



OUR REF: 2110-17

DATE: 6.10.2021

BUILDING INSPECTION STANDARD REPORT
(Australian Standards No 4349.1 - 2007)

ON DWELLING: **5/15 Rowes Lane**
 CARDIFF HEIGHTS, NSW

FOR: **Masoud & Maral Jalayer**



View of the main dwelling.

An inspection of the unit revealed it to be a two-floor leveled attached unit, constructed from a concrete slab on fill, subfloor masonry walls and piers, and timber floor, wall and roof frames.

The dwelling is externally brick veneer and sections of the walls are clad with fibre-cement weatherboards and the roof is lined with metal roof sheets.

An inspection of the dwelling revealed it to be in a sound structural condition with no significant defects evident in the dwelling's framing components.

Observations made during the course of my inspection applicable on Wednesday 6th October 2021, were as follows:

The dwelling balcony is facing approximately north.
For the purpose of this report, the dwelling is facing north.

INTERNAL

GROUND FLOOR

1 – Entry

The entry is in good order.

The southern elevated masonry wall has ground salts appearing to the internal surface, this indicates that the wall and the edge of the concrete slab will become damp during prolonged wet weather conditions; this is a result of the adjoining subfloor area not having adequate subfloor drainage systems installed

As a result after heavy pro-longed wet weather conditions due to the slop of site water ingress into the subfloor area is ponding against this masonry wall then ingressing to the internal room area.

Water ingress has caused minor fungal decay to the bottom edge of the timber entrance door frame and adjacent metal door frame to the carport area.

There is sag in plasterboard ceiling linings; further movements will require additional screw fixings so that ceiling sheets are secured directly to the underside of timber floor framing.

2 - Staircase

The internal timber staircase is in good order.

FIRST FLOOR

3 - Lounge Room

The lounge room is in good order.

The timber balustrades surrounding the internal staircase would not be compliant with current building requirements which state that the minimum height of a balustrade to be 1 metre, all openings in a balustrade must not exceed a sphere of 125mm.

There is water staining to the western elevated plasterboard wall lining; presumed as a result of rainwater ingress into the roof void; as a result of wall and roof flashings.

The aluminum sliding glass window requires new sash roller wheels to achieve ease of operation.

4 – Kitchen

The kitchen and the kitchen cupboards are in good order.

Wall lining paintwork is incomplete when kitchen cupboards were replaced in a past maintenance programme.

5 – Hall

The hallway is in good order.

A battery-operated smoke alarm device is installed to alert occupants of the adjacent bedrooms in the event of a fire.

There has been a previous water leak into the roof void above the bathroom door opening; as a result of water ingress around wall and roof flashings.

6 – Bedroom 1 (front north-east)

The bedroom is in good order.

The aluminum sliding glass window on the northern elevation has ceased operation requiring a general maintenance overhaul to achieve ease of operation.

7 – Bedroom 2 (rear south-east)

The bedroom is in good order.

8 - Bathroom

The bathroom is in poor condition.

The vanity unit exhibits moisture swelling; due to water contact over the past years.

The bathtub, toilet, and cistern are in serviceable condition.

The shower recess' waterproofing membrane was water pressure tested; Evidence in the subfloor area revealed that water is excapeing from the waterproofing membrane and this shower recess has had past waterproofing problems with surrounding structural pine board floor sheeting being recently replaced and there are extensive silicone sealant repairs to the floor and wall tile junctions inside the shower recess.

Ceramic wall tiles are drummy, loose and many wall tiles are missing.

The bathroom will need to be renovated in an upcoming maintenance programme.

8 - Laundry

The laundry is in good order.

The laundry is serviced by a metal washtub.

Several ceramic skirting tiles are drummy and loose.

The internal door is binding within the door frame requiring minor adjustments.

GROUND FLOOR STOREROOM

9 - Entrance

The entrance is in good order.

There is no rebate is ceramic floor tiles under the timber entrance door to prevent rainwater tracking in under the door during wet wind forced conditions.

10 – Storeroom

The storeroom is in good order.

The walls are of single thickness brickwork and are hence, subject to lateral moisture penetration during prolonged wet weather conditions.

This indicates that this area is considered to be a non-habitable room area.

It appears that the storeroom was an original part of the garage floor carport, now converted into a storeroom.

Glazing rubbers to the windows need to be reinstated.

11 - Kitchenette

The kitchenette is in good order.

Serviced by a cupboard and washtub.

12 - Bathroom

The bathroom is in good order.

The bathroom is serviced by a shower recess, toilet, and cistern.

The shower recess' waterproofing membrane was not water pressure tested; as the recess has not been in use for some time and therefore it may give a false reading.



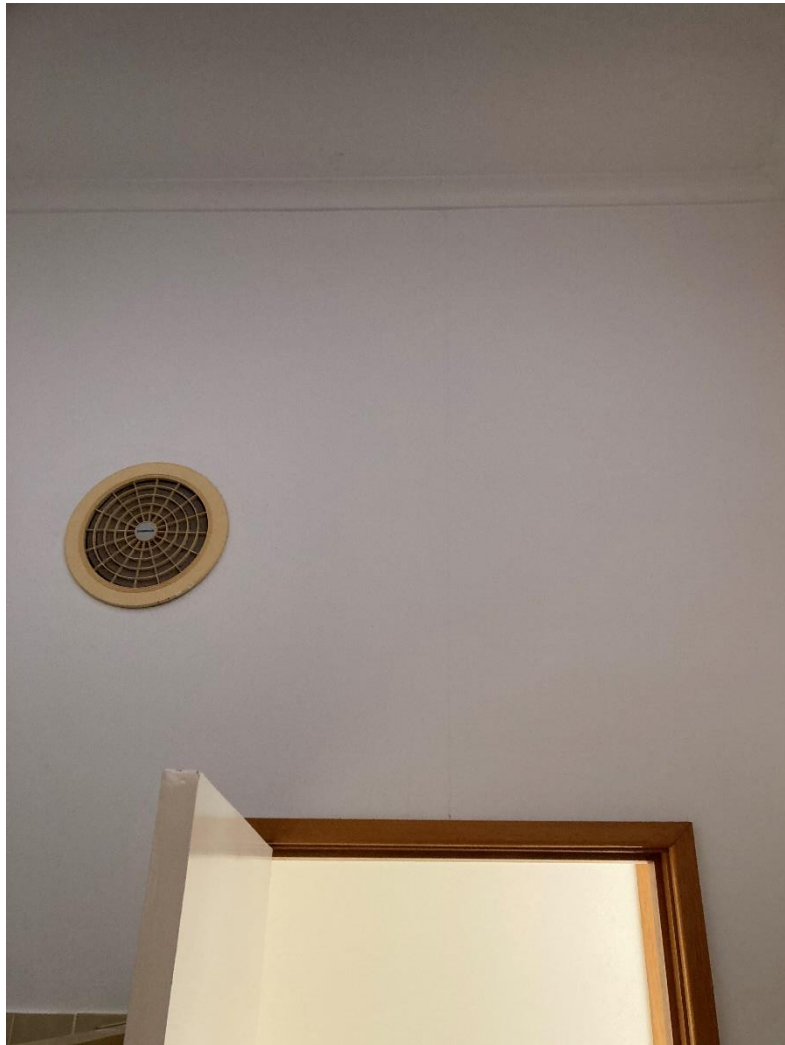
Ground salts are appearing to the masonry wall in the front entrance; indicating lateral moisture penetration during pro-longed wet weather conditions.



Internal timber staircase balustrade is not compliant with current building requirements.



Evidence of rainwater ingress into the roof void above the bathroom door opening.



Evidence of rainwater ingress into the roof void above the bathroom door opening.



Ground floor bathroom shower recess waterproofing membrane was not water pressure tested.

EXTERNAL

13 – Gutters

Metal gutters are in good order.

Gutters will require regular cleaning of tree & leaf debris to prevent blockage to downpipes and stormwater drainage systems.

14 – Downpipes

Metal downpipes are in good order.

15 – Fascias

Timber fascia-boards are in good order.

Timber fascia-boards require preparation prior to sealing & painting.

16 – Eaves

Fibre-cement eaves linings are in good order.

17 – Brickwork

External brick veneer walls are in good order.

There is hairline vertical cracking on the southern elevated wall under bedroom 2.

This is a result of no articulation joints being incorporated in the brickwork at the time of construction to allow for brick growth under climatic changes.

This type of cracking is of little concern.

18 – Weatherboards

Fibre-cement weatherboards are in good order.

19 – Windows

Aluminium window frames are in good order.

20 – Roof Sheets

The metal roof sheets are in good order.

The wall and roof flashings to these metal roof sheets have extensive silicone sealant repairs and flashings have been poorly installed using the incorrect profile against fibre-cement weatherboards; monitoring for water ingress into the roof void will be ongoing.

21 – Balcony

The first-floor northern elevated balcony is in good order.

The structural steel floor beam exhibits surface rusting and will require preparation prior to sealing and painting in the next maintenance programme.

22 – Fences

Metal boundary fences are in good order.

23 - Paths

The exposed aggregate concrete paths are in good order.

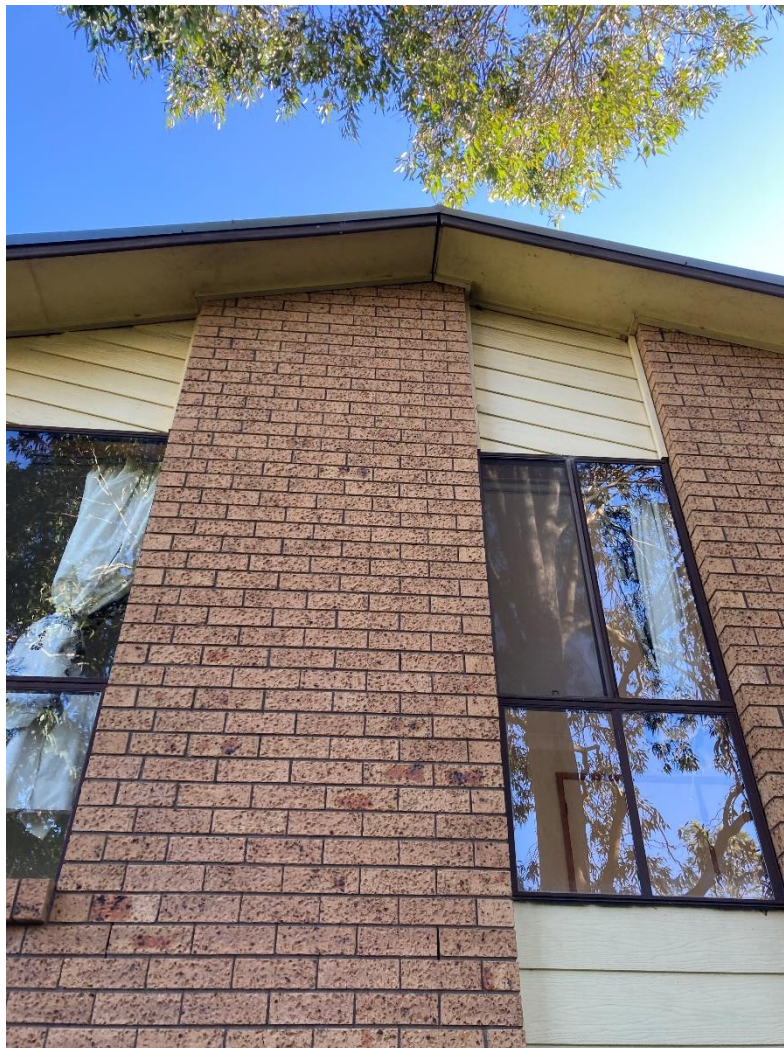
24 – Retaining Walls

The non-structural rock retaining walls are in good order.

25 - Carport

The carport is constructed from a concrete slab on fill, masonry columns, structural steel floor beam and it is structurally adequate.

Movement cracking to the concrete slab is of little concern.



Spreading of the timber roof frame on the eastern elevation at the top apex.



Vertical cracking to the brickwork under bedroom 2.



Wall and roof flashings to the roof sheets have been poorly installed.

SERVICES

26 – Electrical

The dwelling’s electrical wiring has earth leakage circuit breakers. It is recommended the wiring be checked by a licensed Electrician for compliance & safety.

27 – Plumbing

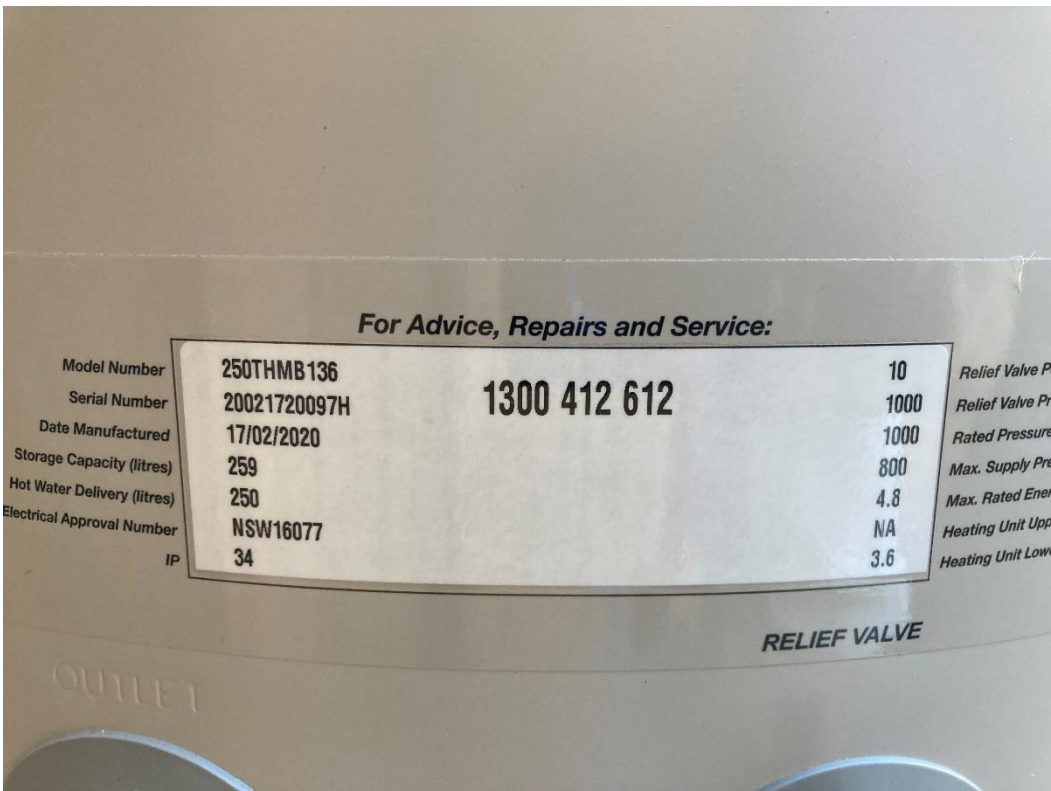
All water-feeder pipes, stormwater drainage systems, sewerage drainage systems, and gas services need to be checked by a licensed Plumber for serviceability.

28 – Hot Water Unit

The electrical hot water unit is located in the south-east corner of the property; it is of 250-Litre capacity, a 2020 model, and appears to be in good order.

29 – Site Drainage

Minimal site drainage provisions have been installed around the perimeter of the dwelling.

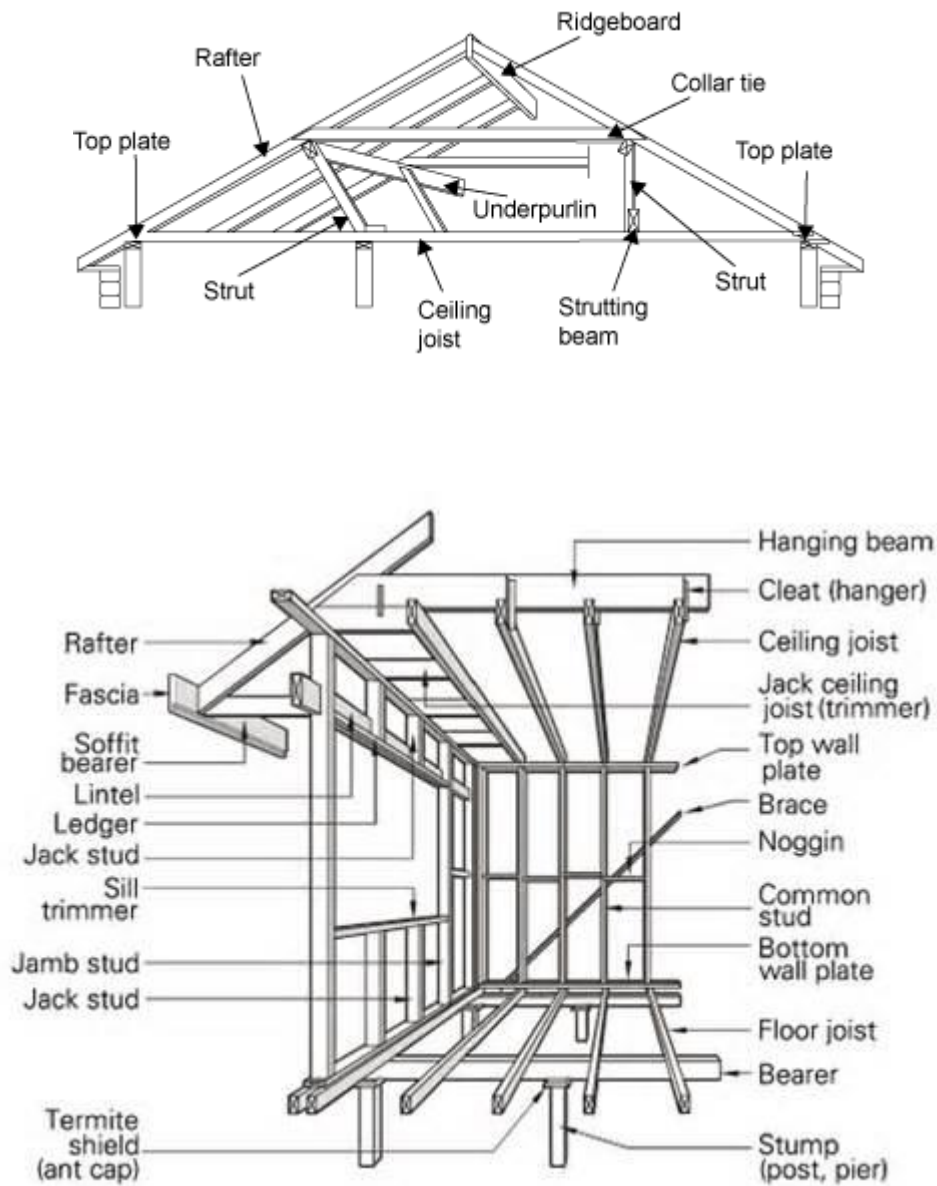


Date stamp to the hot water unit.



Electrical meter box has earth leakage circuit breakers. There are no termite sticker notices installed in the meter box on any previous termite management systems.

CONVENTIONAL TYPE ROOF FRAME



STRUCTURAL FRAMES

30 – Floor Frame

The floor frame to the first-floor is hardwood bearers and joists, structural pine board floor sheeting, and structural pinewood to the wet areas.

The floor frame is structurally adequate due to its long-term performance.

A full inspection of the floor frame was not possible as 70% of the framework is covered by a ceiling lining.

Ventilation in the subfloor area is in good order.

Ant-capping to the tops of the masonry walls and piers is inadequate and therefore it is recommended regular pest inspections be undertaken to ensure timber destroying pests do not enter the building undetected.

Drainage in preventing surface and seepage water from entering the subfloor area is poor. There have been attempts to install subfloor drainage systems with new treated timber retaining walls, which are poorly constructed and exhibit rotation outwards due to hydrostatic pressure.

There is also a subfloor timber-framed floor frame installed; this floor frame now is extensively termite damaged confirmation that active termites have been eradicated remains unconfirmed and further confirmation on termite activity into the subfloor area needs to be obtained by the current owner.

31 – Wall Frames

A full inspection of timber wall frames was not possible as the wall frames are covered by internal wall linings and external brick veneer walls and fibre-cement weatherboards.

The wall frames from an external inspection and due to their long-term performance are structurally adequate.

32 – Roof Frame

The roof frame is a hardwood conventional type construction (refer enclosed diagram).

Due to the timber roof frame's long-term performance, it is presumed to be structurally adequate.

A full inspection of the roof frame is not possible as the majority of the roof frame has ceiling linings secured directly to the underside of timber roof framing preventing an inspection.

There has been a settlement movement to the roof frame and the eastern elevation has spread at the apex; monitoring for further movements will be ongoing.

Anti-con insulation blanket has been installed to the underside of metal roof sheets as a secondary moisture and thermal barrier.

The original roof lining was concrete roof tiles.

Fibreglass insulation has partly been installed to the tops of the ceilings.



First-floor bathroom shower recess waterproofing membrane was water pressure tested; evidence in the subfloor area revealed that water is escaping from the waterproofing membrane.



Significant termite damage to the subfloor timber floor frame. Confirmation that the active termites have been eradicated remains unconfirmed and further advice is recommended by the current owner.



Treated timber retaining wall in the subfloor area is poorly constructed; having a significant rotation outwards due to hydrostatic pressure caused by the poor subfloor drainage system.

NOTE: There is a drip on the particleboard flooring from the leaking shower recess above – refer to the arrow.



Timber roof frame.



Timber roof frame.

SUMMARY

The building is approximately 35 years old.

Structural condition of the building is in good order.

Cosmetic condition of the building is reasonable.

The following items need attending to:

- The electrical wiring and plumbing services checked by licensed tradespeople.
- Remove subfloor timber floor frame and confirm no active termites into the property.

THIS REPORT REFERS TO THE CONDITIONS OBSERVED AT THE TIME OF INSPECTION BASED ON VISUAL OBSERVATION AND **DOES NOT INCLUDE:**

- 1) ANY ADDITIONAL ADVICE IN RESPECTS TO PEST CONTROL.
- 2) ANY ADDITIONAL ADVICE IN RESPECTS TO ELECTRICAL WIRING and PLUMBING SERVICES.
- 3) ANY ADDITIONAL ADVICE IN RESPECTS TO A STRUCTURAL ENGINEER, SURVEYOR OR SOLICITOR.
- 4) REFERENCE TO PARTS OF THE BUILDING NOT ACCESSIBLE OR COVERED WITH MATERIALS.
- 5) ANY REFERENCE AS TO WHETHER THE SITE IS CONTAMINATED IN ANY WAY OR ANY HAZARDOUS MATERIALS.

ASBESTOS DISCLAIMER. " No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided. If during the course of the inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the **additional comments** section of the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contain asbestos. Even buildings built after this date up until the early 90s may contain asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing the asbestos or removing the asbestos.

DEFINITIONS (used in the) BUILDINGWISE REPORTS

Sub-standard 0-3: A category less than “below average”. Usually implying inadequate/inappropriate workmanship, &/or materials &/or significant deterioration evident. Parts of the building works may not be structurally adequate/appropriate &/or may be unsuitable for service &/or for intended use including items such as : weather tightness, Council compliance or safety issues. Immediate/extensive rectifications or action can be anticipated, usually work of a significant/expensive nature that may include partial demolition or reconstruction Further investigation may be warranted. The client should obtain written quotes for rectifications/repairs.

Below Average (Poor/Reasonable) 4-5: A standard less than the definition noted in “fair/average”. Usually implying that there may be some areas constructed not to trade standard or using inappropriate materials &/or failing, in parts, in the aspect of serviceability/adequacy for intended use. There may be less than a reasonable amount of prior maintenance, repairs & renovations. Generally this definition/classification will imply that rectifications should be carried out in the immediate short term & usually implies above average costs for rectifications/maintenance.

Fair Average Good Order) 6-8: This definition may imply terms such as: satisfactory, reasonable, serviceable, adequate. A standard no more than can be reasonably expected for the age/type/standard of building, bearing in mind the acceptable building methods/materials at the time of the original building works. Implicit in this description can be a reasonable amount of prior maintenance/renovations/repairs, some of which may have been done by numerous previous owners & not always to a trade standard. There may also be some general wear, neglect, weathering, decay, corrosion, irregularities but no major/significant deterioration or structural defects. Rectifications/repairs would normally be scheduled as per the maintenance program.

Above Average 9-10: A standard higher than the definitions noted in “fair/average”. Usually implying good workmanship & materials, close attention to appropriate maintenance/renovations/repairs. Generally this category would imply no immediate/urgent requirements for rectifications/repairs.

GENERAL APPRAISAL OVERVIEW

ADDRESS: **5/15 Rowes Lane**
 CARDIFF HEIGHTS, NSW

Scale 1 to 10 { 1 = poor, graded to 10 = excellent }

STRUCTURAL CONDITION

Floor Frame	8
Wall Frame	8
Roof Frame	8

COSMETIC CONDITION

Wet Areas	4
Kitchen	7
Internal	7
External	6

<u>MAINTENANCE</u>	6
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SERVICE

Gutters Downpipes	6
Site Drainage	5

PROPERTY

Slope of Site	4
Vehicle Access	5
Privacy & Aspect	7

FACILITIES

Public Transport	7
Schools	7
Shops	7

Should you have any queries relating to this report, please do not hesitate to contact me.

Phone: **02 4957 8187.**

Yours faithfully
Peter J Moroney