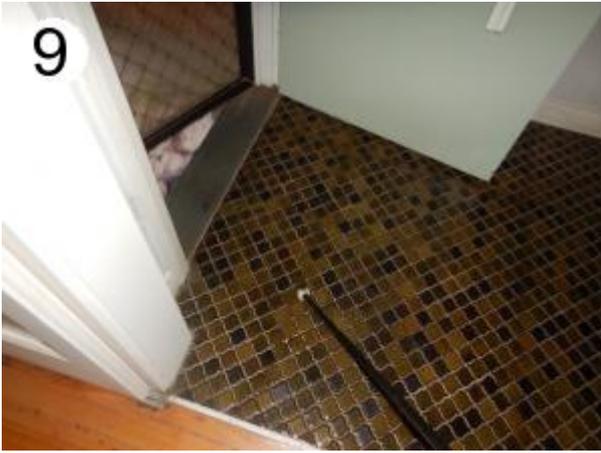
#6. Old moisture damage under laundry sink



#7. Moisture has affected garage window causing fungal decay, monitor condition and repair as required



#8. Wall in storage area has cracked, this is consistent with the age of the property and movement with in the building, monitor condition



#9. Tiles are drummy in areas, this is consistent with the age of the property, monitor condition and repair as required



#10. Laundry door jamb has been affected by fungal decay, monitor condition and repair as required

Section E Timber pest report

The following items were reported on in accordance with the Scope of Inspection.

Timber pest attack

Evidence of timber pest activity and/or timber pest damage:

E1 Active (live) termites

No evidence was found

Important Note. As a delay may exist between the time of an attack and the appearance of telltale signs associated with an attack, it is possible that termite activity and damage exists though not discernible at the time of inspection.

E2 Subterranean termite management proposal

A proposal is recommended

E3 Termite workings and/or damage

The following evidence was found



#1. Old termite damage was found to stump and vegetation

E4 Previous termite management program

No evidence was found

E5 Frequency of future inspections

The next inspection to help detect termite attack is recommended **In 12 months**

Important Note. Australian Standard AS 3660 recognises that regular inspections will not prevent termite attack, but may help in the detection of termite activity. Early detection will allow remedial treatment to be commenced sooner and damage to be minimised.

E6 Chemical delignification

The following evidence was found



#1. Chemical delignification is slightly affected timber floor framing in places, this is consistent with the age of the property, monitor condition

E7 Fungal decay

The following evidence was found

Fungal decay was found to timber materials that have been exposed to the elements

E8 Wood borers

No evidence was found

Conditions conducive to timber pest attack

The Consultant sought evidence of noticeable building deficiencies or environmental factors that may contribute to the presence of timber pests. In respect of moisture management issues, the inspection included the potential for or presence of water or dampness in unintended locations.

E9 Lack of adequate subfloor ventilation

No evidence was found

E10 The presence of excessive moisture

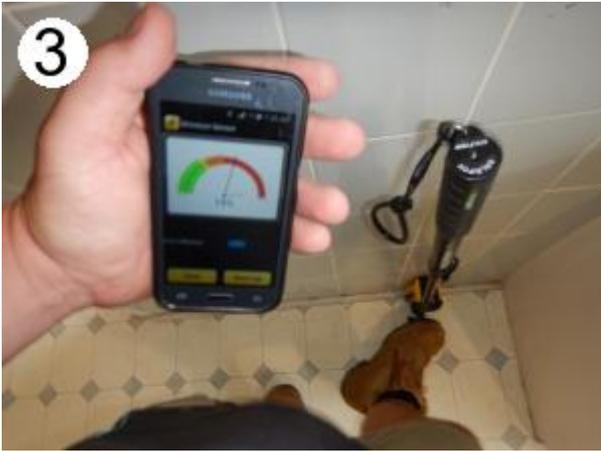
The following evidence was found



#1. Elevation in moisture was found near front door, monitor condition and repair as required, this is consistent with the mould growth



#2. Elevation in moisture was found to lower ground floor brick work, this is consistent with the age of the property and rising damp, monitor condition and repair as required



#3. Elevation in moisture was found around kitchen, area was radared for termite activity and no activity was detected, no visible signs of moisture were found under flooring, this could be a false reading due to material type, monitor condition

E11 Bridging or breaching of termite management systems and inspection zones

The following evidence was found

**Built up areas abutting the building
Landscaping abutting the building
Vegetation abutting the building
Ant capping is inadequate
Slab edge is it exposed >75mm for inspection purposes**

E12 Untreated or non-durable timber used in a hazardous environment

The following evidence was found



#1. Timber debris should be removed from the subfloor

E13 Other conditions conducive to timber pest attack

The following evidence was found



#1. AC drain is not connected into a drain, this can allow moisture to gather



#2. Hot water over pressure pipe is not connected into a drain, this can allow moisture to gather

Major safety hazards

The Consultant sought evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent major safety hazard. For example, evidence of the imminent collapse of a structural member and other building elements made unsafe by timber pest attack.

E14 Major safety hazards

No evidence was found

Section F Conclusion

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

Property report

In the opinion of this Consultant:

The incidence of Major Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:

Average

The incidence of Minor Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:

Average

In conclusion, following the inspection of surface work in the readily accessible areas of the property, the overall condition of the building relative to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:

Average condition

Timber pest report

The following Timber Pest remediation actions are recommended:

1. **NO** treatment of Timber Pest Attack is required.
2. In addition to this Report a Subterranean Termite Management Proposal to help manage the risk of future subterranean termite access to buildings and structures is **RECOMMENDED - SEE ITEM E2**.
3. **YES, AS DETAILED IN SECTION E** removal of Conditions Conducive to Timber Pest Attack is necessary.
4. Due to the susceptibility of the property to sustaining Timber Pest Attack the next inspection is recommended **IN 12 MONTHS**

Section G Important notes

Property report – Important note

Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice.

Timber pest report - risk management options

To help protect against financial loss, it is essential that the building owner immediately control or rectify any evidence of destructive timber pest activity or damage identified in this Report. The Client should further investigate any high risk area where access was not gained. It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of conditions conducive to timber pest attack.

To help minimise the risk of any future loss, the Client should consider whether the following options to further protect their investment against timber pest infestation are appropriate for their circumstances:

Undertake thorough regular inspections at intervals not exceeding twelve months or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack. To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS 3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical management system. However, AS 3660 stresses that subterranean termites can bridge or breach management systems and inspection zones and that thorough regular inspections of the building are necessary.

If the Client has any queries or concerns regarding this Report, or the Client requires further information on a risk management program, please do not hesitate to contact the person who carried out this Inspection.

Section H Additional comments

There are no additional comments

Section I Annexures to this report

There are no annexures

Section J Certification

This document certifies that the property described in this Report has been inspected by the Building Consultant & Timber Pest Detection Consultant in accordance with the level of service requested by the Client and the Terms and Conditions set out in this Report, and in accordance with the current edition of the Report Systems Australia (RSA) Handbooks Standard Property Inspection Reports 'Uniform Inspection Guidelines for Building Consultants' & Timber Pest Detection Reports 'Uniform Inspection Guidelines for Timber Pest Detection Consultants'.

Authorised Signatory:

A handwritten signature in black ink, appearing to be 'Blake Nixon', written over a horizontal line.

Name: **Blake Nixon**

Date of Issue: **09-11-2020**